



Historic Preservation Commission

Monday, September 9, 2024

City Hall Council Chambers – 601 Main St W. Ashland, WI 54806

5:00 PM

To join the meeting from your computer, tablet or smartphone <https://meet.goto.com/978070741>. Or dial in using your phone. United States (Toll Free): 1 877 309 2073 Access Code: 978-070-741

The following items will be considered:

1. Call to Order and Roll Call

2. Approval of Agenda

3. Consent Agenda

- a. Approval of minutes from July 22nd, 2024 Historic Preservation Commission meeting

4. Public Comment (non-agenda items)

5. Identify Potential Conflicts of Interest

6. Action Items

- a. Discussion/Action on Certificate of Appropriateness Application for Vaughn Public Library Renovations - Engberg Anderson/Alexandra Ramsey, Applicant
- b. Discussion/Action on Work Proposed for 909 Chapple Avenue - Dean Reilly, Owner

7. Discussion Items

8. Announcements/Reports/Comments/Questions

9. Adjournment

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City of Ashland, Wisconsin
601 Main Street West — Ashland, WI 54806 — www.coawi.org

HISTORIC PRESERVATION COMMISSION MEETING AGENDA

July 22nd, 2024 at 5:00PM in the 2nd Floor Conference Room and via Go To Meetings

The meeting can be joined in person or by using a computer, smartphone or tablet at.

<https://meet.goto.com/978070741>

**The meeting can also be joined by phone at
1 877 309 2073 using Access Code: 978-070-741**

Present: Steve Schraufnagel, Kristen Huset, Jeff Muse, Magge Ericson, Al Smiles, Steven Wiley (Planning and Development Director), Terri Erickson (Assistant Planner)

Absent: Joseph Mudd, Nancy Sztzyndor

AGENDA

1. Call to Order and Roll Call
Chair Schraufnagel called the meeting to order at 5:04 pm and a quorum was declared present.
2. Approval of the Agenda
The Commission approved the agenda as presented.
3. Consent Agenda
 - a. Approval of minutes from the April 22nd, 2024 Historic Preservation Commission meeting
Schraufnagel asked the Commission to review the April meeting minutes. Muse moved approval, Huset seconded. The motion carried 5-0
4. Identify potential conflicts of interest
No Commissioners indicated any conflicts of interest.
5. Public Comment (non-agenda items)
None
6. Action Items:
7. Discussion Items:
 - a. Discussion on Preservation Planning
Ericson stated that she was the consultant for the local preservation society and also was the Chair of the Plan Commission in the community in Florida where she lived. She showed the example plan that she worked on during her time there. Any individual, contractor, or anyone else could pick this up and look at what processes and standards were needed depending on the type of work proposed. The standards were tight and had suggested historic colors, etc. The plan was for Dunnellon, Florida. Everyone was in favor

of moving forward and creating a document similar to this. The plan shows all of the various WWII and other era structures. Ericson worked with the Economic Development and Historic Preservation office in Florida. There was significant concern with removing mid-century structures.

b. Update on Properties Recommended for Local Historic Nominations

Wiley shared contacts for the list of nominations. Schraufnagel and Muse had met prior to the HPC meeting but not after receiving the list. Ericson asked if there were any properties on the East side. Schraufnagel answered that there were. Between 2nd and 3rd Ave E there were some concrete block structures that we tried to nominate a few years back. At the time the owners had not wanted to have their properties nominated and had their attorneys present. Schraufnagel stated that we would find out who owns these and reconsider them. Smiles asked if these were company homes. Muse stated that he believed they were. Smiles stated that he had the histories of these. Schraufnagel suggested that we revisit these with Tracy Schnell's report. Schraufnagel will get a picture of the 3 identical homes on 3rd St and the home on 13th and Vaughn. Smiles stated that the home on 13th and Vaughn is a white house on the west side of the street built around 1947. Schraufnagel asked when Sears ended their catalogue sales on their homes. Ericson believed it was sometime before the Depression. Schraufnagel stated that we would check these out. Smiles stated that Martin Thorason was a dentist. Mr. Thorason built the home in he thinks 1947. Muse and Schraufnagel will get together on the addresses Wiley sent them. Maybe next week rather than this week. Schraufnagel asked if there were any other additions to the local historic nomination list. Muse asked if Carver Harries' house on Ellis Avenue at 9th Street would be one to consider. Schraufnagel suggested Muse look at it. Schraufnagel said other Commissioners could attend the meeting where he and Muse discuss these. Wiley explained open meetings requirements and the need to notice the meeting if enough commissioners want to attend. Schraufnagel asked when we wanted to hold a public hearing. Wiley explained that it would happen upon confirming property owner interest for nominating the properties.

c. Update on a Potential National/State Register Nomination for Our Lady of the Lake Church and School

Wiley explained that this item was on the agenda from before. Schraufnagel and Wiley had done some work on this before but the timeframe for nominating the property was longer than the timeframe for doing work. The permit for roofing work had been submitted and the permit for tuckpointing was likely forthcoming. The Courthouse and Co-op tuckpointing projects are both significant. Smiles mentioned that the last time tuckpointing occurred at the church it was awful. Schraufnagel mentioned that the last time work was done it was \$175,000 and now it would likely be triple this.

d. Discussion on Miscellaneous HPC Items

Ericson stated that we still don't have a demolition ordinance yet. Wiley explained that there were a few questions staff needed to work out. Staff will revisit this ordinance. Ericson stated that between now and spring would be a good opportunity to look at this. Schraufnagel explained that there was a small (10% or so) requirement for reusing demolition debris in the draft ordinance. Muse stated that with the Northland restructuring and some faculty leaving it is our mission to educate new buyers on the treasure trove of historic homes. Ericson stated that having 5-o'clock cocktail hour and inviting realtors would be beneficial. Huset is less concerned about people buying homes and doing stuff to them than by buying them and turning them into income properties. Ericson mentioned the issues at #4 Fifield Row where it was turned into an Airbnb and more cars on the street.

Schraufnagel asked Wiley about the City's position on Airbnbs. Wiley explained that we are close to having an ordinance passed which would regulate these. Schraufnagel stated that there are several issues that could come up with Airbnbs.

8. Announcement/Reports/Comments/Questions
None

9. Adjournment
Ericson moved to adjourn and Huset seconded. The motion carried 5-0 and the meeting adjourned 5:56 pm.

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information or speak about a subject, over which they have decision-making responsibility. Any governmental body at the above stated meeting will take no action other than the governmental body specifically referred to above in this notice. The City of Ashland does not discriminate on the basis of sex, race, creed, color, national origin, sexual orientation, age or disability in employment or provision of services, programs or activities. NOTE: Upon reasonable notice, the City of Ashland will accommodate the needs of disabled individuals through auxiliary aids or services. For additional information or to request this service, contact the Planning & Zoning Dept. at (715) 682-7041.

STAFF REPORT

Historic Preservation Commission – September 9, 2024

**Agenda Item # 6a: Review of Certificate of Appropriateness Application for
Vaughn Public Library Renovations**

Applicant: Engberg Anderson Architects – Alexandra Ramsey

Staff Contact: Sarah Adams (Vaughn Public Library Director)

Action Request/Background

The Vaughn Public Library Director has been working with Engberg Anderson Architects out of Milwaukee on proposed renovations to the Vaughn Public Library. Voters approved a bond referendum in April, 2024 to help cover the cost of renovation. The design architects have proposed a number of interior and exterior renovations as upgrades that will bring the facility up to modern standards and codes. The architects are developing the plans which will lead to a bid package. The project team would like to have the bid package go out in late fall with construction beginning in early 2025. City staff and the architects are requesting that the Historic Preservation Commission review the submitted Certificate of Appropriateness application, provide input, and consider approval of a Certificate of Appropriateness for the work proposed.

Analysis

The Library Director and architects have submitted a Design Development set for the Historic Preservation Commission to review. On the exterior of the building, the north (Main Street) façade will be modified to include a new Main Street entrance. A new secondary entrance is to be integrated into the large arched window on the east (Vaughn Avenue) elevation. All second-floor windows will be replaced. Alternate bids would replace all other first floor windows on the east elevation with uniform ones that better convey the original design. Within the interior, the first and second floors will be reconfigured. A new open stair at the secondary entrance, where a stairway was previously located will connect the first and second floors.

The architects propose maintaining all existing window openings except on the first floor where they would replace the arched window openings of the Main Street façade with a storefront system. The storefront system is intended to restore the first floor Main Street façade back to its historic appearance. According to one of the architects the Library is interested in sustainability so the replacement windows proposed are locally manufactured. The windows have wood interiors and extruded aluminum exteriors with triple pane glass. The design team is looking to return to the original window configurations with the divided glass. The proposed windows use grilles on the inside or outside with spacers between the glass. The architects would like to return to the historic aesthetic while providing a high-performance replacement of the current 1980s windows which also have wood interiors with metal exteriors.

City staff have reviewed and are supportive of the proposed renovations. The design team is aware of the historic nature of the building and would maintain all existing window openings while re-installing storefront on Main Street consistent with historic photographs as much as possible. The project team is aiming to maintain or restore the physical appearance of the building exterior to the extent possible while accommodating existing or proposed interior upgrades necessary for the building to meet the community's needs. Staff is of the opinion that the project architects have provided justification for the design choices proposed particularly for the exterior.

Upon approval by the Historic Preservation Commission planning staff will forward the proposed plans to the Plan Commission for review. The Plan Commission is tasked by WI Statutes with the architectural review of public buildings. Additionally, the architects will submit for a review from the State Historic Preservation Office (SHPO) since the Vaughn Public Library is a public building and is a contributing structure in the W 2nd Street Historic District. The Library Director has kept the Library Board up to date on the proposed renovation plans. The Library Board has provided recommendations and input during the process. The City Council will review the proposed plans likely at the November 12th Council meeting when the construction documents are completed. Once the plans are finalized the project team will obtain all required plan review and building permit approvals.

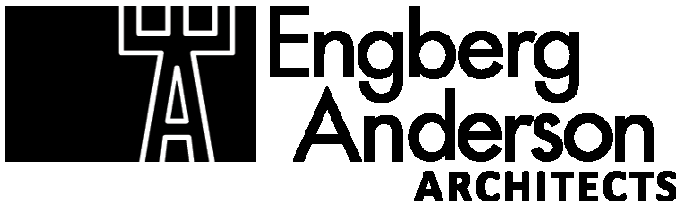
Review Recommendation

Staff requests input from the Historic Preservation Commission on the proposed renovations for the Vaughn Public Library. Staff recommends approval of the Certificate of Appropriateness with the following conditions:

- Applicants shall submit the proposed project to the WI State Historic Preservation Office and City of Ashland Plan Commission for review.
- If the proposed plans for the exterior deviate from the submitted plans (window or door openings change, etc.) applicants shall resubmit to Planning and Development staff and if needed, the Historic Preservation Commission and WI SHPO for review.

Approvals are based on background information provided by the applicant and known conditions. Deviations from this information may be considered a change in the application and reconsideration and possible revision to the approvals may be made by the Plan Commission and Common Council.

VAUGHN PUBLIC LIBRARY



MILWAUKEE | MADISON | TUCSON | CHICAGO

Phase 1 - Building Renovation
Ashland, Wisconsin

VAUGHN PUBLIC LIBRARY

502 W. MAIN STREET
ASHLAND, WI 54806

VAUGHN PUBLIC LIBRARY
502 W. MAIN STREET
ASHLAND, WI 54806

PROJECT NUMBER 233682.00

ARCHITECTURAL		STRUCTURAL		MECHANICAL		ELECTRICAL		PLUMBING - FIRE PROTECTION	
ENGBERG ANDERSON ARCHITECTS		SPIRE ENGINEERING		SALAS O'BRIEN ENGINEERING		CONT'D		CONT'D	
320 E. BUFFALO ST. SUITE 500 MILWAUKEE, WISCONSIN 53202 PH: 414-944-9000		305 N. PLANKINTON AVE. SUITE 101 MILWAUKEE, WISCONSIN, 53203 PH: 414-278-9200		1111 DEMING WAY MADISON, WISCONSIN, 53717 PH: 608-848-9556					
A000	TITLE SHEET	S000	STRUCTURAL NOTES & SCHEDULES	M001	MECHANICAL NOTES, LEGENDS & ABBREVIATIONS	E001	ELECTRICAL NOTES, LEGENDS & ABBREVIATIONS	FP201	FIRE PROTECTION DETAILS
A001	CODE CONFORMANCE PLANS & DATA	S001	STRUCTURAL NOTES & SCHEDULES					P001	PLUMBING COVER SHEET
		S101	FRAMING PLANS	MD100	BASEMENT MECHANICAL DEMOLITION PLAN	ED110	BASEMENT ELECTRICAL DEMOLITION PLAN	PD101	PLUMBING DEMOLITION PLANS
D101	FIRST & SECOND FLOOR DEMO PLANS	S102	FRAMING PLANS	MD101	FIRST FLOOR MECHANICAL DEMOLITION PLAN	ED111	FIRST FLOOR LIGHTING DEMOLITION PLAN	PD102	PLUMBING DEMO PLANS 1ST - 2ND FLOORS
D102	BASEMENT & THIRD FLOOR DEMO PLANS	S103	FRAMING PLANS			ED112	SECOND FLOOR LIGHTING DEMOLITION PLAN	PL101	PLUMBING PLANS - BASEMENT
D201	REFLECTED CEILING DEMO PLANS	S201	STRUCTURAL DETAILS	MD102	SECOND FLOOR MECHANICAL DEMOLITION PLAN	ED121	FIRST FLOOR POWER AND SYSTEMS DEMOLITION PLAN	PL102	PLUMBING PLANS - 1ST - 2ND FLOORS
D401	BUILDING DEMO ELEVATIONS			MD103	THIRD FLOOR MECHANICAL DEMOLITION PLAN	ED122	SECOND FLOOR POWER AND SYSTEMS DEMOLITION PLAN	PL201	PLUMBING ISOMETRICS
								PL301	PLUMBING DETAILS
A101	1ST & 2ND FLOOR PLANS			M100	BASEMENT MECHANICAL PLAN	E110	BASEMENT ELECTRICAL PLANS	FP001	FP COVER SHEET AND RISER DIAGRAM
A102	BASEMENT, 3RD FLOOR & ROOF PLANS			M101	FIRST FLOOR MECHANICAL PLAN	E111	FIRST FLOOR LIGHTING PLANS	FP101	FP PLANS - BASEMENT AND FIRST FLOOR
A201	1ST & 2ND FLOOR REFLECTED CEILING PLANS			M102	SECOND FLOOR MECHANICAL PLAN	E112	SECOND FLOOR LIGHTING PLANS	FP102	FP PLANS - SECOND AND THIRD FLOOR
A301	ENLARGED STAIR PLANS & SECTIONS			M103	THIRD FLOOR MECHANICAL PLAN	E121	FIRST FLOOR POWER AND SYSTEMS PLANS	FP201	FIRE PROTECTION DETAILS
A302	ENLARGED RESTROOM PLANS & ELEVATIONS			M104	ROOF MECHANICAL PLAN	E122	SECOND FLOOR POWER AND SYSTEMS PLANS		
A401	BUILDING ELEVATIONS			M501	MECHANICAL DETAILS	E601	ELECTRICAL SCHEDULES		
A402	BUILDING SECTIONS			M502	MECHANICAL DETAILS				
A501	NORTH ENTRY PLAN & DETAILS			M601	MECHANICAL SCHEDULES				
A502	EAST ENTRY PLAN & DETAILS			M701	MECHANICAL CONTROL DIAGRAM AND INPUT/OUTPUT SUMMARY				
A700	FINISH SCHEDULE								
A701	1ST & 2ND FLOOR FINISH PLANS								
A702	1ST & 2ND FLOOR FURNITURE PLANS								

ISSUED FOR:
DESIGN DEVELOPMENT 08-02-24

REVISION FOR:
NO. DESCRIPTION DATE

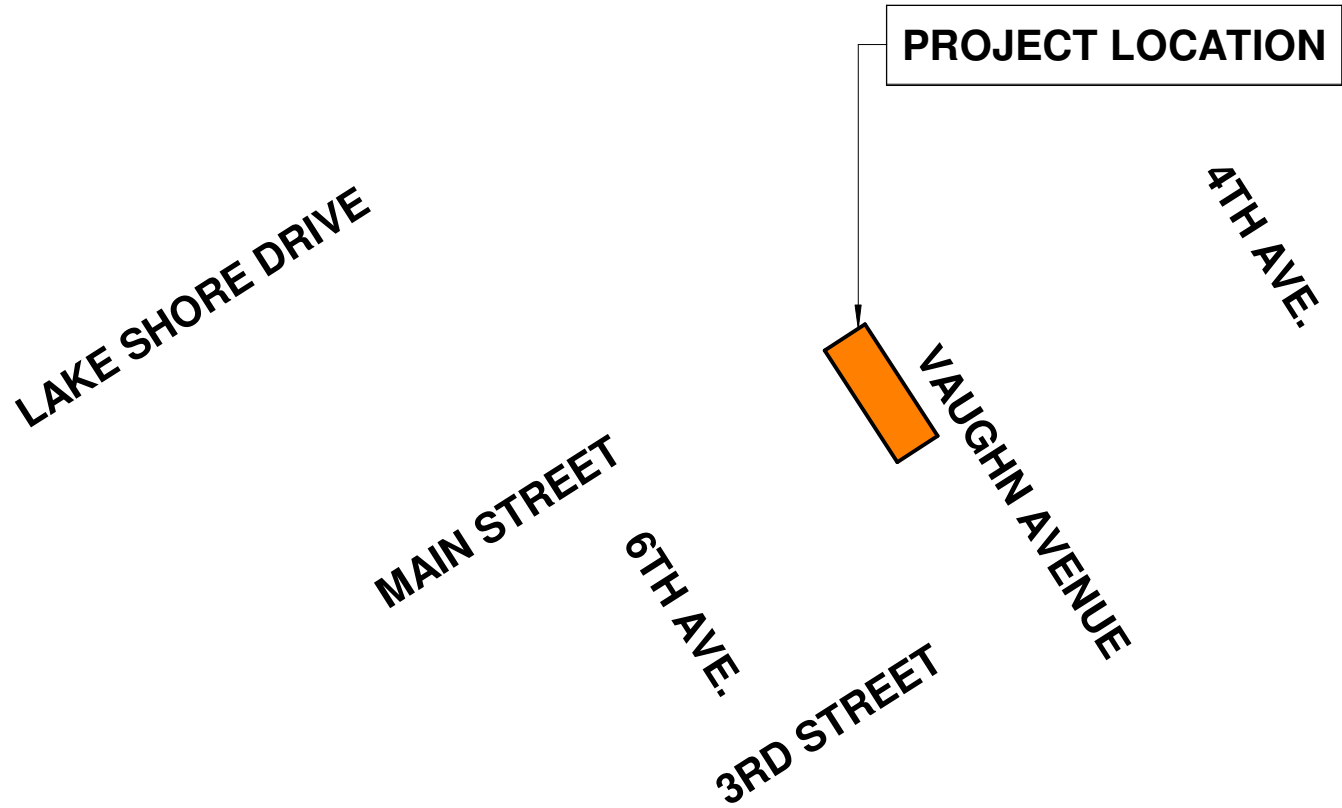
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TITLE SHEET

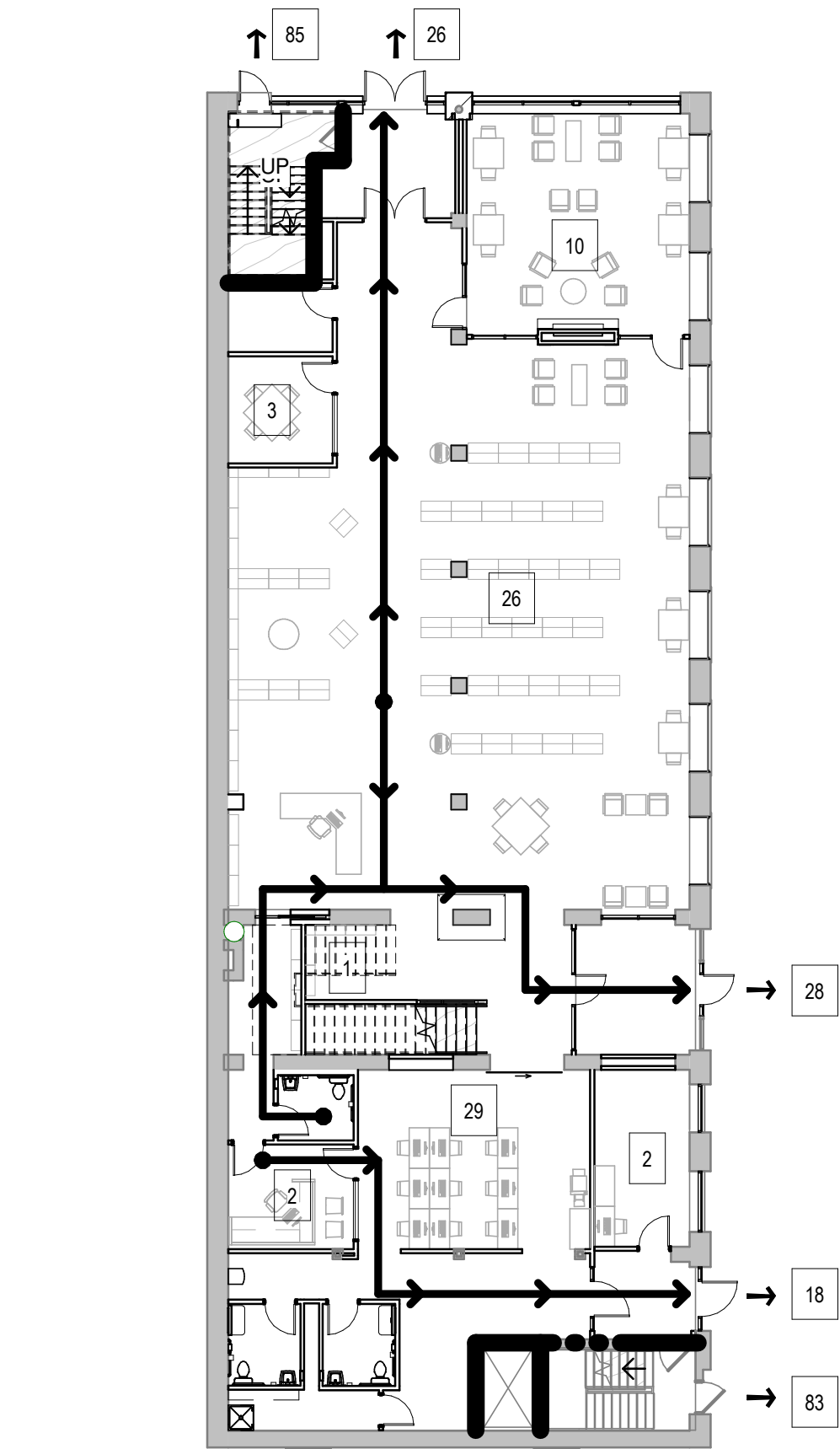
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SITE LOCATION MAP

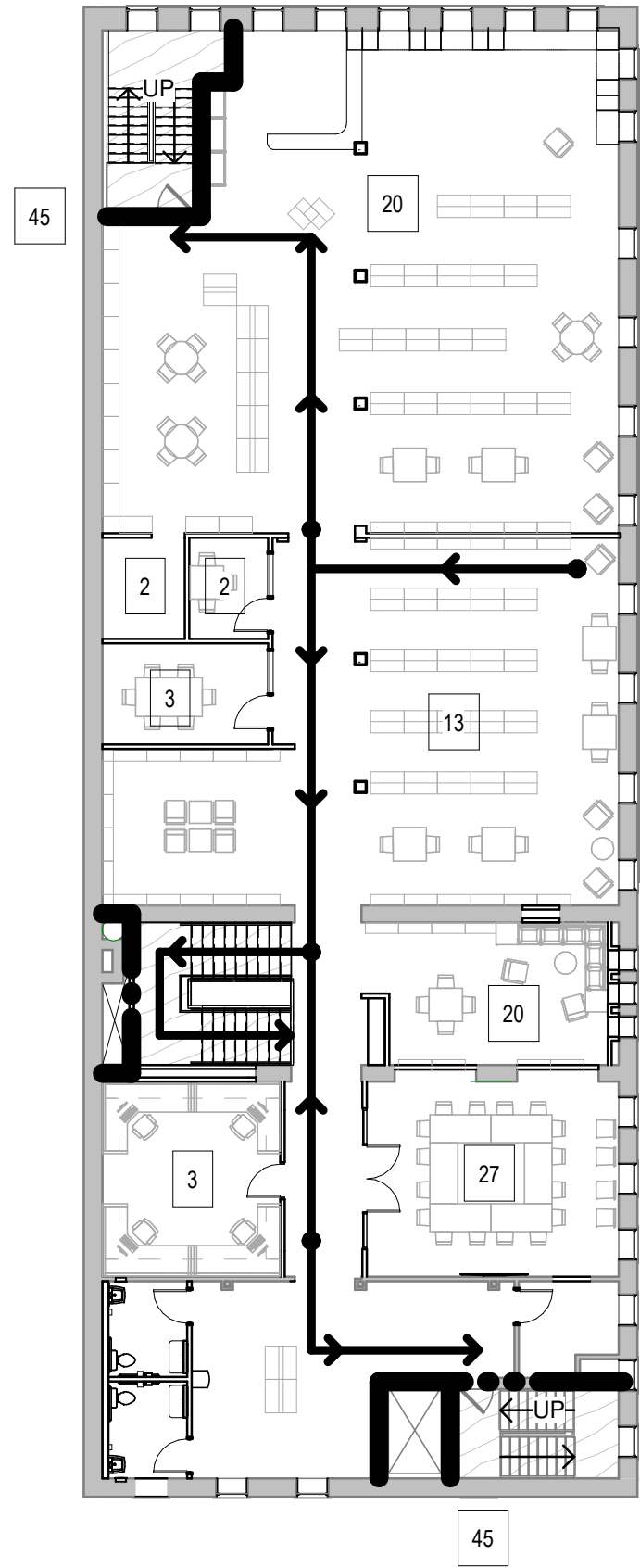


ASHLAND, WI





1 LEVEL 1 CODE CONFORMANCE
SCALE: 1/16" = 1'-0"



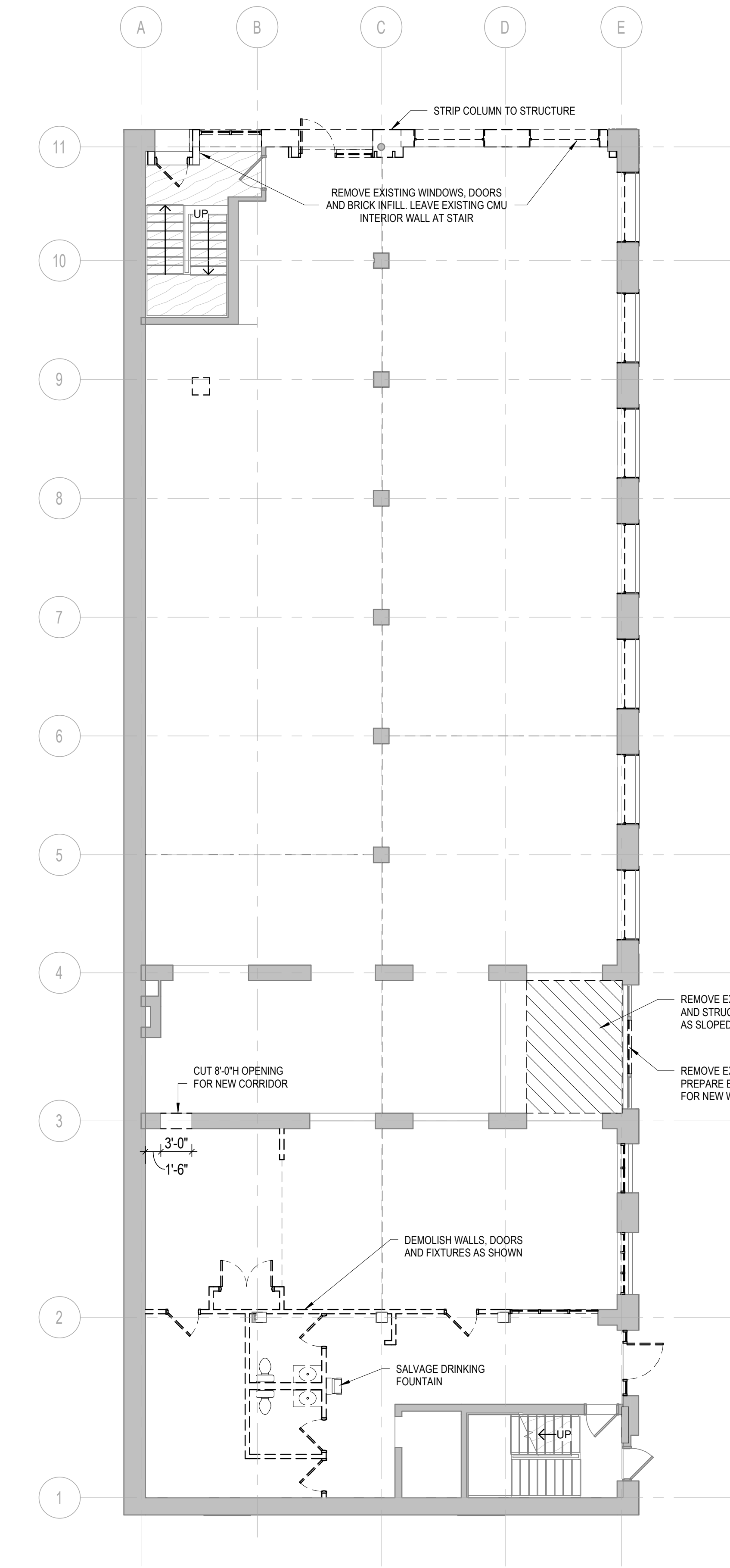
2 LEVEL 2 CODE CONFORMANCE
SCALE: 1/16" = 1'-0"

APPLICABLE CODES	
ZONING CODE	ASHLAND CITY ZONING ORDINANCE
BUILDING CODE	WISCONSIN ADMINISTRATIVE CODE, SPS 361-366 ICC INTERNATIONAL EXISTING BUILDING CODE 2015 ICC INTERNATIONAL BUILDING CODE 2015
ACCESSIBILITY CODE	WISCONSIN COMMERCIAL BUILDING CODE, CH. 362 ICC INTERNATIONAL BUILDING CODE 2015, CH 11 ICC / ANSI 177.1 - 2009
FIRE SAFETY CODE	ICC INTERNATIONAL FIRE CODE 2015 WI DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES, CH. 314
PLUMBING CODE	WI DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES, CH. 381-387
ELECTRICAL CODE	WI DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES, CH. 316
MECHANICAL CODE	WISCONSIN COMMERCIAL BUILDING CODE, CH. 364-365 ICC INTERNATIONAL MECHANICAL CODE 2015 WISCONSIN ADMINISTRATIVE CODE (IFGC 2015)
ENERGY CODE	WISCONSIN COMMERCIAL BUILDING CODE, CH. 363 ICC INTERNATIONAL ENERGY CONSERVATION CODE 2015
ELEVATOR CODE	WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES, CH. 318
BUILDING DATA	
OCC. CLASSIFICATION	A-3
CONSTRUCTION TYPE	TYPE III-B
SPRINKLERED	SPRINKLERED
SEISMIC CATEGORY	A
NUMBER OF STORIES	4 STORIES (3 STORIES ABOVE GRADE + BASEMENT)
SQUARE FEET/ FLOOR	
BASEMENT LEVEL	6,796 SF (140 SF IN SCOPE)
FIRST FLOOR LEVEL	6,678 SF (6,256 SF IN SCOPE)
SECOND FLOOR LEVEL	6,678 SF (6,256 SF IN SCOPE)
THIRD FLOOR LEVEL	6,678 SF (220 SF N SCOPE)
BUILDING TOTAL SIZE	26,830 SF (12,872 SF IN SCOPE - ALTERATION LEVEL 2)
CONSTRUCTION REQUIREMENTS	
OCC. SEPARATION	N/A
EXT. WALLS-NON BEARING	1 HOUR RATING <30', 0 HOUR RATING >30'
OPENINGS	N/A
STRUCTURAL FRAME	0 HOUR RATING
PARTITIONS	0 HOUR RATING
SHAFT ENCLOSURES	2 HOUR RATING WHEN CONNECTION 4 STORIES OR MORE, 1 HOUR RATING WHEN LESS THAN 4 STORIES, BUT NOT LESS THAN FLOOR ASSEMBLY BEING PENETRATED
FLOOR/CEILING	0 HOUR RATING
ROOF/CEILING	0 HOUR RATING
ROOFING CLASSIFICATION	EXISTING ROOF COVERING CLASSIFICATION C
STAIR CONSTRUCTION	EXISTING ENCLOSURE, 2 HOUR RATING

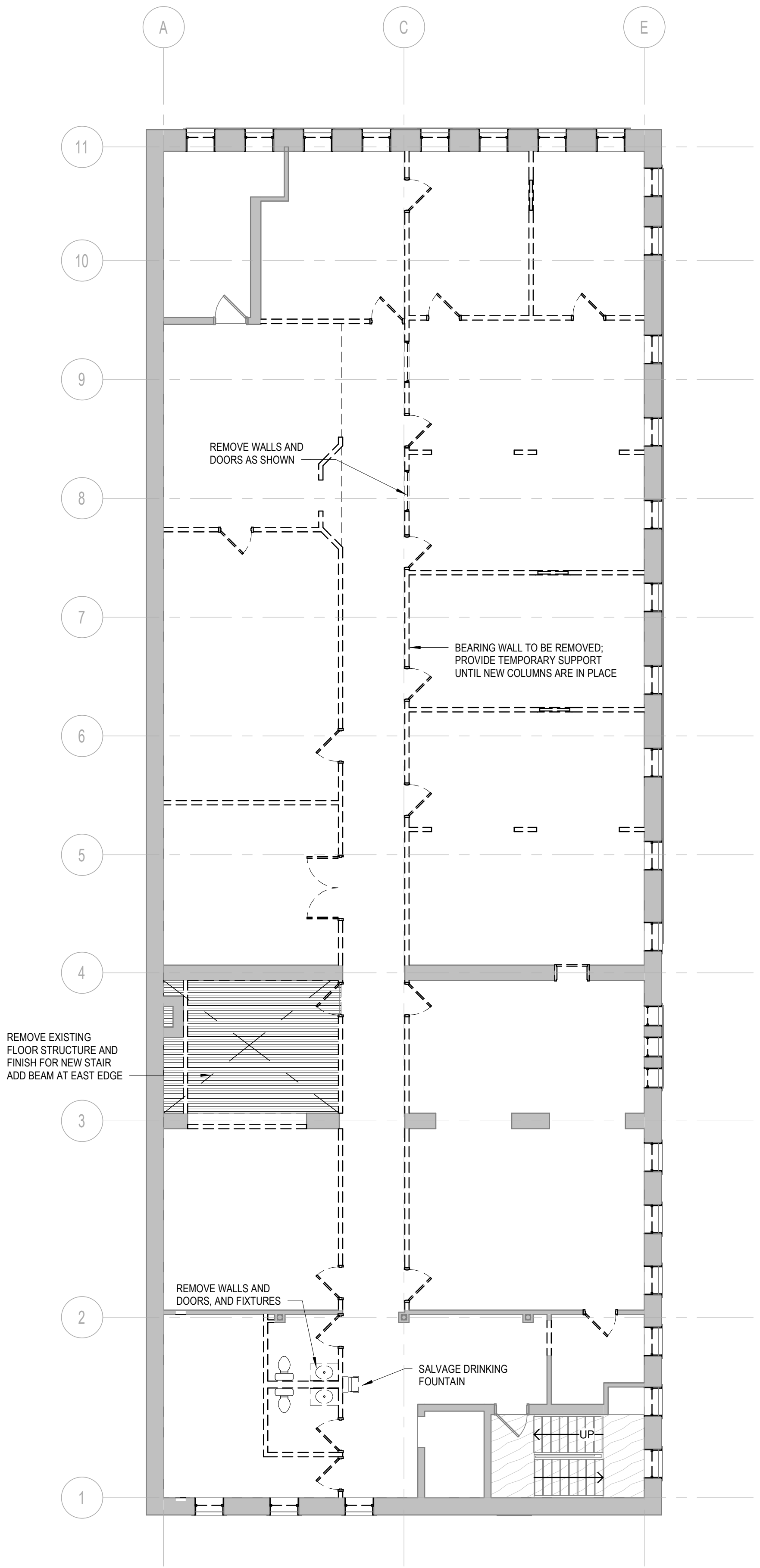
MEANS OF EGRESS					
OCCUPANT LOAD		240 OCCUPANTS			
FIRST FLOOR LEVEL		37 OCCUPANTS			
FIRST FLOOR LEVEL		72 OCCUPANTS			
SECOND FLOOR LEVEL		90 OCCUPANTS			
SECOND FLOOR LEVEL		41 OCCUPANTS			
TOTAL STAIR WIDTH REQ'D		90*.3 = 27 INCHES (IBC MIN. 44 INCHES)			
TOTAL STAIR WIDTH PROVIDED		45 INCHES			
CORRIDOR WIDTH REQ'D		90*.2 = 18 INCHES (IBC MIN. 44 INCHES)			
CORRIDOR WIDTH PROVIDED		54 INCHES			
EXIT DOOR WIDTH REQ'D		90*.2 = 18 INCHES (IBC MIN. 32 INCHES)			
EXIT DOOR WIDTH PROVIDED		72 INCHES (2 DOORS x 36 INCHES)			
		REQUIRED	PROVIDED		
FIRST FLOOR LEVEL		2 EXITS	3 EXITS		
EXIT ACCESS DISTANCE		250'	82'		
DEAD END CORRIDOR		50'	20'		
COMMON PATH OF TRAVEL		75'	41'		
SECOND FLOOR LEVEL		2 EXITS	2 EXITS		
EXIT ACCESS DISTANCE		250'	67'		
DEAD END CORRIDOR		50'	N/A		
COMMON PATH OF TRAVEL		75'	26'		
PLUMBING					
INSERT APPLICABLE CODE AND OCCUPANCY CALCULATION METHOD					
FIXTURES	OCCUPANT LOAD	REQUIREMENTS	REQUIRED	PROVIDED	
WATER CLOSETS	MEN 120	1 PER 125 OCCUPANTS*	1	3	
	WOMEN 120	1 PER 65 OCCUPANTS	2	3	
LAVATORIES	MEN 120	1 PER 200 OCCUPANTS	1	3	
	WOMEN 120	1 PER 200 OCCUPANTS	1	3	
			2	6	
DRINKING FOUNTAINS	240	1 PER 500 OCCUPANTS	1	3	
SERVICE SINKS		1 SERVICE SINK	1	1	
NOTES					
* = MENS WATER CLOSETS CAN BE DIVIDED EQUALLY INTO URINALS AND TOILETS.					
SECTION 890.810 MINIMUM NUMBER OF PLUMBING FIXTURES					
1) BUILDINGS THAT INCORPORATE MORE THAN ONE TYPE OF BUILDING USE OF OCCUPANCY, AS CLASSIFIED BY THE DEPARTMENT, SHALL PROVIDE THE COMBINED NUMBERS OF FIXTURES REQUIRED FOR THE INDIVIDUAL USES.					
2)OCCUPANT LOAD. FOR THOSE BUILDING TYPES WHERE THE MINIMUM NUMBER OF PLUMBING FIXTURES REQUIRED IN APPENDIX A, TABLE B, IS DEPENDENT UPON THE BUILDING'S OCCUPANT LOAD, SUCH OCCUPANT LOAD SHALL BE THE ESTIMATED TOTAL OCCUPANT LOAD.					
NOTES					
GENERAL NOTES AND APPLICABLE CODE EXCEPTIONS					

GENERAL NOTES - DEMOLITION

1. GC SHALL VERIFY EXISTING CONDITIONS AND COORDINATE WITH CONTRACT DOCUMENTS PRIOR TO START OF WORK.
2. GC SHALL COORDINATE WALK-THROUGH OF AREA OF DEMOLITION WITH LIBRARY PRIOR TO THE START OF DEMOLITION TO ENSURE ITEMS INCLUDING BUT NOT LIMITED TO DONOR PLAQUES, ARTWORK, AND SIGNAGE ARE SALVAGED FROM THE PROJECT SCOPE AREA AND TURNED OVER.
3. ALL EXISTING CONSTRUCTION NOTED OR SCHEDULED TO BE REMOVED IS TO BE PROPERLY DISCARDED OFF SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS AND REQUIREMENTS UNLESS NOTED OTHERWISE.
4. COORDINATE WITH UTILITY COMPANIES FOR THE TEMPORARY OR PERMANENT DISCONNECTION AND CAPPING OFF UTILITIES INCLUDING BUT NOT LIMITED TO CITY STEAM, GAS, WATER, SEWER, ELECTRIC AND TELEPHONE SERVICES. CONSULT WITH OWNER AND ARCHITECT PRIOR TO DEMOLITION OF ANY ELEMENTS THAT ARE SUSPECTED TO BE STRUCTURAL IN NATURE AND IS NOT ADDRESSED IN DRAWINGS.
6. PROTECT ALL ELEMENTS OR FINISHES TO REMAIN DURING DEMOLITION (EXISTING ELEMENTS TO REMAIN ARE SHOWN AS SOLID GRAY LINES).
7. ALL FRAMING, DOORS, CEILINGS, INTERIOR GLAZING, MILLWORK TO BE DEMOLISHED ARE SHOWN AS DASHED LINEWORK.
8. DEMOLITION WORK REQ'D FOR MEP-FP ARE NOT SHOWN ON THESE ARCHITECTURAL PLANS. REFERENCE CONSULTANT DRAWINGS FOR FULL SCOPE OF WORK. ANY INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS RELATED TO THESE DISCIPLINES IS INTENDED FOR GENERAL REFERENCE ONLY.



1 FIRST FLOOR - DEMO PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR - DEMO PLAN
SCALE: 1/8" = 1'-0"

VAUGHN PUBLIC
LIBRARY

502 W. MAIN STREET
ASHLAND, WI 54806

VAUGHN PUBLIC LIBRARY
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PROJECT NUMBER 233682.00

SEAL

ISSUED FOR:

DESIGN DEVELOPMENT 08-02-24

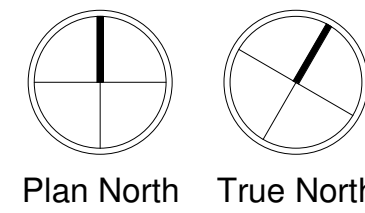
REVISION FOR:

NO. DESCRIPTION DATE

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CHECKED BY AR

FIRST & SECOND
FLOOR DEMO
PLANS

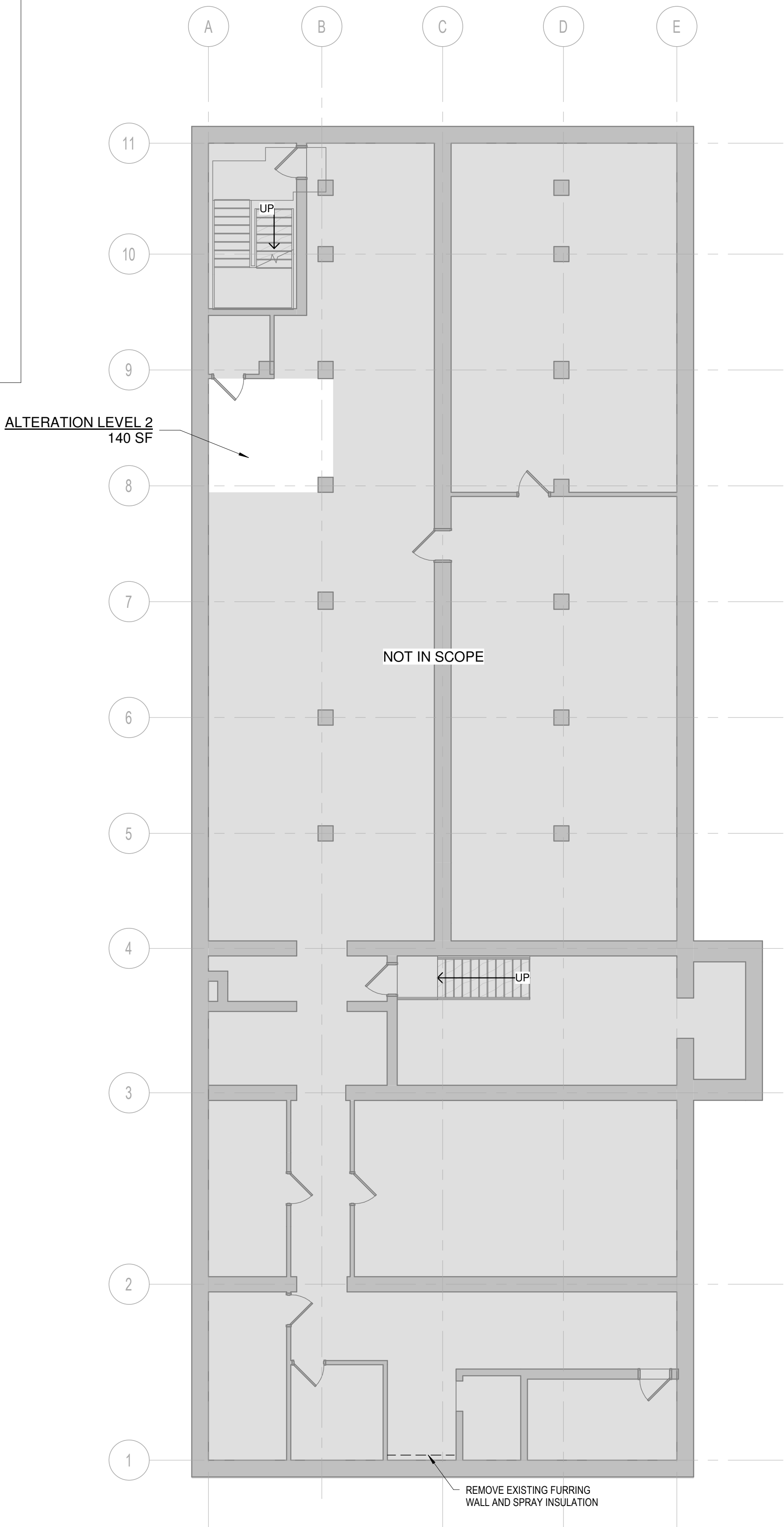


Plan North True North

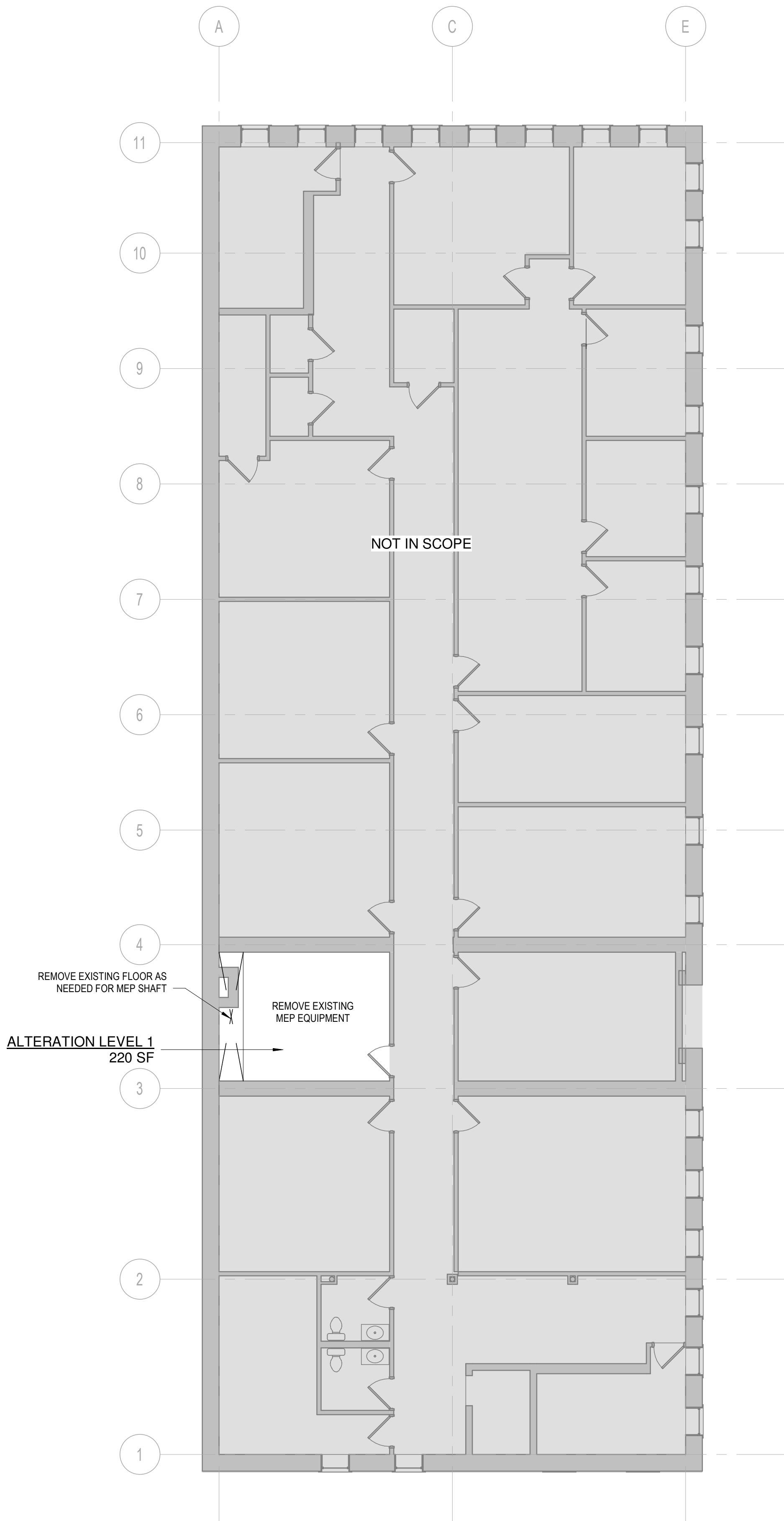
D101

GENERAL NOTES - DEMOLITION

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- 5. CONSULT WITH OWNER AND ARCHITECT PRIOR TO DEMOLITION OF ANY ELEMENTS THAT ARE SUSPECTED TO BE STRUCTURAL IN NATURE AND IS NOT ADDRESSED IN DRAWINGS.
- 6. PROTECT ALL ELEMENTS OR FINISHES TO REMAIN DURING DEMOLITION (EXISTING ELEMENTS TO REMAIN ARE SHOWN AS SOLID GRAY LINES).
- 7. ALL FRAMING, DOORS, CEILINGS, INTERIOR GLAZING, MILLWORK TO BE DEMOLISHED ARE SHOWN AS DASHED LINEWORK.
- 8. DEMOLITION WORK REQ'D FOR MEP-FP ARE NOT SHOWN ON THESE ARCHITECTURAL PLANS. REFERENCE CONSULTANT DRAWINGS FOR FULL SCOPE OF WORK. ANY INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS RELATED TO THESE DISCIPLINES IS INTENDED FOR GENERAL REFERENCE ONLY.



2 BASEMENT - DEMO PLAN
SCALE: 1/8" = 1'-0"



1 THIRD FLOOR - DEMO PLAN
SCALE: 1/8" = 1'-0"

VAUGHN PUBLIC
LIBRARY

502 W. MAIN STREET
ASHLAND, WI 54806

VAUGHN PUBLIC LIBRARY
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ASHLAND, WI 54806

PROJECT NUMBER 233682.00

SEAL

ISSUED FOR:

DESIGN DEVELOPMENT 08-02-24

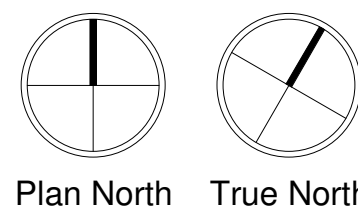
REVISION FOR:

NO. DESCRIPTION DATE

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CHECKED BY AR

BASEMENT &
THIRD FLOOR
DEMO PLANS



Plan North True North

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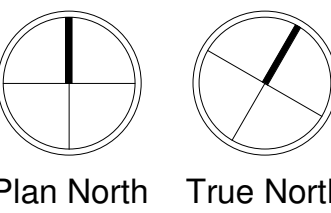
REVISION FOR:

NO. DESCRIPTIONDATE

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REFLECTED
CEILING DEMO
PLANS



1FIRST FLOOR - DEMO REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

2SECOND FLOOR - DEMO REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

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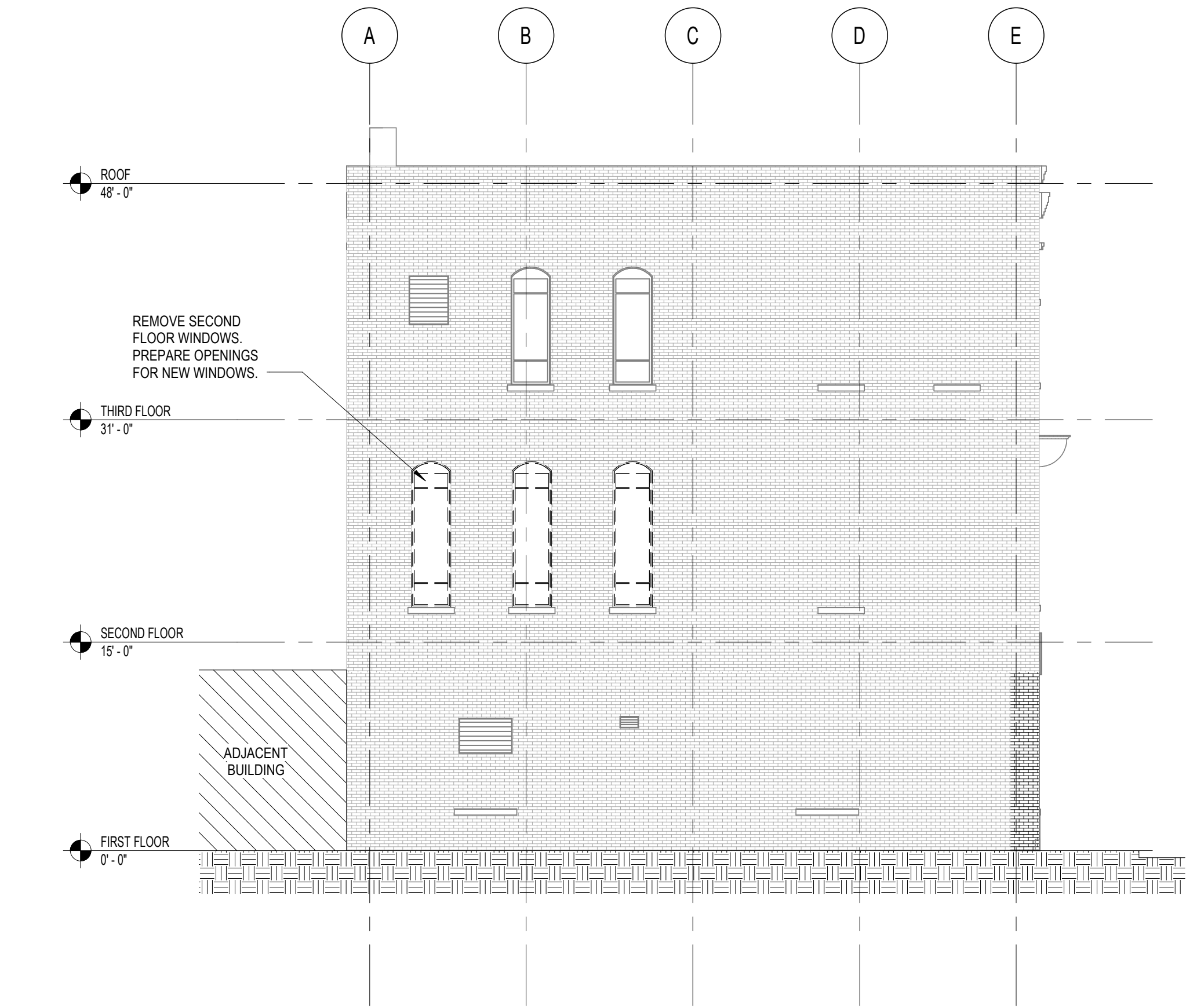
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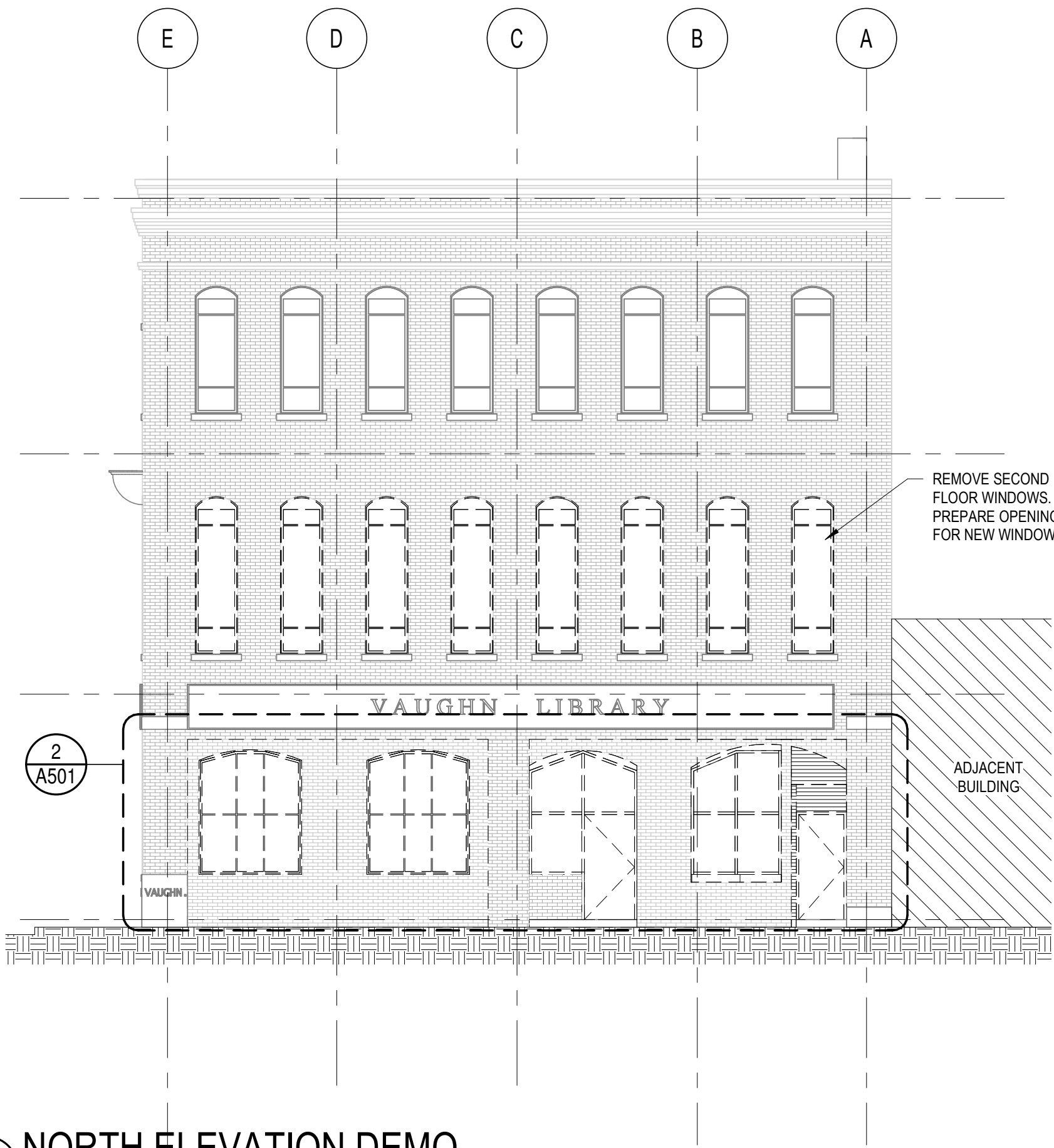
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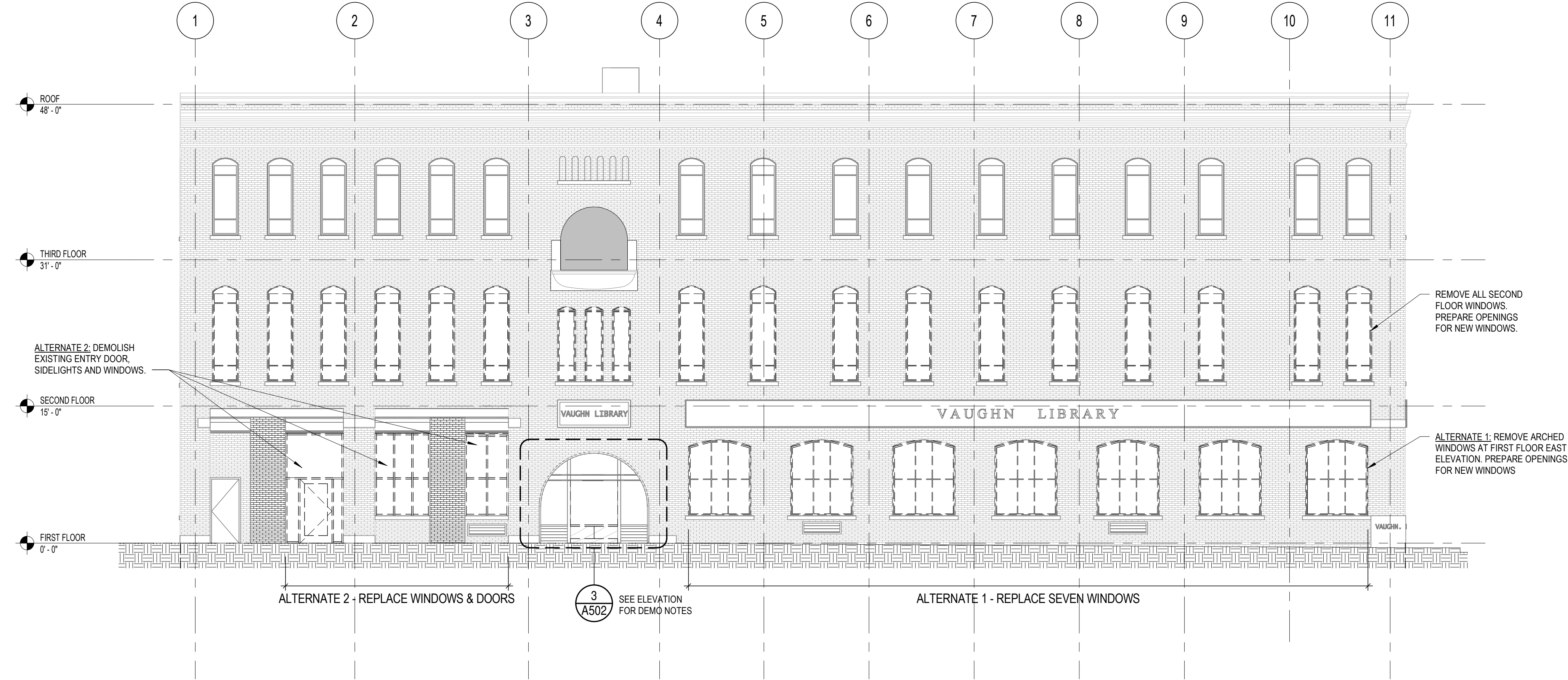
BUILDING DEMO
ELEVATIONS



1 SOUTH ELEVATION DEMO
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION DEMO
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION DEMO
SCALE: 1/8" = 1'-0"

D401

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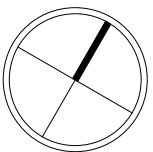
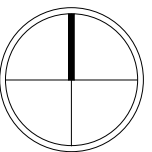
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1ST & 2ND FLOOR
PLANS

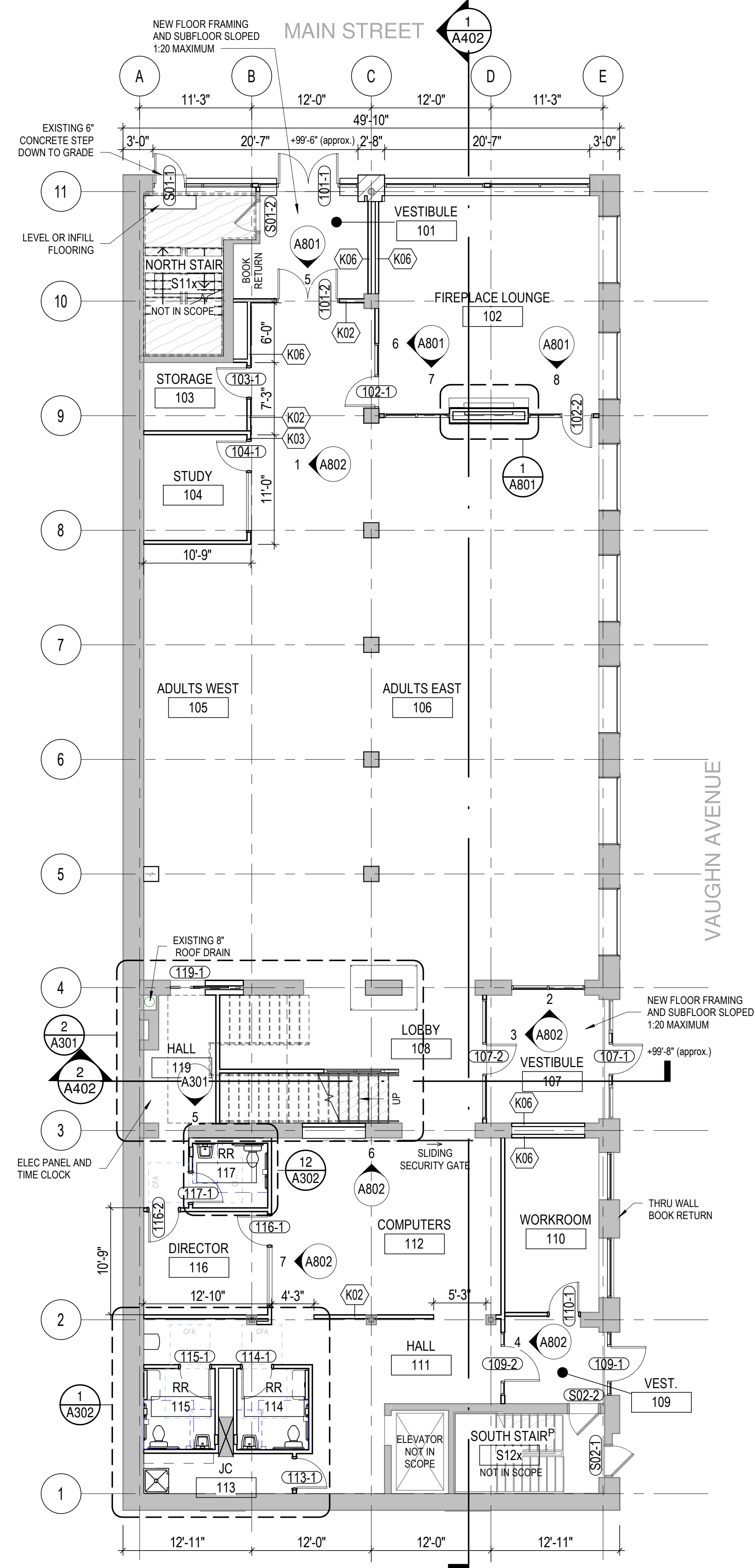


Plan North True North

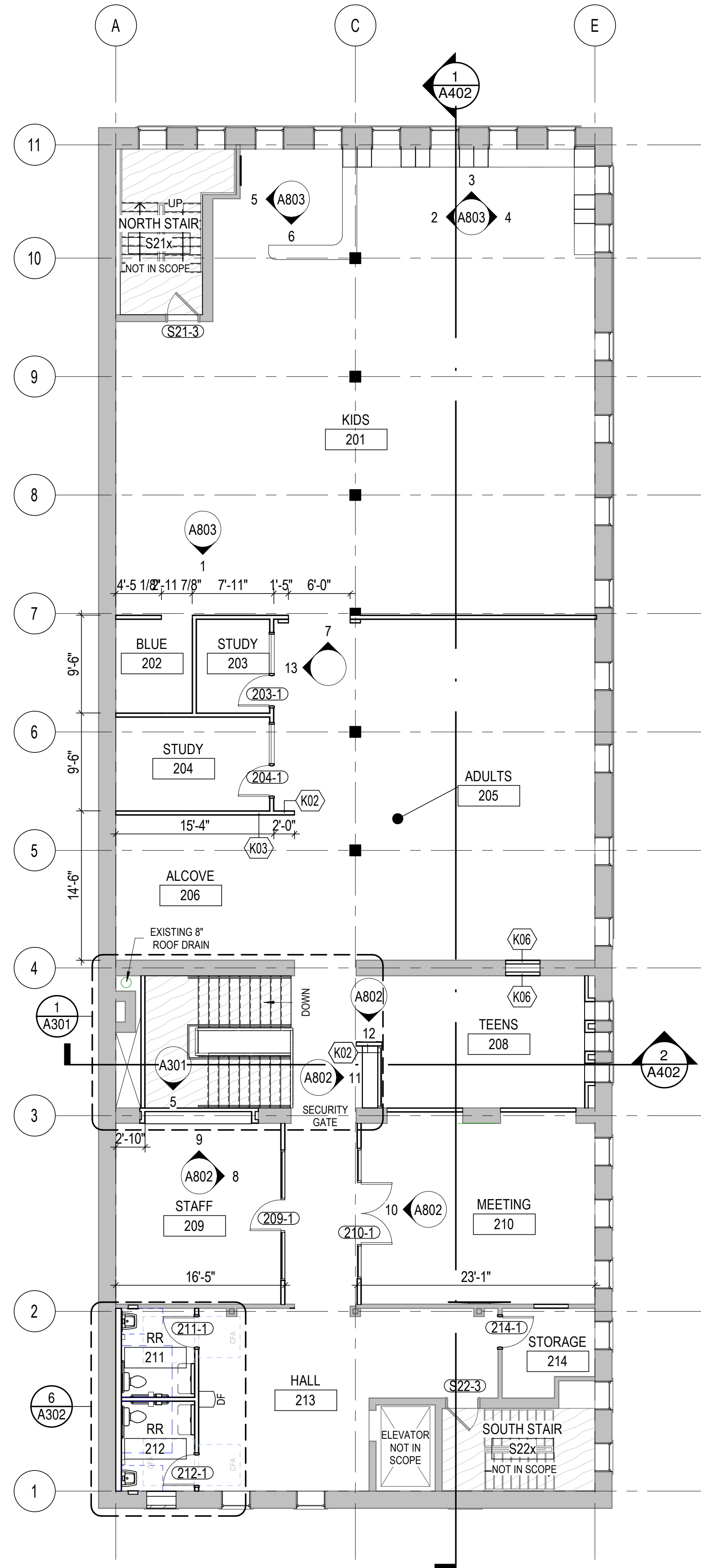
A101

GENERAL NOTES - PLANS

- EXISTING BUILDING DRAWINGS ARE SHOWN ACCORDING TO THE ORIGINAL BUILDING PLANS WITH LIMITED FIELD VERIFICATION. CONTRACTORS SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PERTINENT TO THEIR WORK PRIOR TO THE COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.
- DO NOT SCALE DRAWINGS. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. NOTIFY ARCHITECT OF ANY DRAWING DISCREPANCIES.
- COORDINATE ALL CUTTING & PATCHING OF SURFACES AND SYSTEMS WITH GENERAL CONTRACTOR.
- PROVIDE CONCEALED BLOCKING IN WALL FOR ALL WALL MOUNTED ELEMENTS INCLUDING BUT NOT LIMITED TO VISUAL DISPLAY DEVICES, FIRE CABINETS, VIDEO EQUIPMENT & MILLWORK.
- WHERE NEW CONSTRUCTION & FINISHES MEET EXISTING, ALIGN NEW AND EXISTING CONDITIONS AS TO ELIMINATE THE APPEARANCE OF SEAMS.
- DISPLAY MONITORS - OWNER SHALL PROVIDE MONITORS AND ASSOCIATED BRACKETS. GC TO INSTALL. CONTINUE FINISHED WALL SURFACE BEHIND ALL WALL MOUNTED BRACKETS.
- INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF GYP. BOARD U.N.O.
- ALL WALLS ARE K03 UNLESS NOTED OTHERWISE.
- 4" DIMENSIONS TYPICAL FROM DOOR JAMP TO ADJACENT WALL UNLESS NOTED OTHERWISE.



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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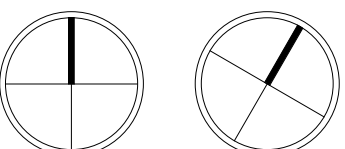
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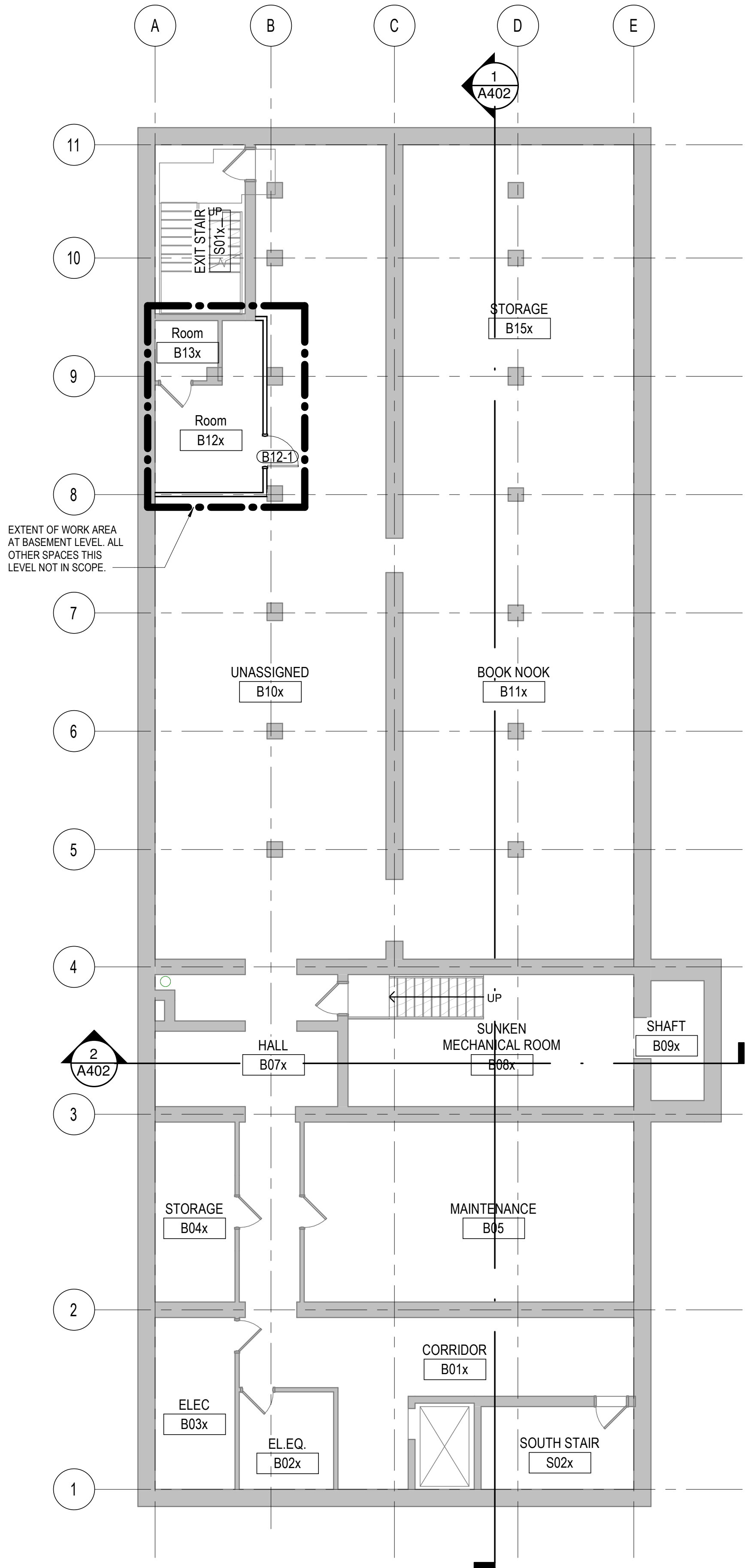
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BASEMENT, 3RD
FLOOR & ROOF
PLANS

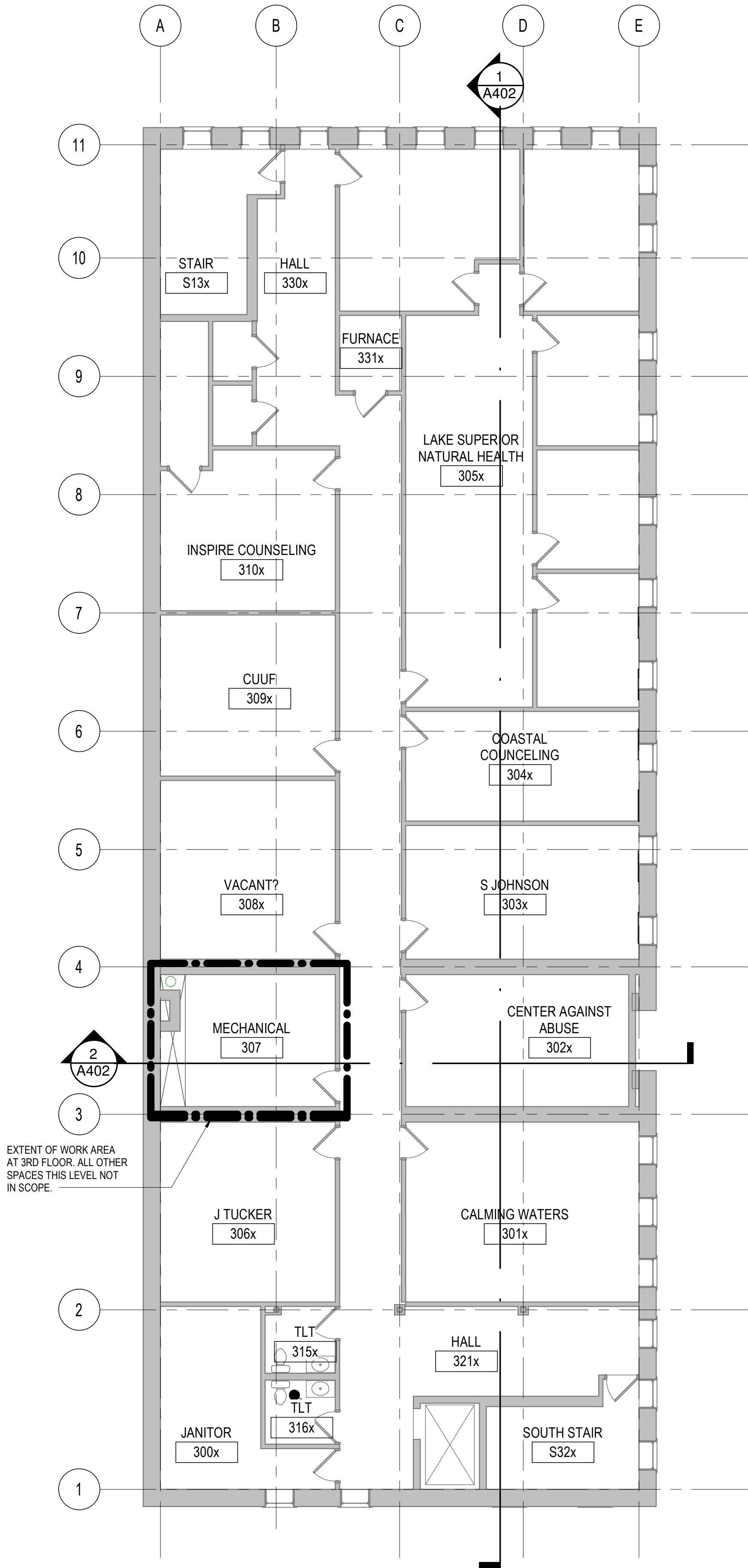


Plan North True North

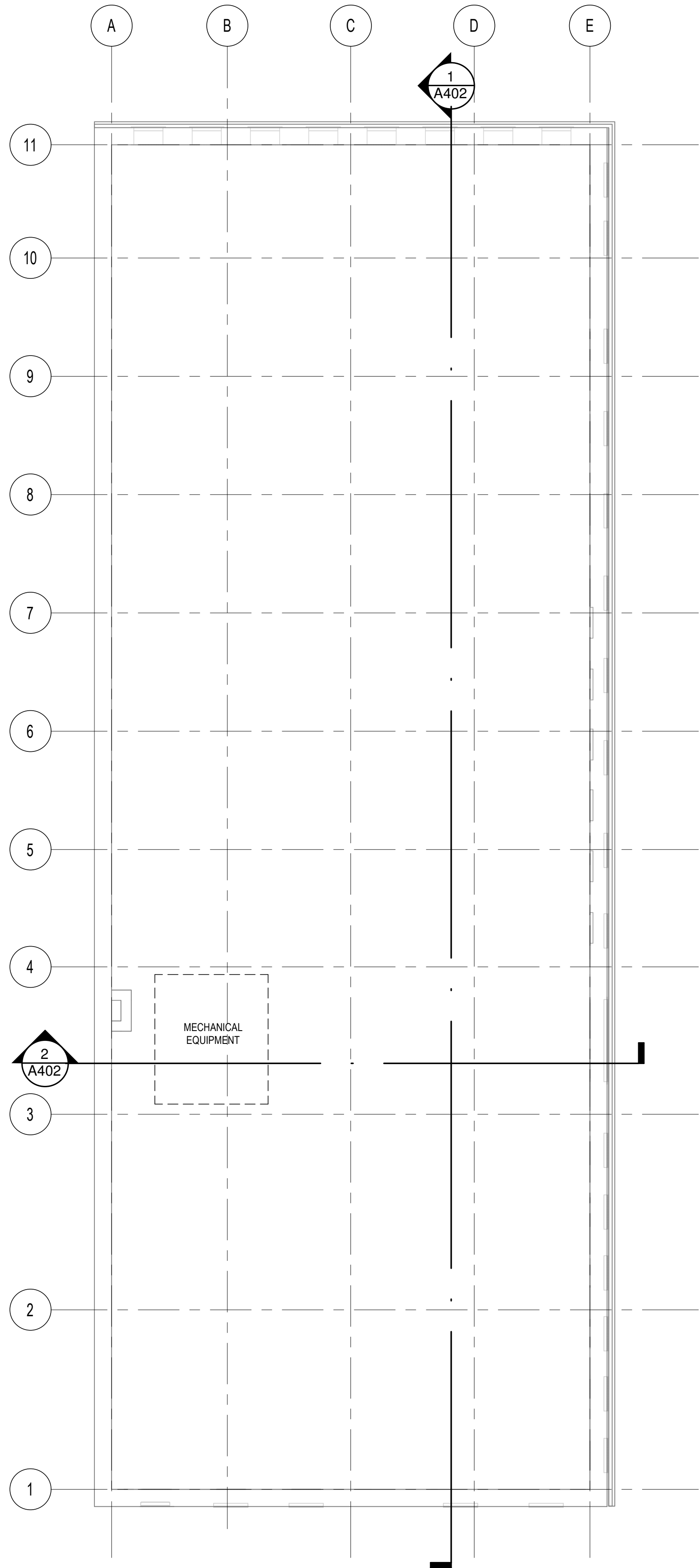
A102



2 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



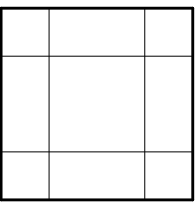
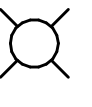
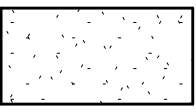
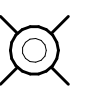
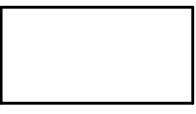
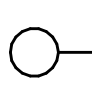
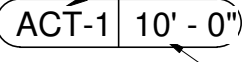
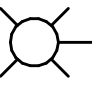
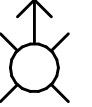
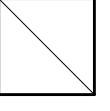
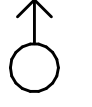
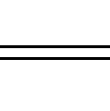
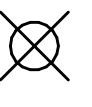
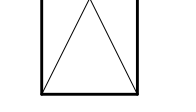
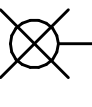
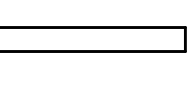
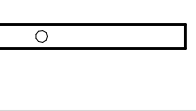
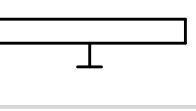
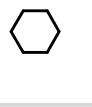
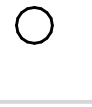
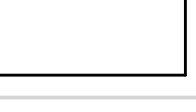
3 ROOF PLAN
SCALE: 1/8" = 1'-0"

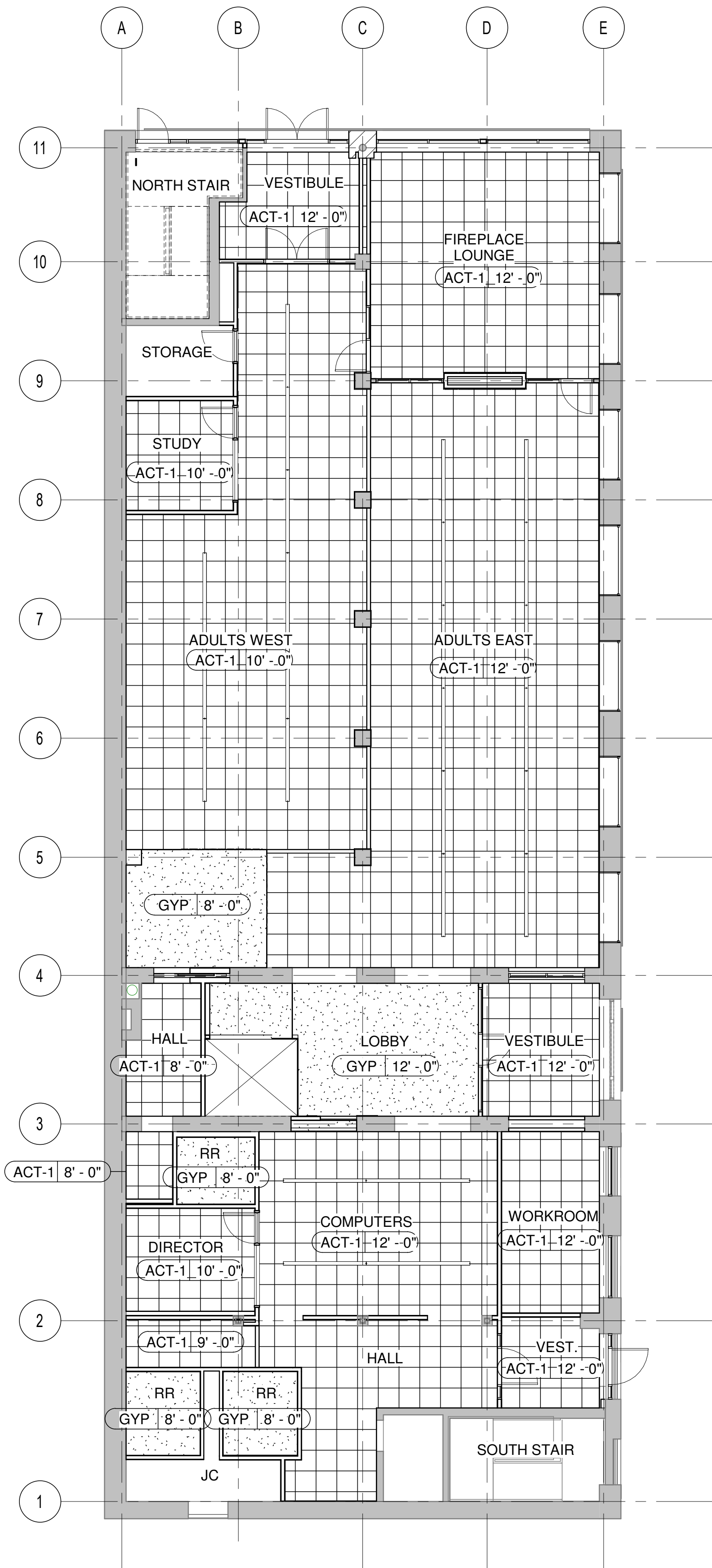
GENERAL NOTES - REFLECTED CEILING PLANS

1.
- ALL CEILING DEVICES SHOWN ARE DIAGRAMMATIC. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ELECTRICAL AND MECHANICAL SCOPE OF WORK.

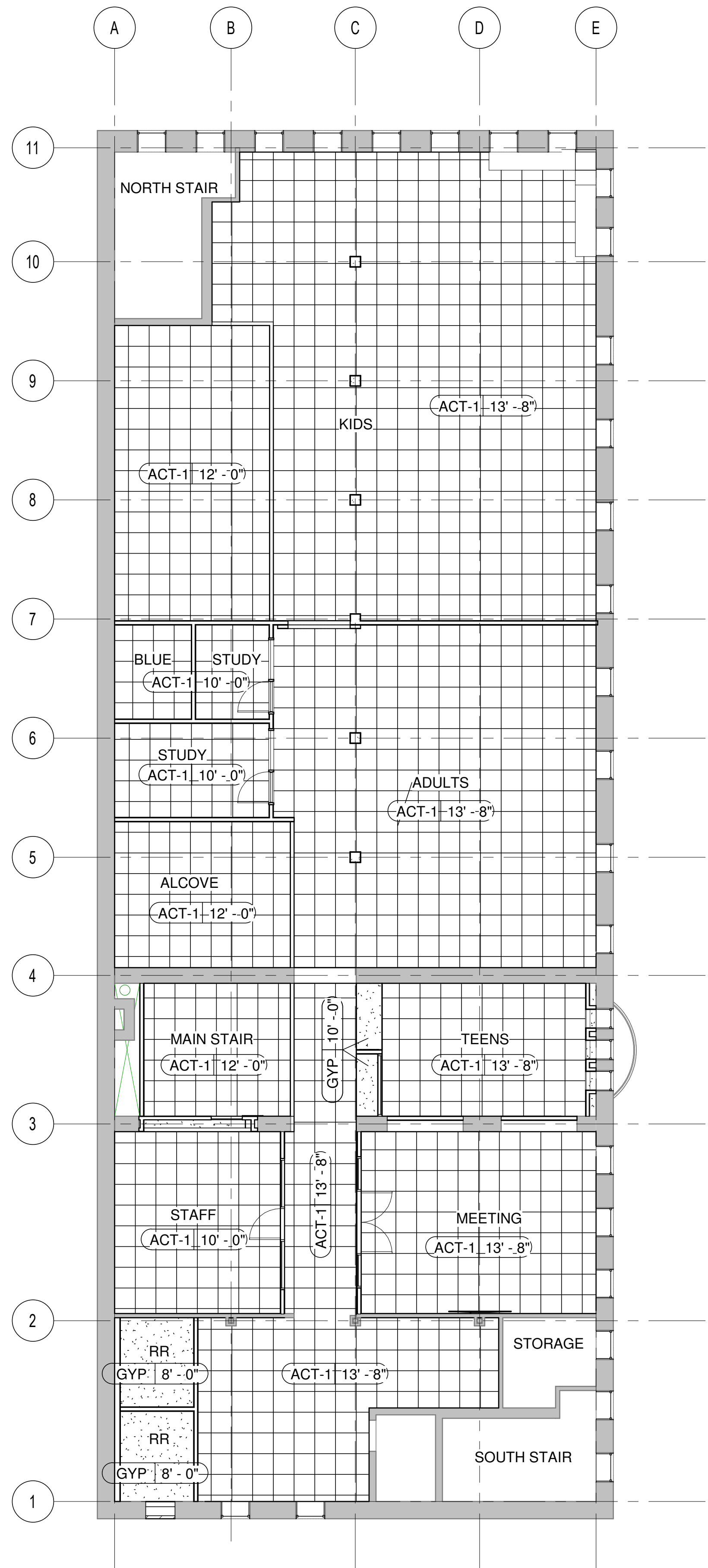
2.
- ALL SPRINKLER HEADS WITHIN SOFFITS SHALL HAVE CONCEALED HEADS.

GRAPHIC SYMBOLS

	ACOUSTICAL CEILING TILES		RECESSED CEILING LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
			CEILING MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
	PAINTED GYP BOARD CEILING		CEILING MOUNTED PENDANT LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
	EXPOSED PAINTED STRUCTURE		RECESSED WALL LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
 ACT-1 10' - 0"	CEILING MATERIAL AND TYPE CEILING HEIGHT AFF		WALL MOUNTED LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
			SURFACE MOUNTED ACCENT LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
	SUPPLY AIR LOUVER		RECESSED ACCENT LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
	RETURN AIR LOUVER		CEILING MOUNTED EXIT LIGHT
	LINEAR SLOT DIFFUSER		WALL MOUNTED EXIT LIGHT
	ACCESS PANEL		OCCUPANCY SENSOR
	LINEAR FLUORESCENT - REFER TO ELECTRICAL DRAWINGS		DAYLIGHT SENSOR
	PENDANT MOUNTED LINEAR FLUORESCENT - REFER TO ELECTRICAL DRAWINGS		SPEAKER - CEILING RECESSED
	WALL MOUNTED LINEAR FLUORESCENT - REFER TO ELECTRICAL DRAWINGS		SPEAKER - CEILING SURFACE MOUNTED
	FLUORESCENT STRIP LIGHT - REFER TO ELECTRICAL DRAWINGS		UPRIGHT SPRINKLER
	RECESSED 2x2 - REFER TO ELECTRICAL DRAWINGS		PENDANT SPRINKLER
	RECESSED 2x4 - REFER TO ELECTRICAL DRAWINGS		CONCEALED SPRINKLER
			SIDEWALL SPRINKLER



1 FIRST FLOOR - REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR - REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

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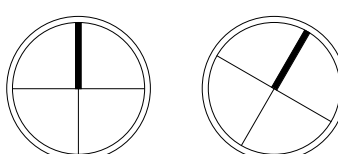
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1ST & 2ND FLOOR
REFLECTED
CEILING PLANS



Plan North True North

A201

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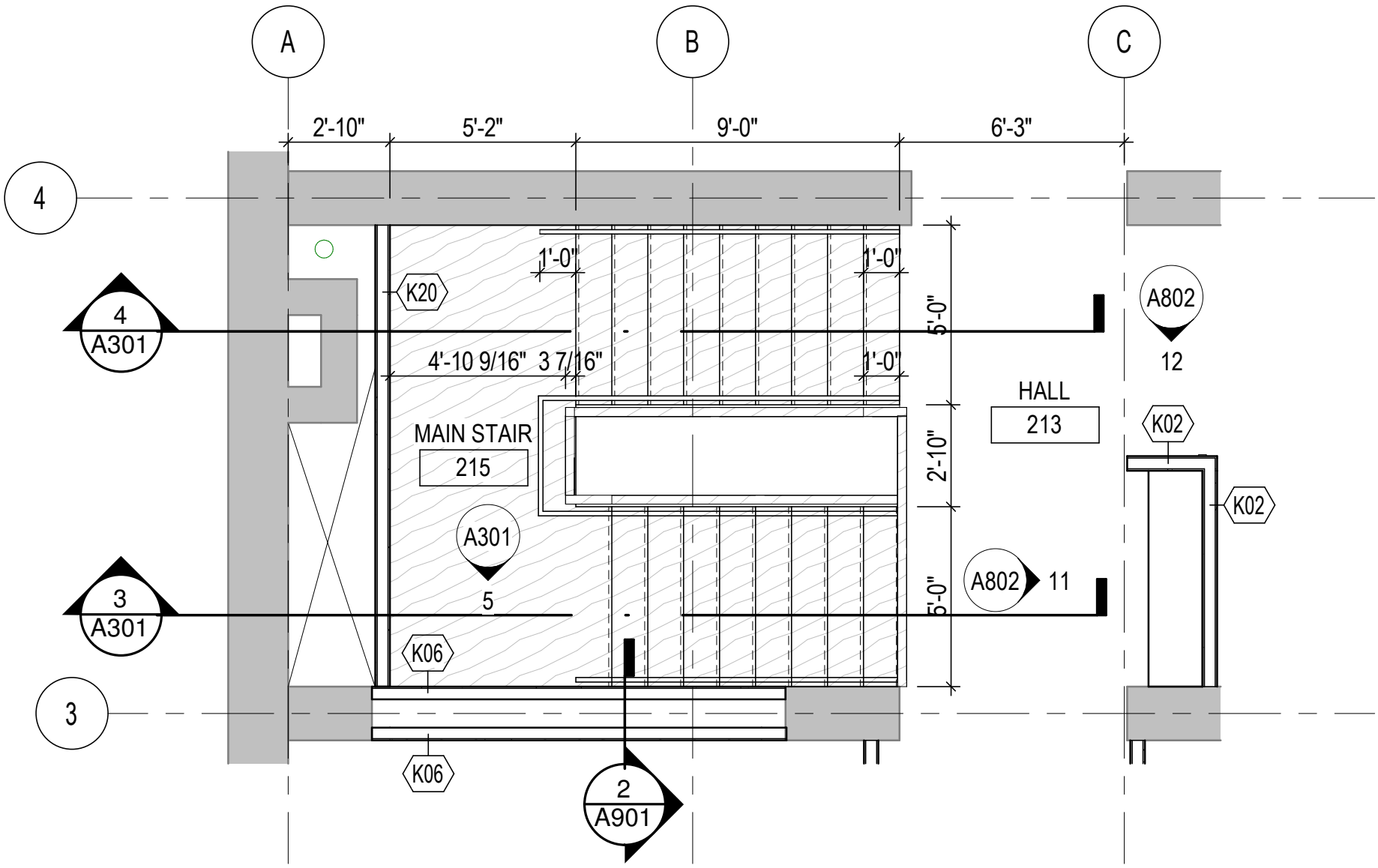
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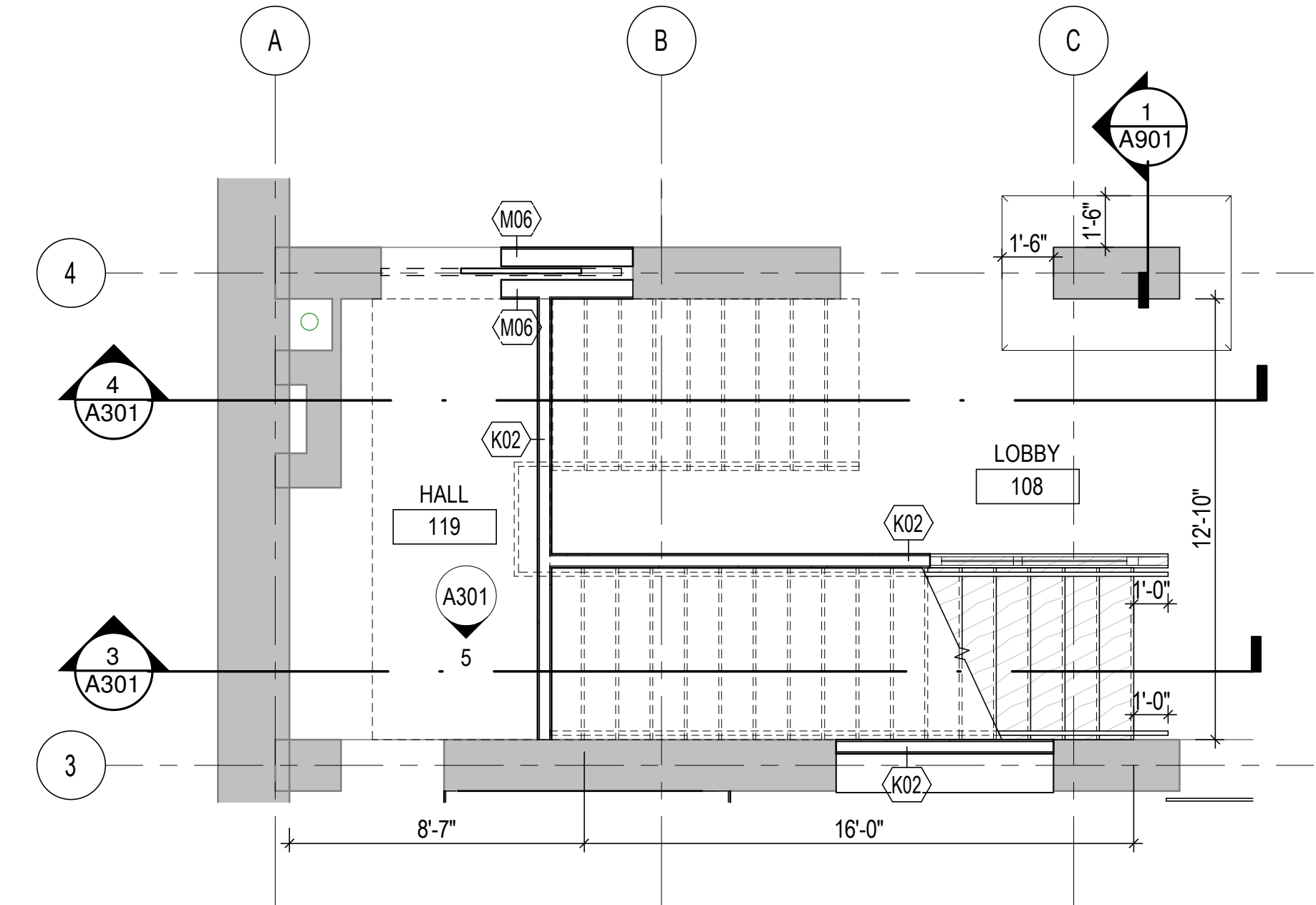
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ENLARGED STAIR
PLANS &
SECTIONS

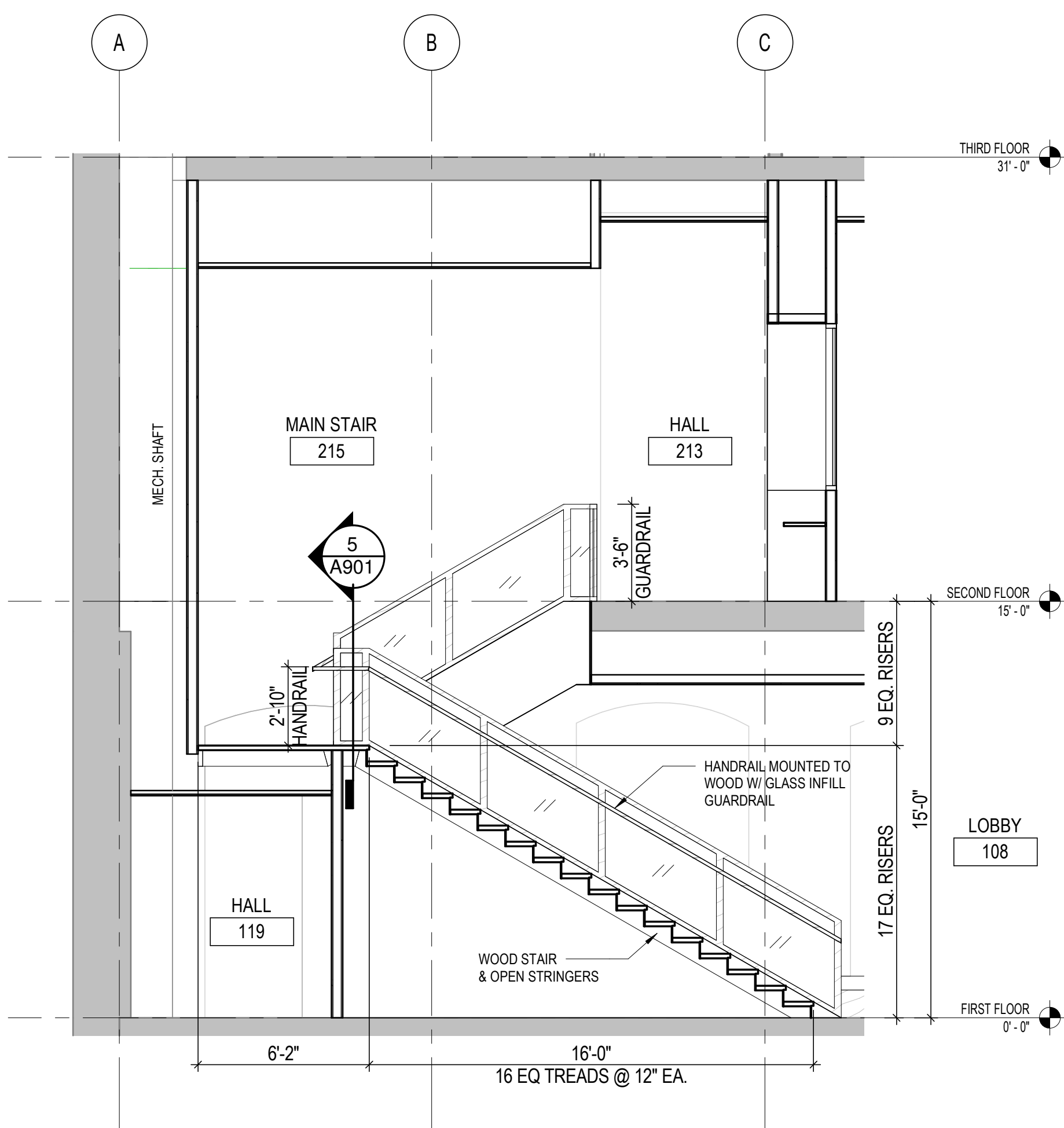
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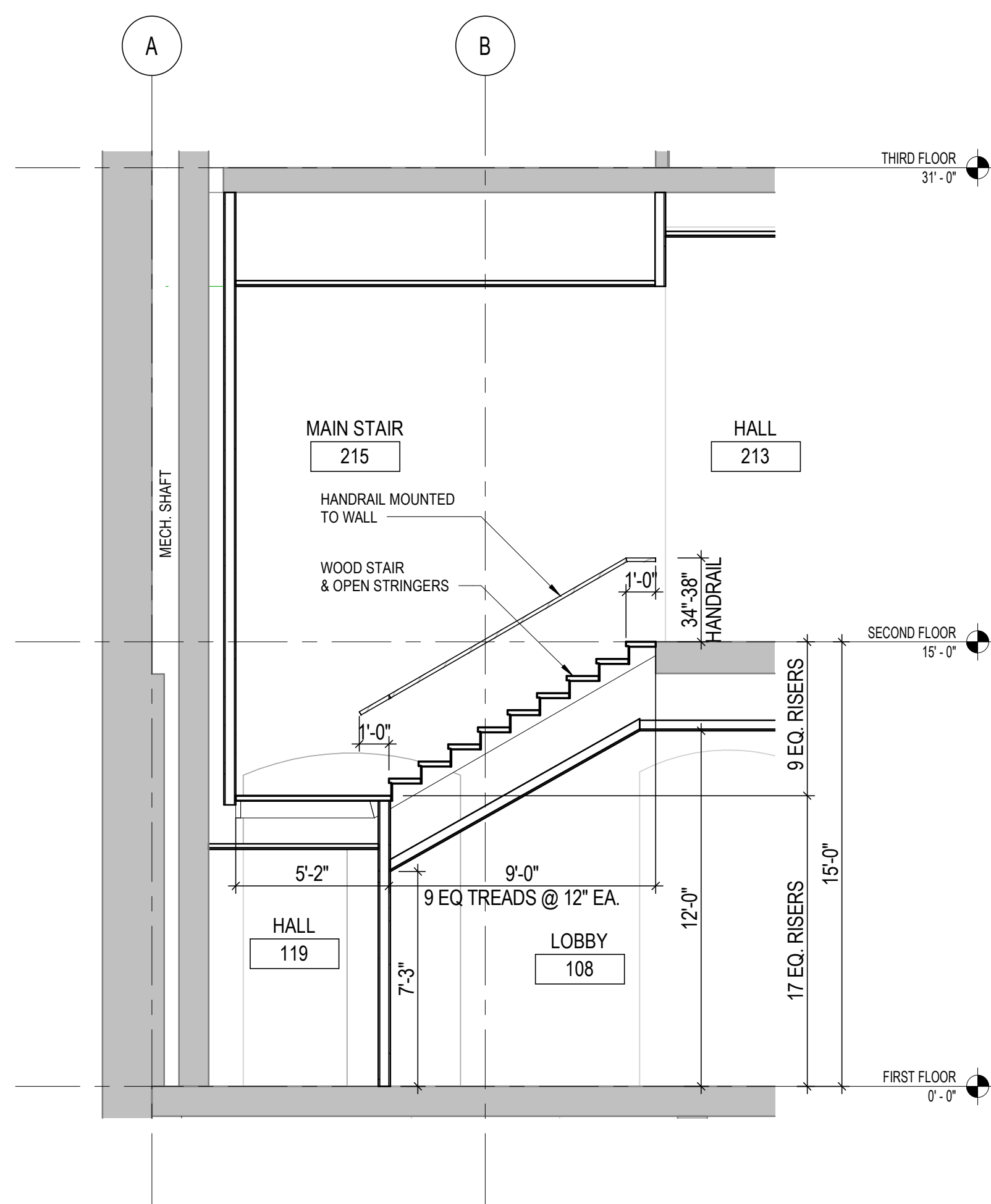
1 ENLARGED MAIN STAIR - SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



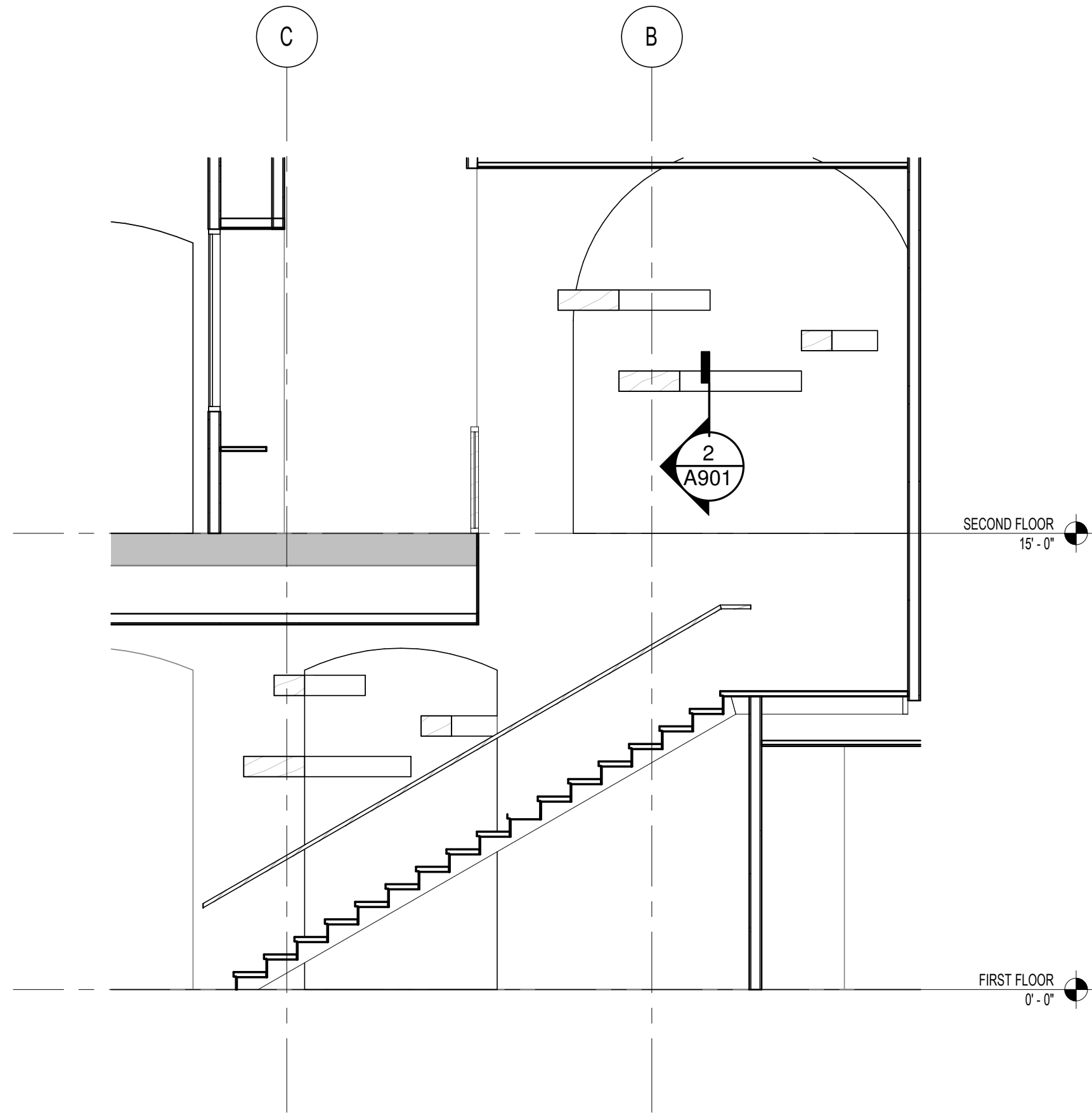
2 ENLARGED MAIN STAIR - FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



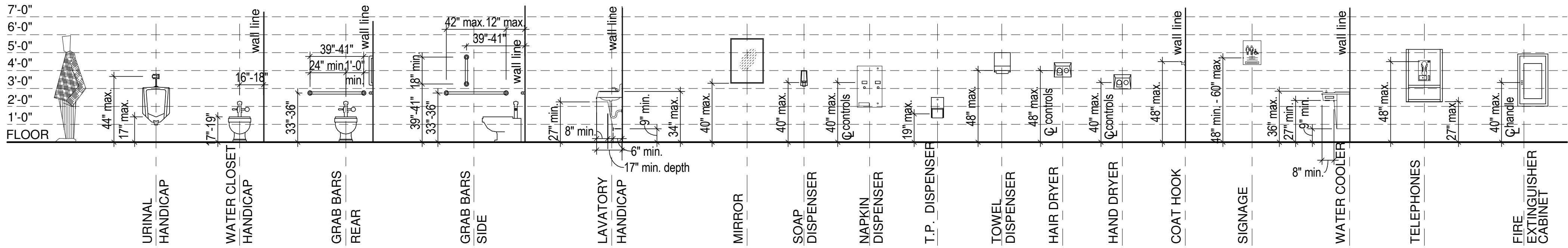
3 MAIN STAIR - SECTION 1
SCALE: 1/4" = 1'-0"



4 MAIN STAIR - SECTION 2
SCALE: 1/4" = 1'-0"

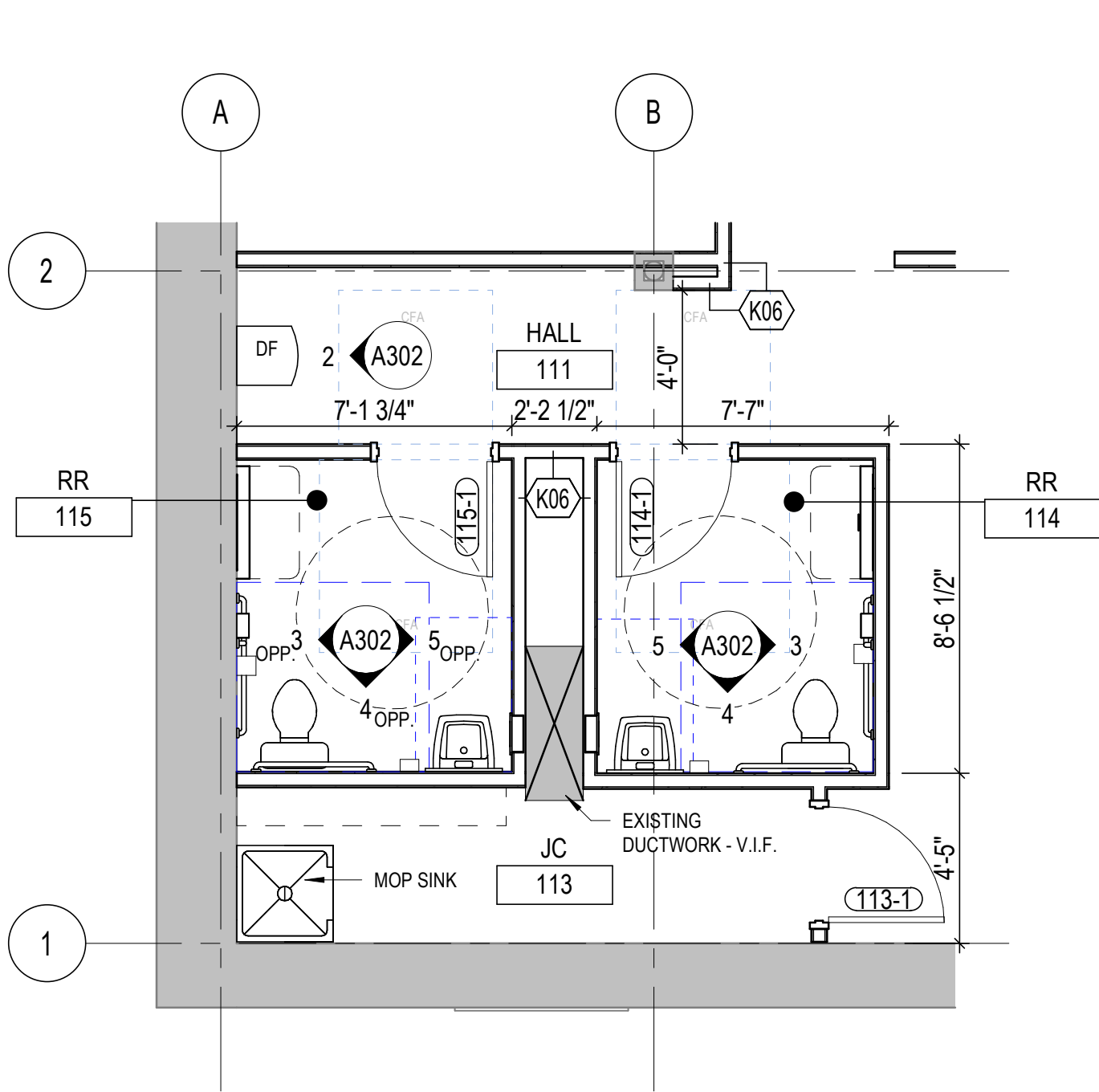


5 MAIN STAIR - ELEVATION
SCALE: 1/4" = 1'-0"



TYPICAL MOUNTING HEIGHTS LEGEND (ANSI)

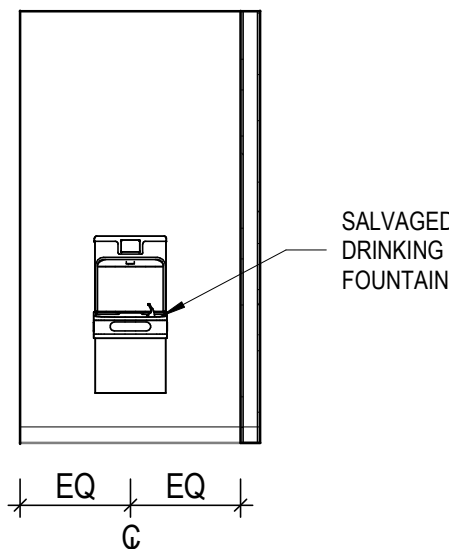
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RR 114 & 115 - ENLARGED PLAN

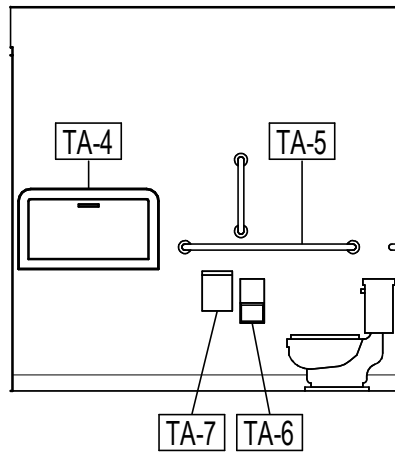
SCALE: 1/4" = 1'-0"

TOILET ACCESSORY LEGEND	
TAG	Comments
TA-1	MIRROR, 24"X36", BOBRICK B-290
TA-2	COMBINATION PAPER TOWEL DISPENSER/WASTE RECEPTACLE
TA-3	SOAP DISPENSER
TA-4	BABY CHANGING STATION-KOALA KB300
TA-5	HORIZONTAL GRAB BARS WITH VERTICAL GRAB BAR
TA-6	TOILET TISSUE DISPENSER
TA-7	SANITARY NAPKIN DISPOSAL



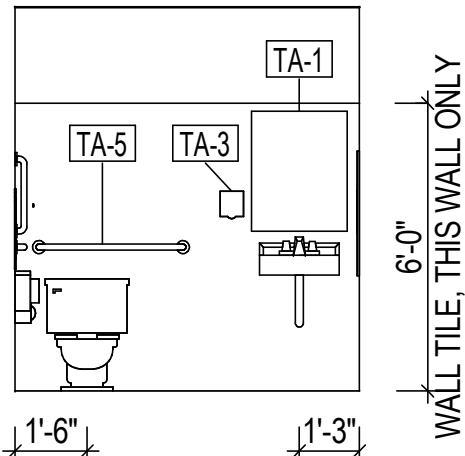
HALL 111 - WEST

SCALE: 1/4" = 1'-0"



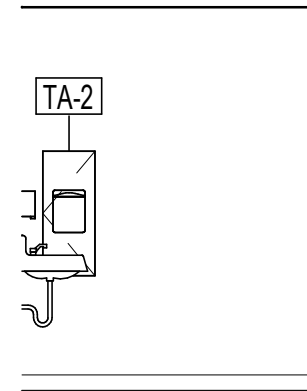
RR 114 - EAST

SCALE: 1/4" = 1'-0"



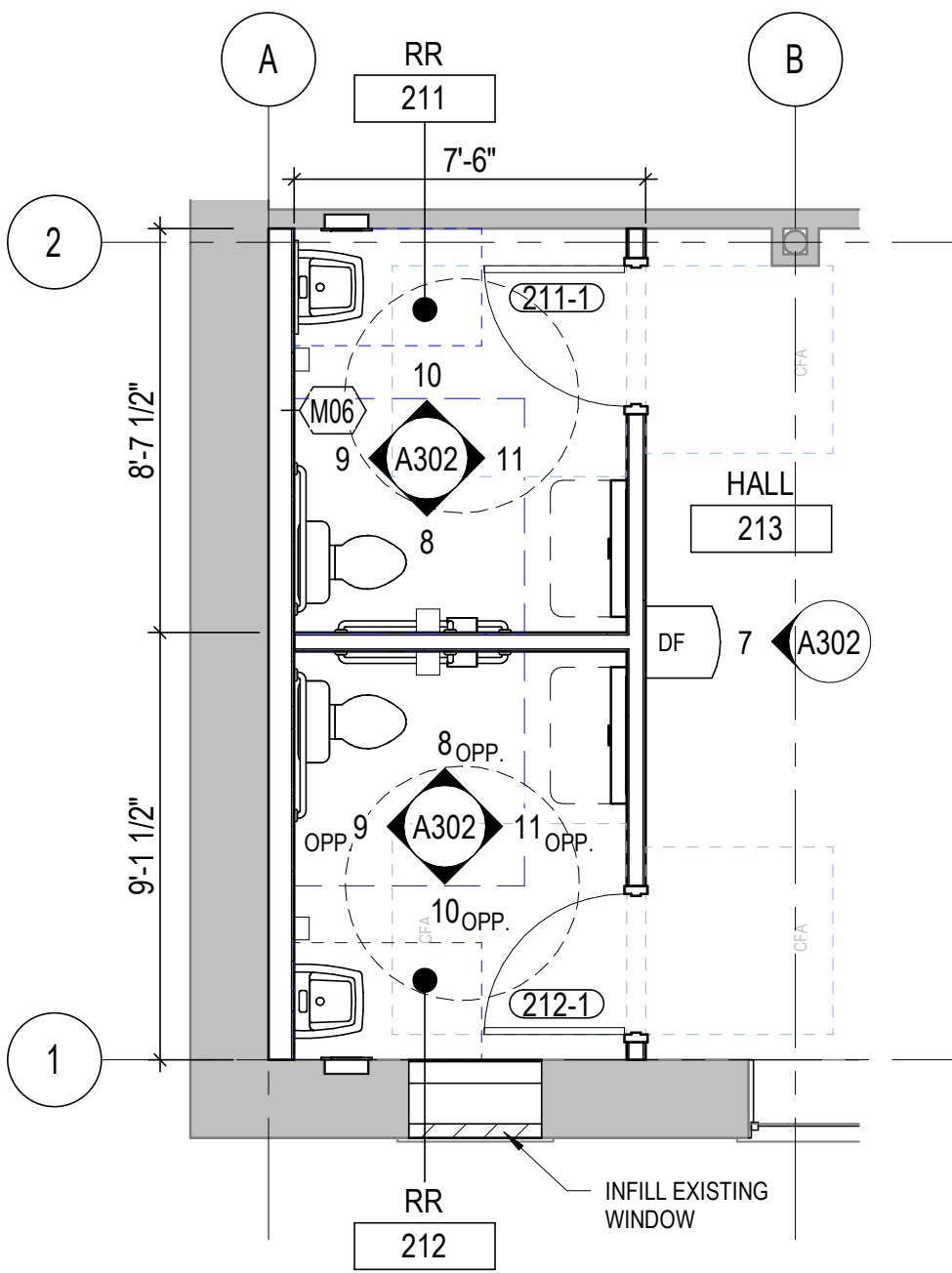
RR 114 - SOUTH

SCALE: 1/4" = 1'-0"



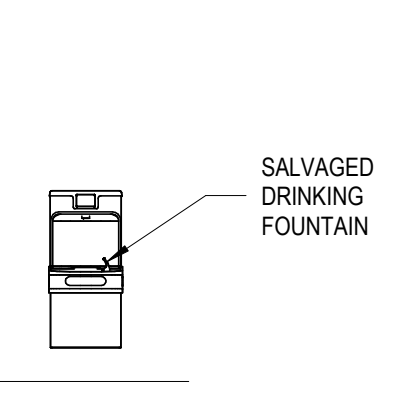
RR 114 - WEST

SCALE: 1/4" = 1'-0"



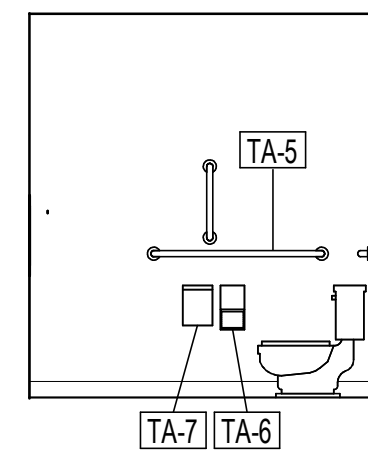
RR 211 & 212 - ENLARGED PLAN

SCALE: 1/4" = 1'-0"



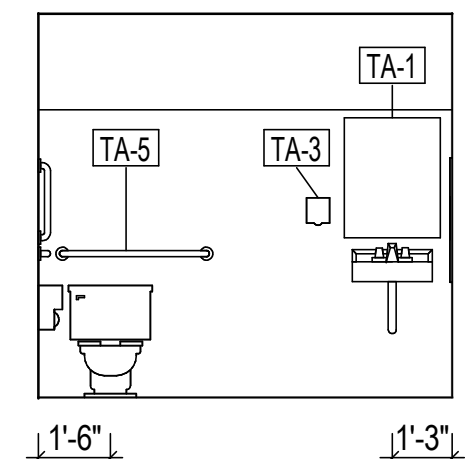
HALL 213 - WEST

SCALE: 1/4" = 1'-0"



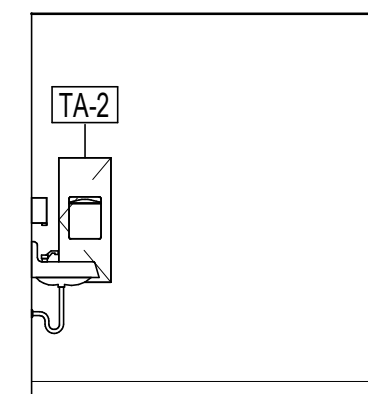
RR 211 - SOUTH

SCALE: 1/4" = 1'-0"



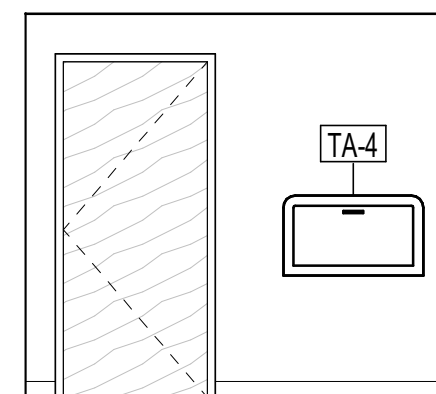
RR 211 - WEST

SCALE: 1/4" = 1'-0"



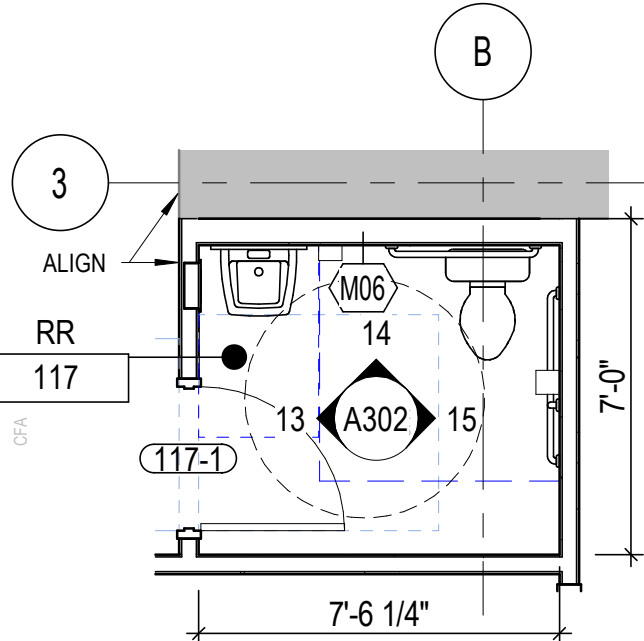
RR 211 - NORTH

SCALE: 1/4" = 1'-0"



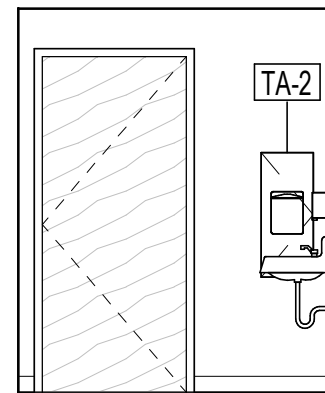
RR 211 - EAST

SCALE: 1/4" = 1'-0"



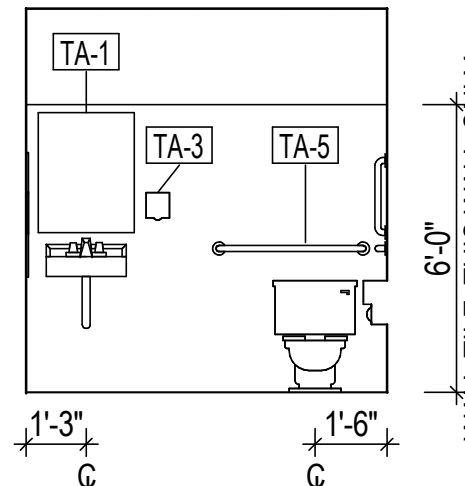
RR 117 - ENLARGED PLAN

SCALE: 1/4" = 1'-0"



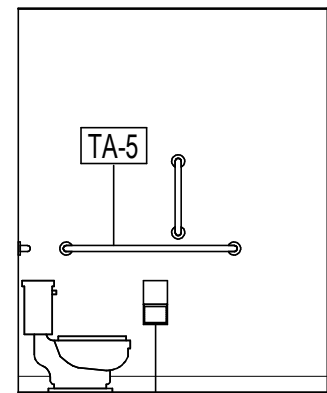
RR 117 - WEST

SCALE: 1/4" = 1'-0"



RR 117 - NORTH

SCALE: 1/4" = 1'-0"



RR 117 - EAST

SCALE: 1/4" = 1'-0"

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ENLARGED
RESTROOM PLANS
& ELEVATIONS

A302

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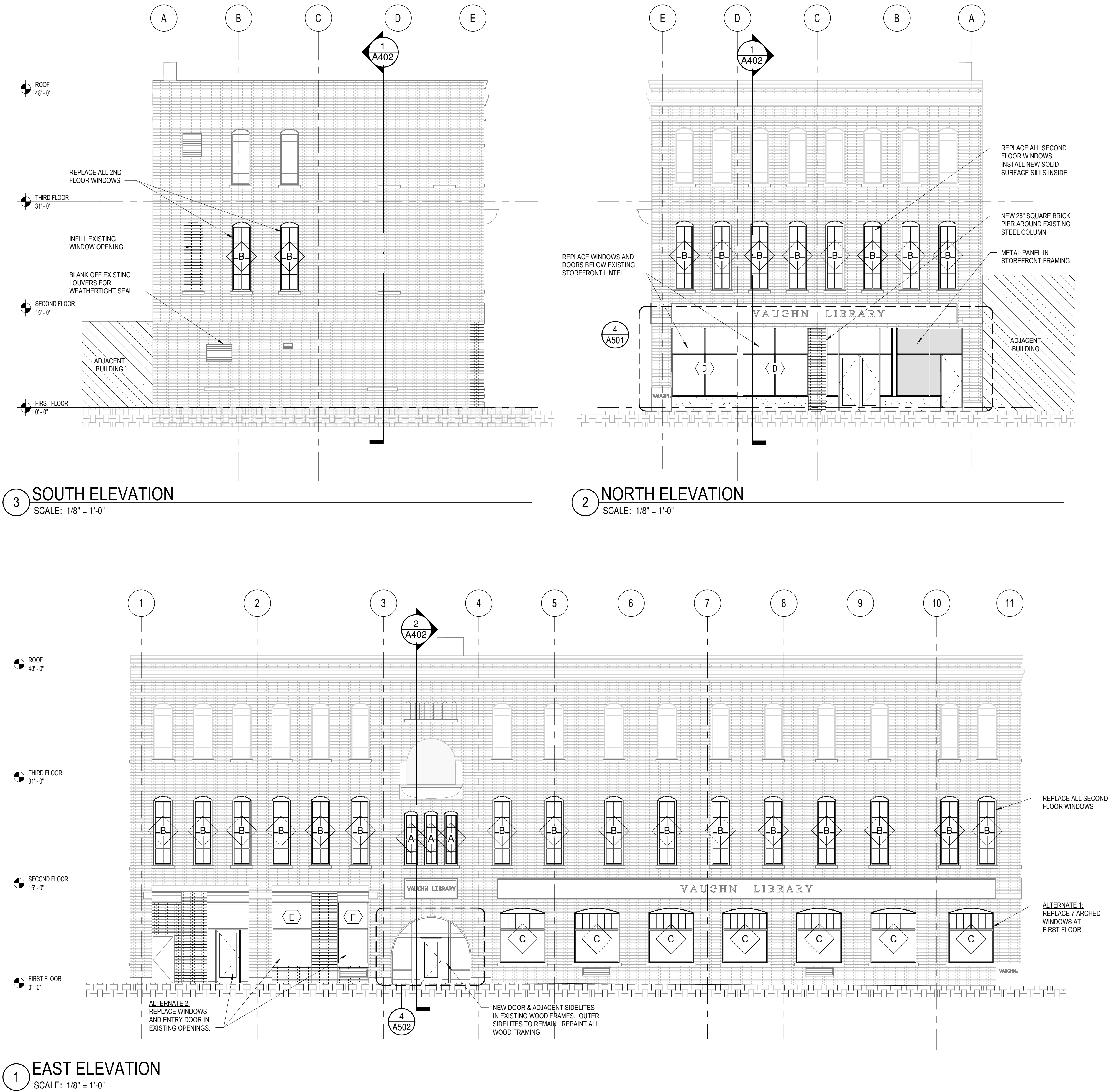
REVISION FOR:

NO. DESCRIPTION DATE

DRAWN BY JM

CHECKED BY AR

BUILDING
ELEVATIONS



VAUGHN PUBLIC
LIBRARY

502 W. MAIN STREET
ASHLAND, WI 54806

VAUGHN PUBLIC LIBRARY
502 W. MAIN STREET
ASHLAND, WI 54806

PROJECT NUMBER 233682.00

SEAL

ISSUED FOR:

DESIGN DEVELOPMENT 08-02-24

REVISION FOR:

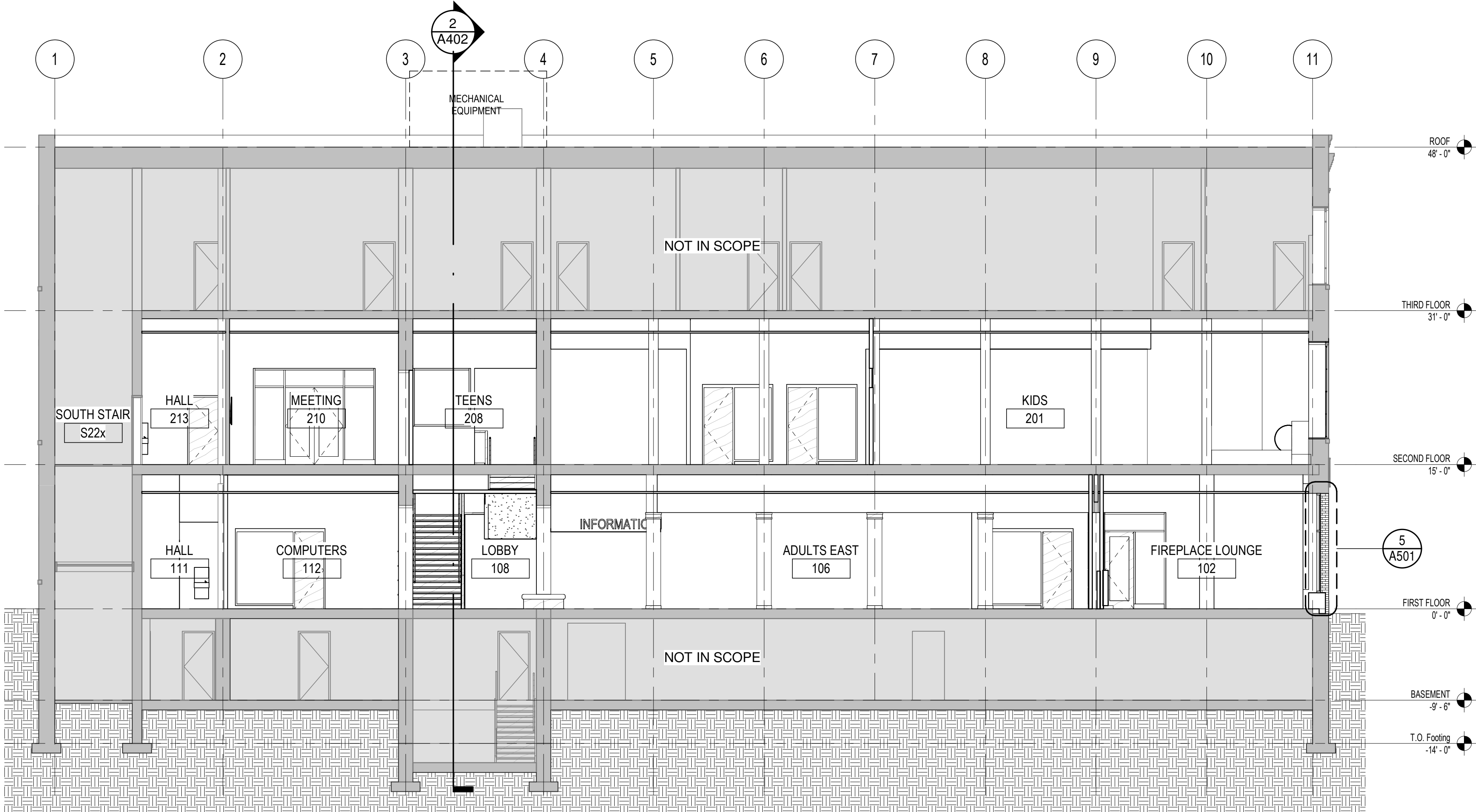
NO. DESCRIPTION DATE

DRAWN BY Author

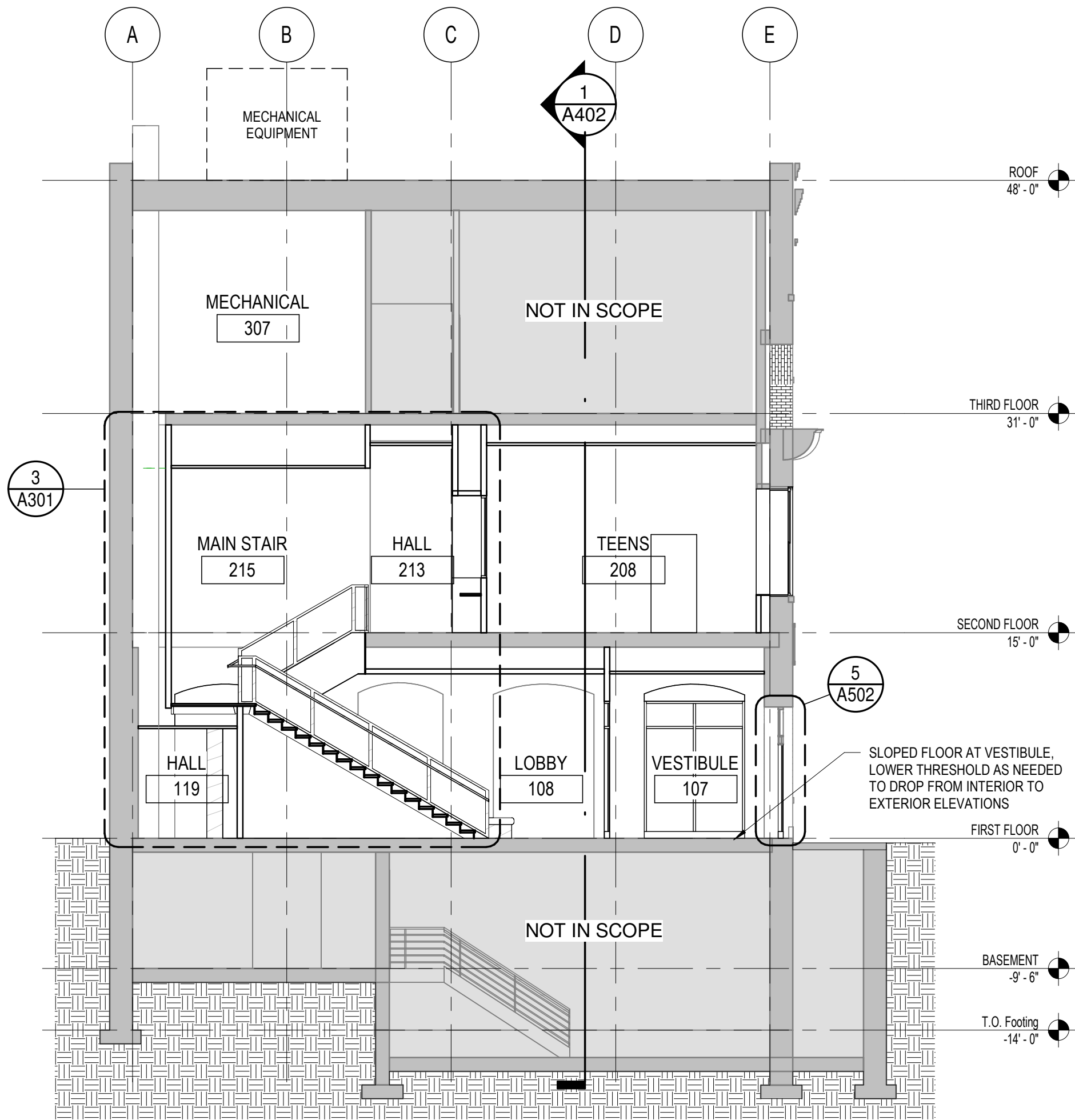
CHECKED BY Checker

BUILDING
SECTIONS

A402



1 N/S BUILDING SECTION
SCALE: 1/8" = 1'-0"



2 E/W BUILDING SECTION
SCALE: 1/8" = 1'-0"

VAUGHN PUBLIC LIBRARY

502 W. MAIN STREET
ASHLAND, WI 54806

VAUGHN PUBLIC LIBRARY
502 W. MAIN STREET
ASHLAND, WI 54806

PROJECT NUMBER 233682.00

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NO. DESCRIPTION DATE

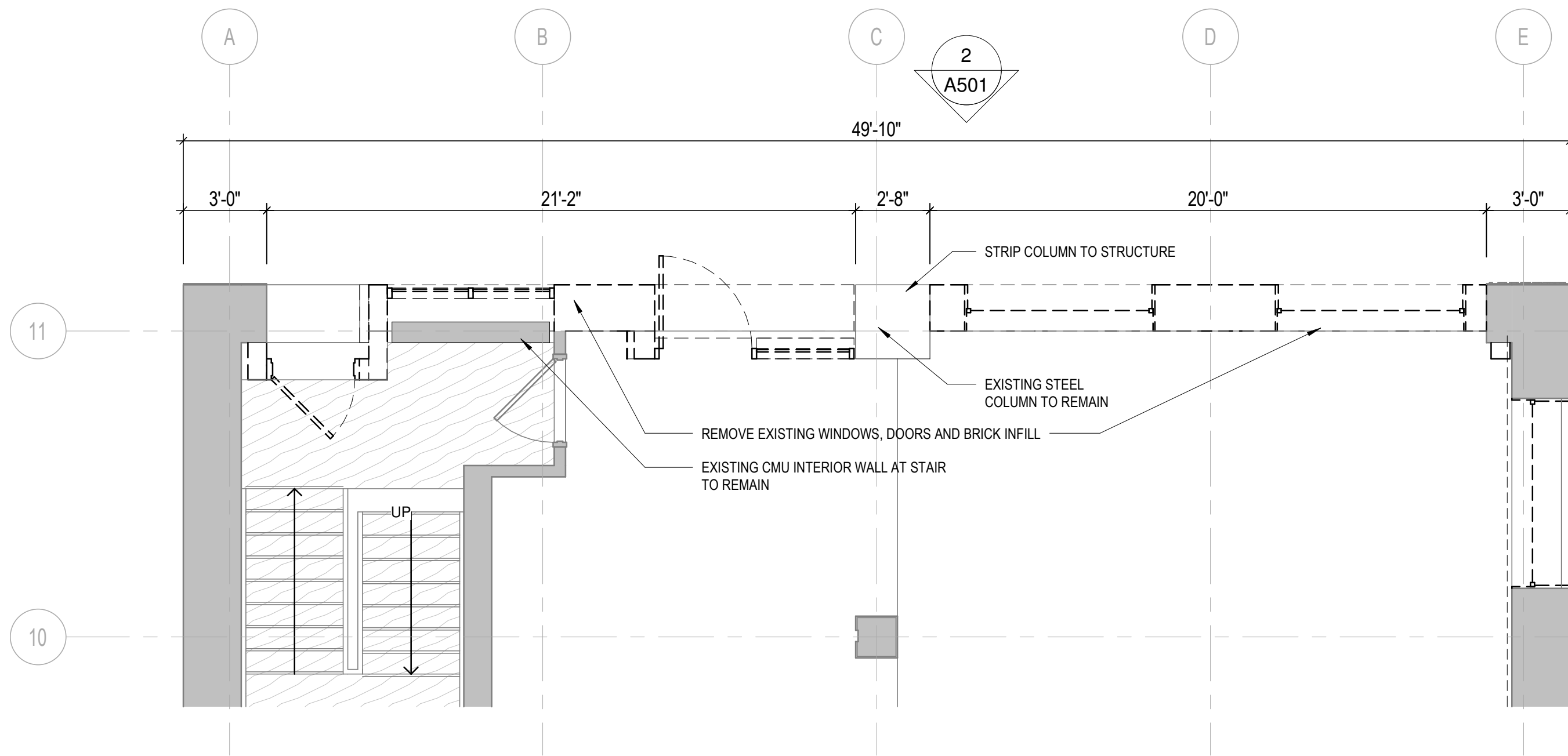
DRAWN BY

Author

CHECKED BY

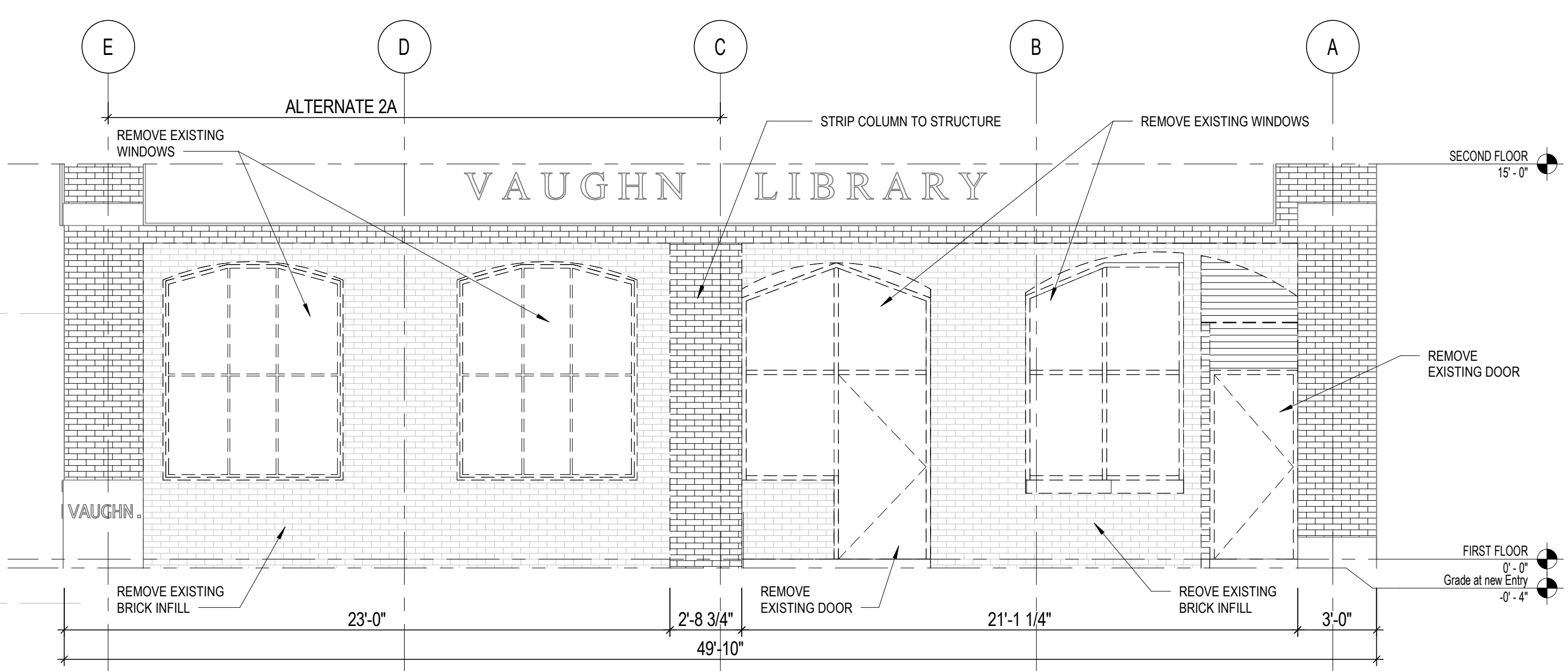
Checker

NORTH ENTRY PLAN & DETAILS



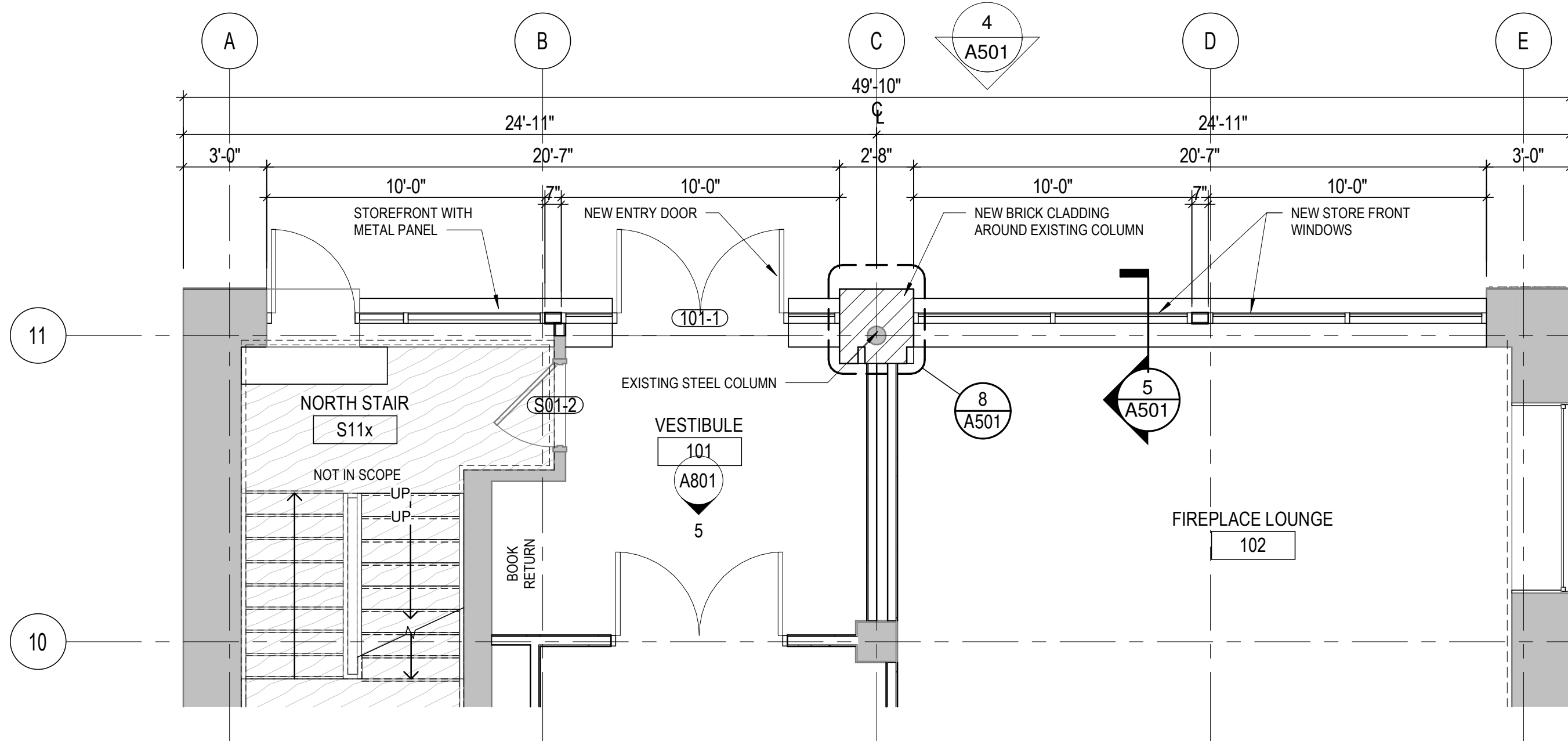
1 NORTH ENTRY DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"



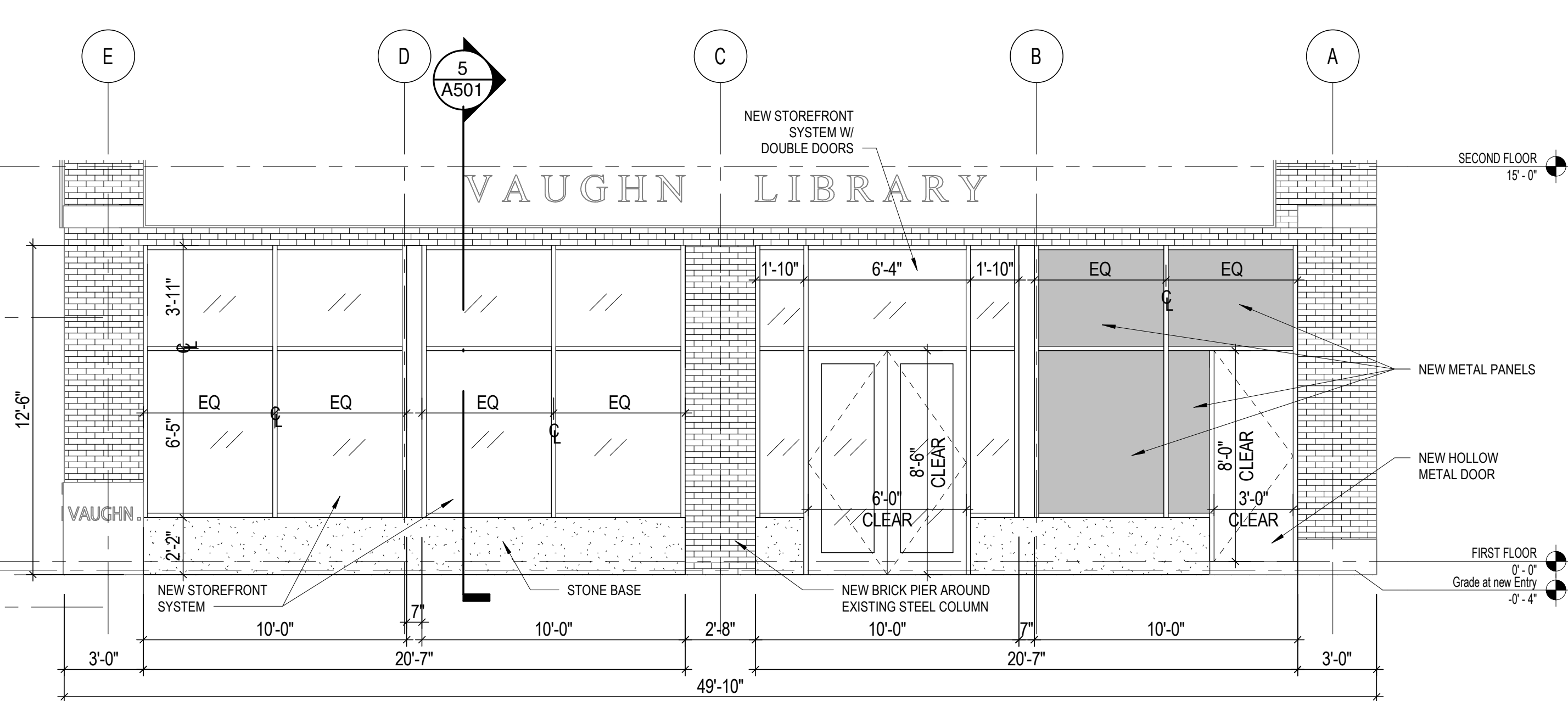
2 NORTH ENTRY DEMO ELEVATION

SCALE: 1/4" = 1'-0"



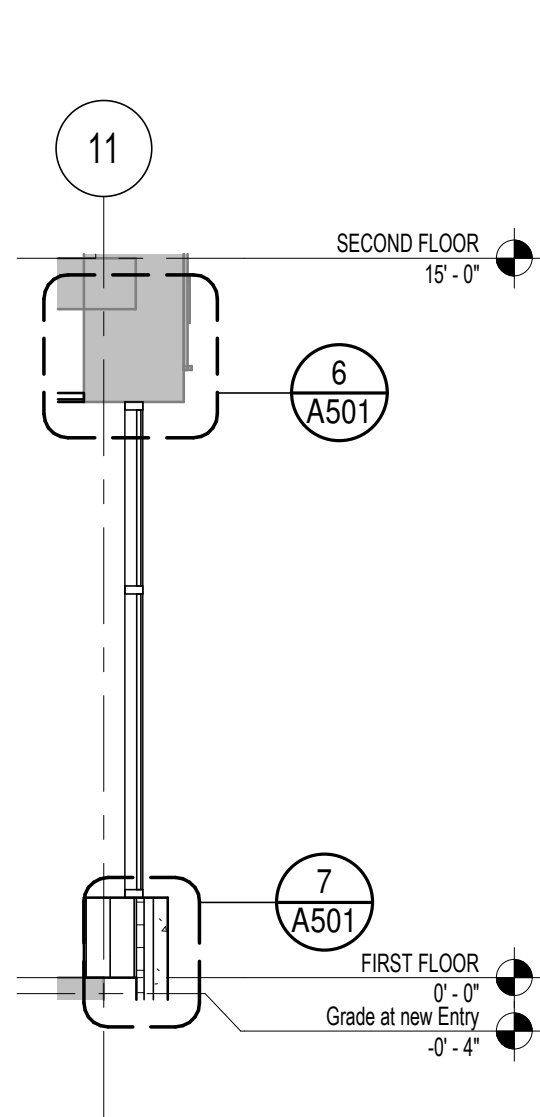
3 NORTH ENTRY NEW FLOOR PLAN

SCALE: 1/4" = 1'-0"



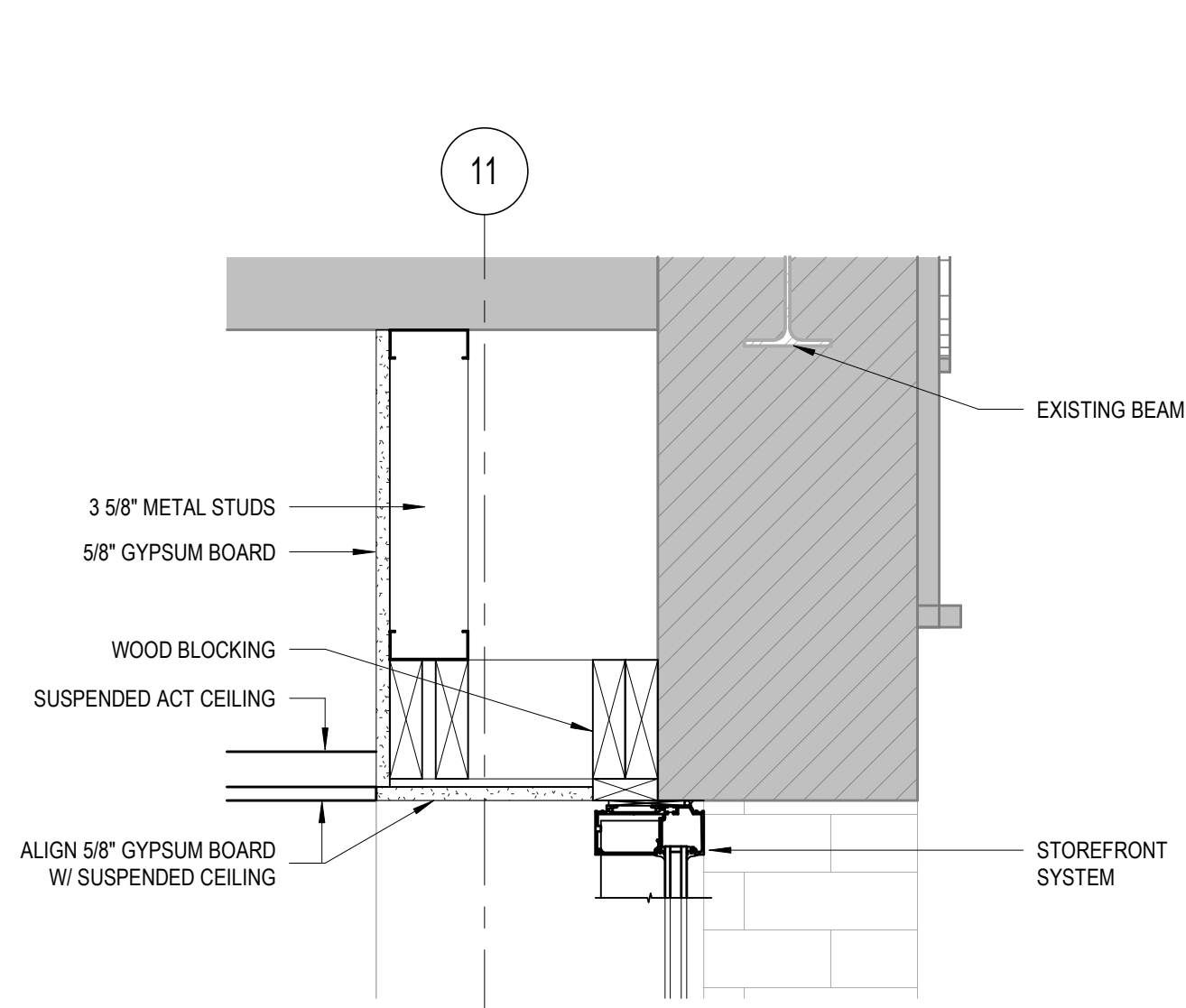
4 NORTH ENTRY NEW ELEVATION

SCALE: 1/4" = 1'-0"



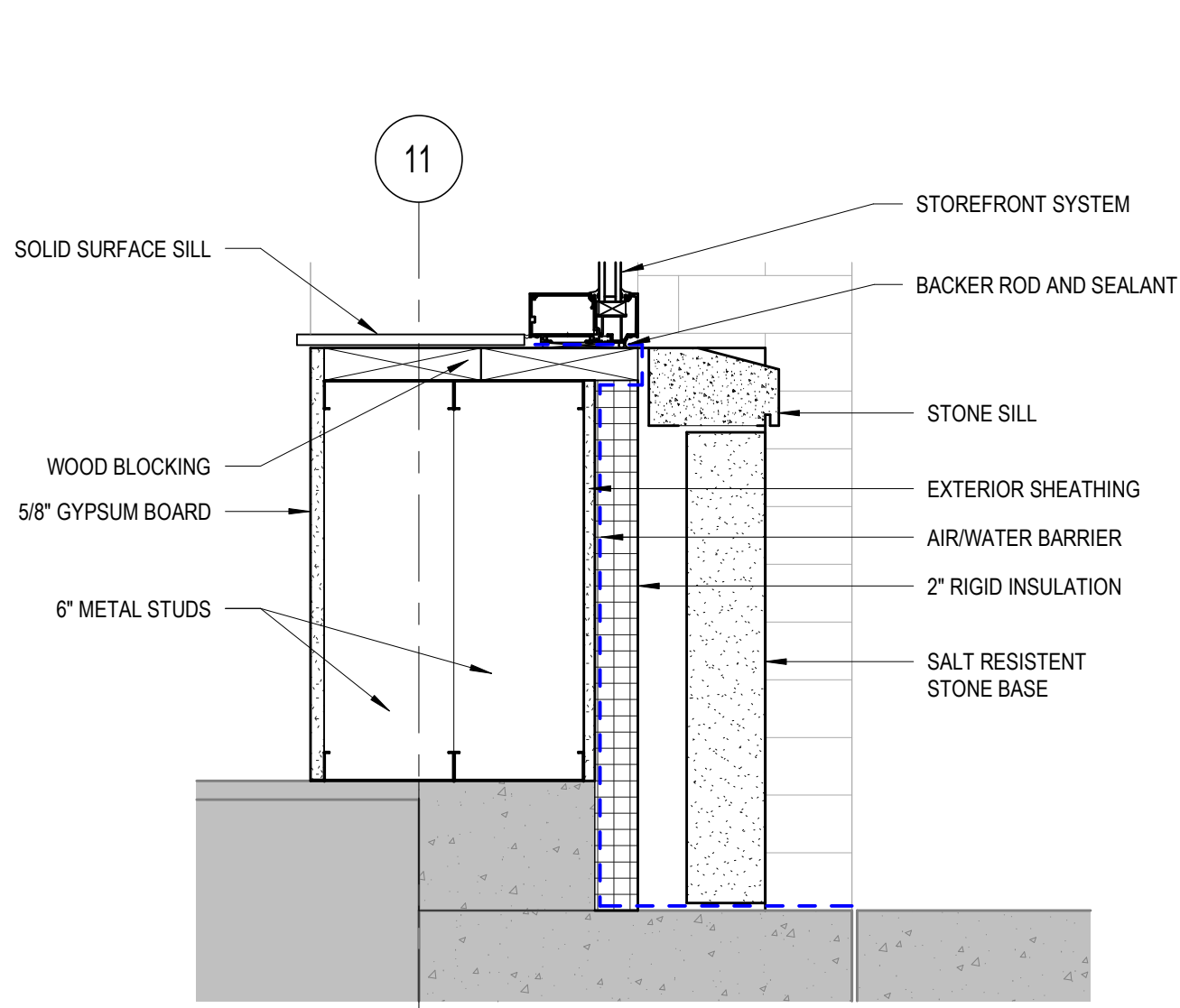
5 NORTH STOREFRONT SECTION

SCALE: 1/4" = 1'-0"



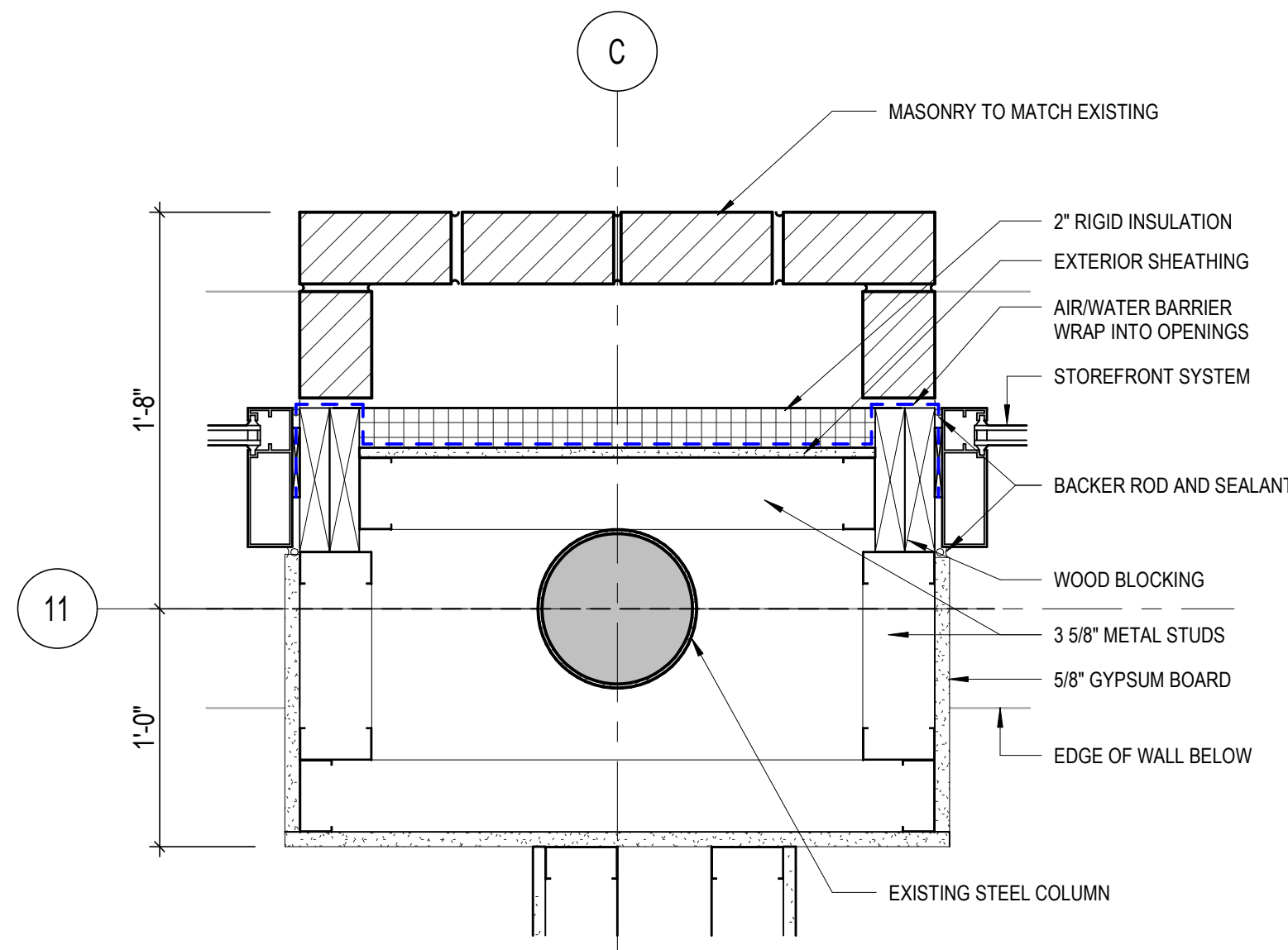
6 HEAD DETAIL

SCALE: 1 1/2" = 1'-0"



7 SILL DETAIL

SCALE: 1 1/2" = 1'-0"



8 NORTH ENTRY COLUMN

SCALE: 1 1/2" = 1'-0"

A501

VAUGHN PUBLIC
LIBRARY

502 W. MAIN STREET
ASHLAND, WI 54806

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PROJECT NUMBER 233682.00

SEAL

ISSUED FOR:

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REVISION FOR:

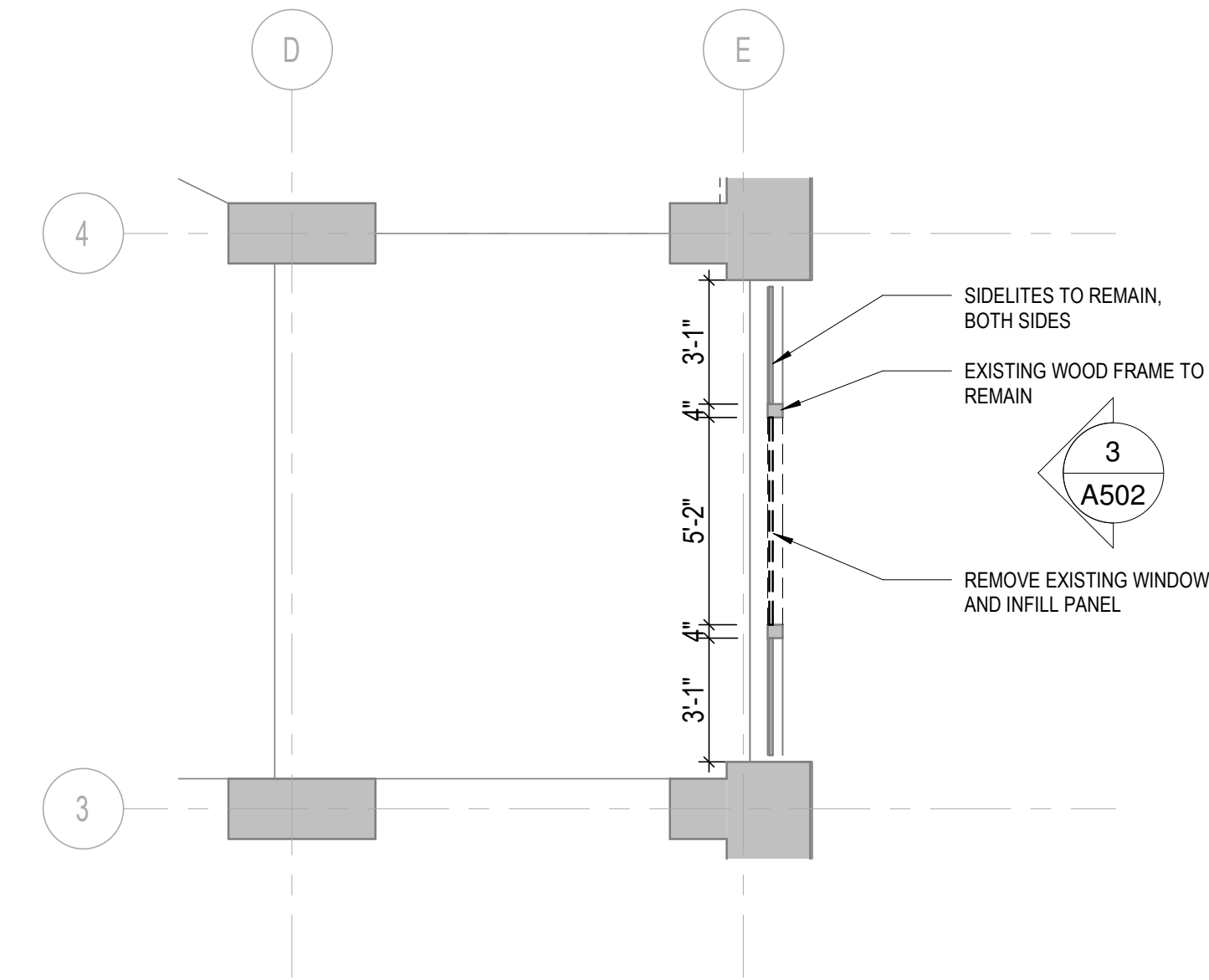
NO. DESCRIPTION DATE

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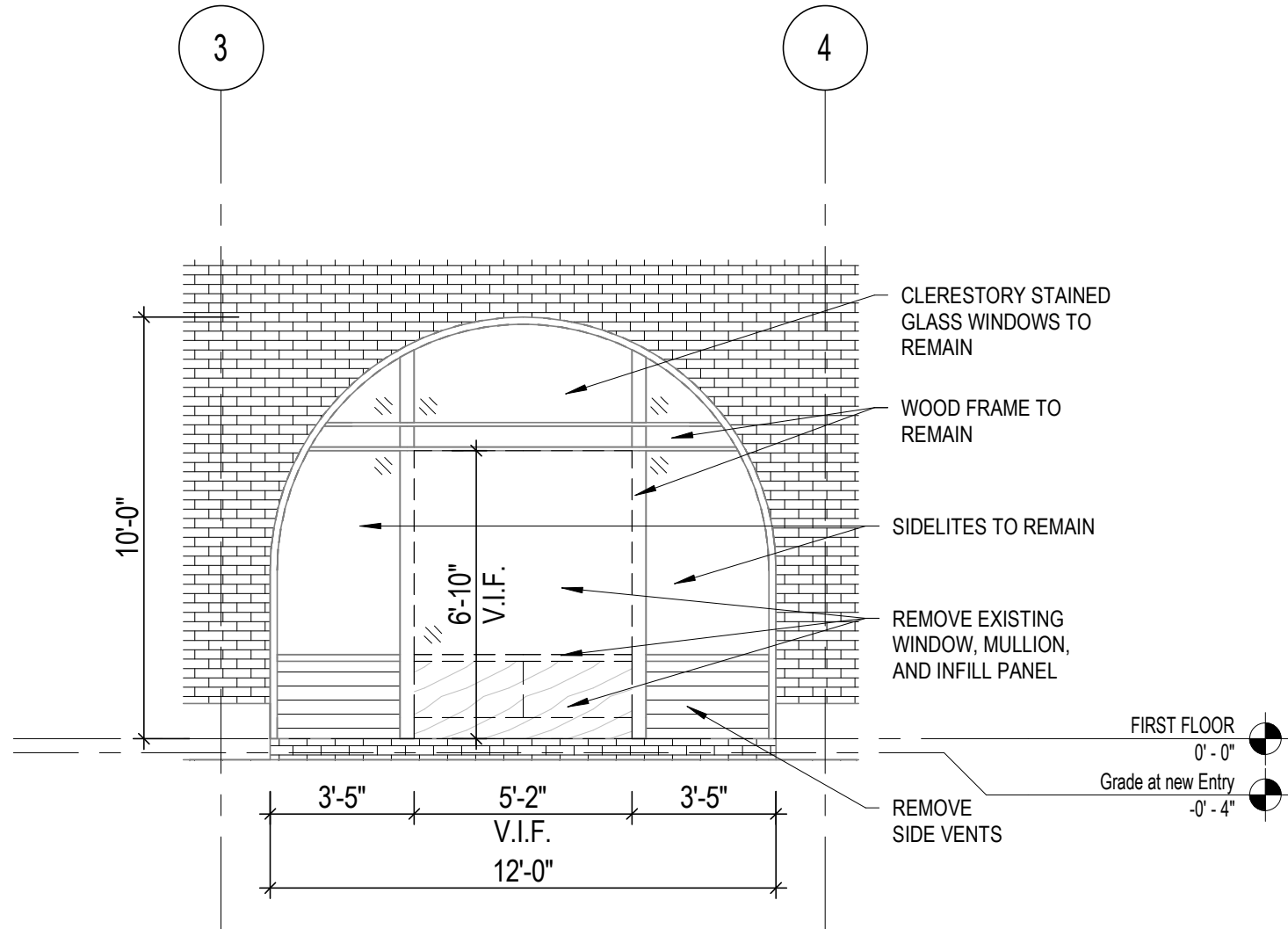
CHECKED BY Checker

EAST ENTRY PLAN
& DETAILS

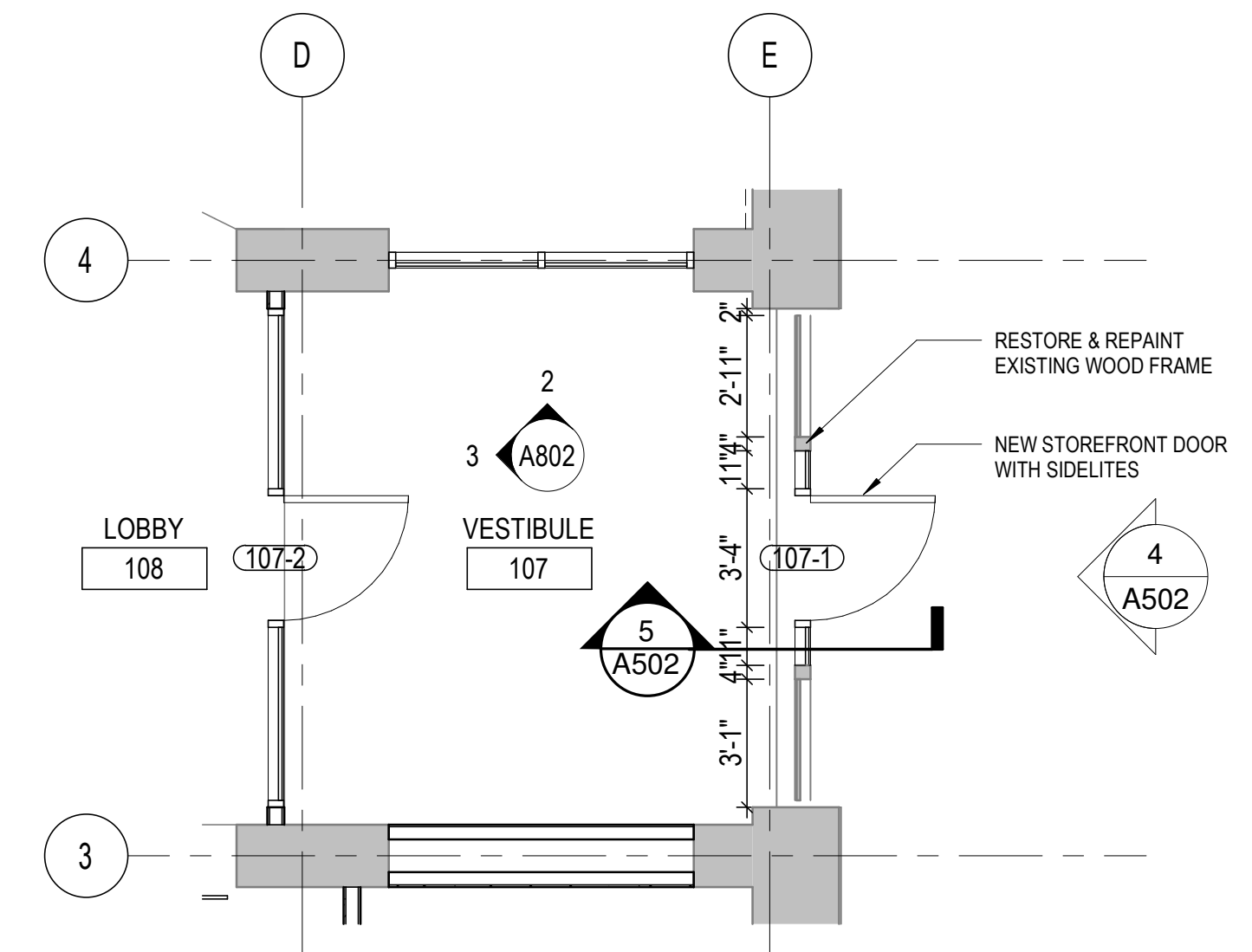
A502



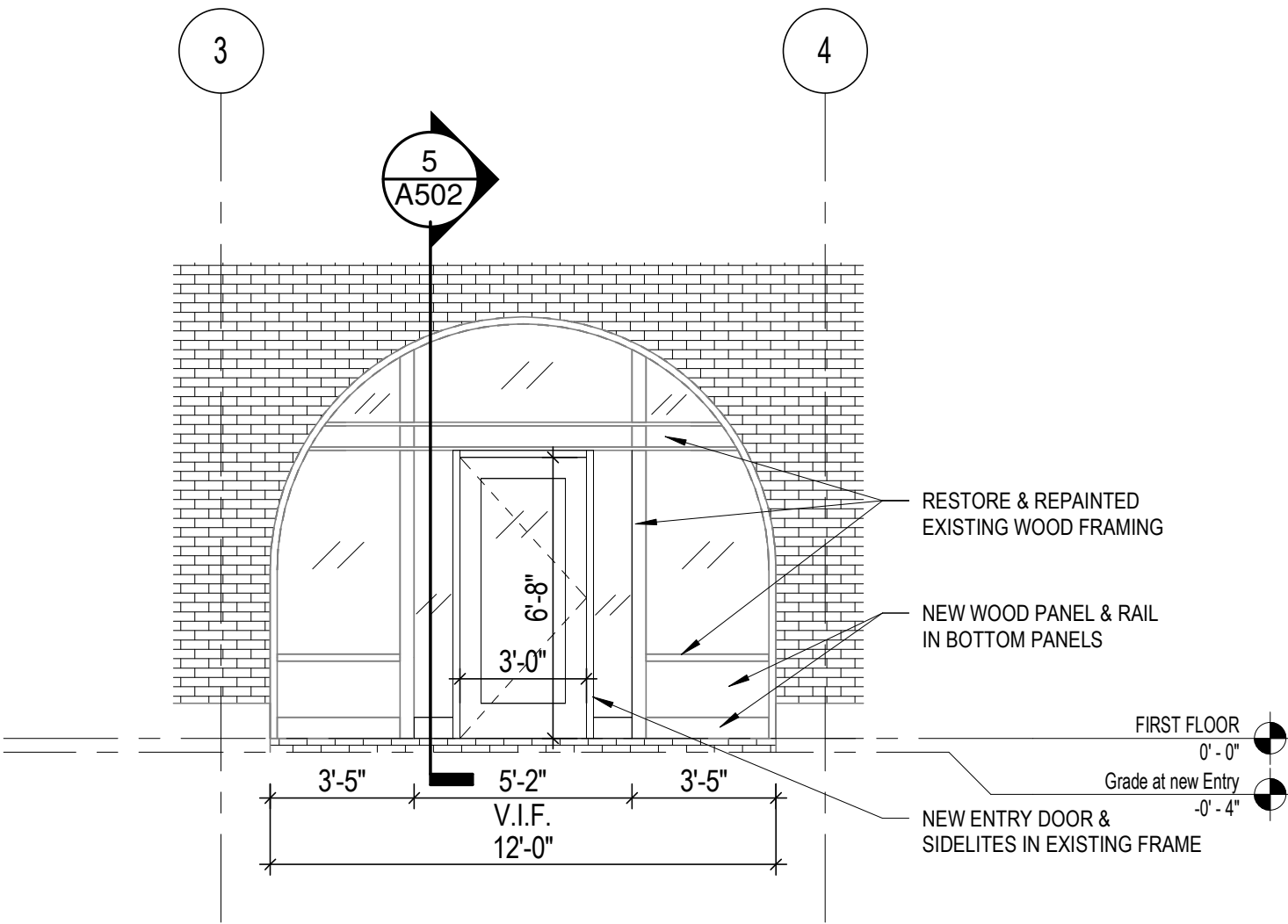
1 EAST ENTRY DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"



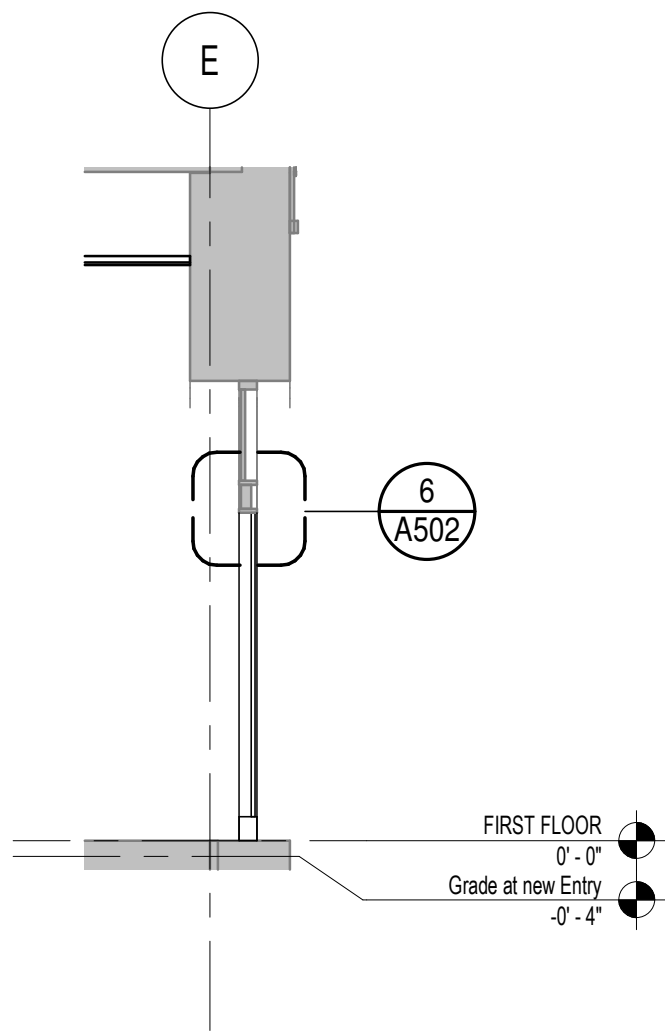
3 EAST ENTRY DEMO ELEVATION
SCALE: 1/4" = 1'-0"



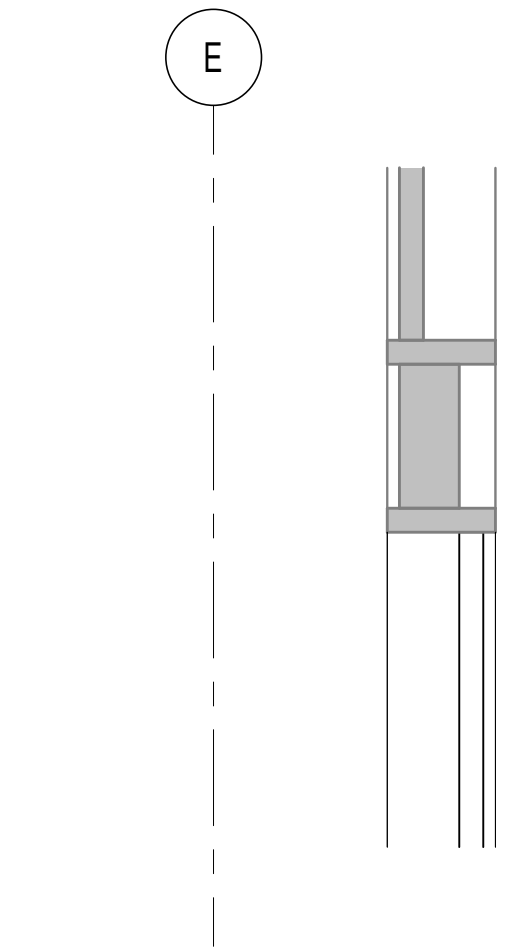
2 EAST ENTRY NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 EAST ENTRY NEW ELEVATION
SCALE: 1/4" = 1'-0"



5 EAST STOREFRONT SECTION
SCALE: 1/4" = 1'-0"



6 EAST ENTRY HEAD DETAIL
SCALE: 1 1/2" = 1'-0"

VAUGHN PUBLIC LIBRARY

502 W. MAIN STREET
ASHLAND, WI 54806

VAUGHN PUBLIC LIBRARY
502 W. MAIN STREET
ASHLAND, WI 54806

PROJECT NUMBER233682.00

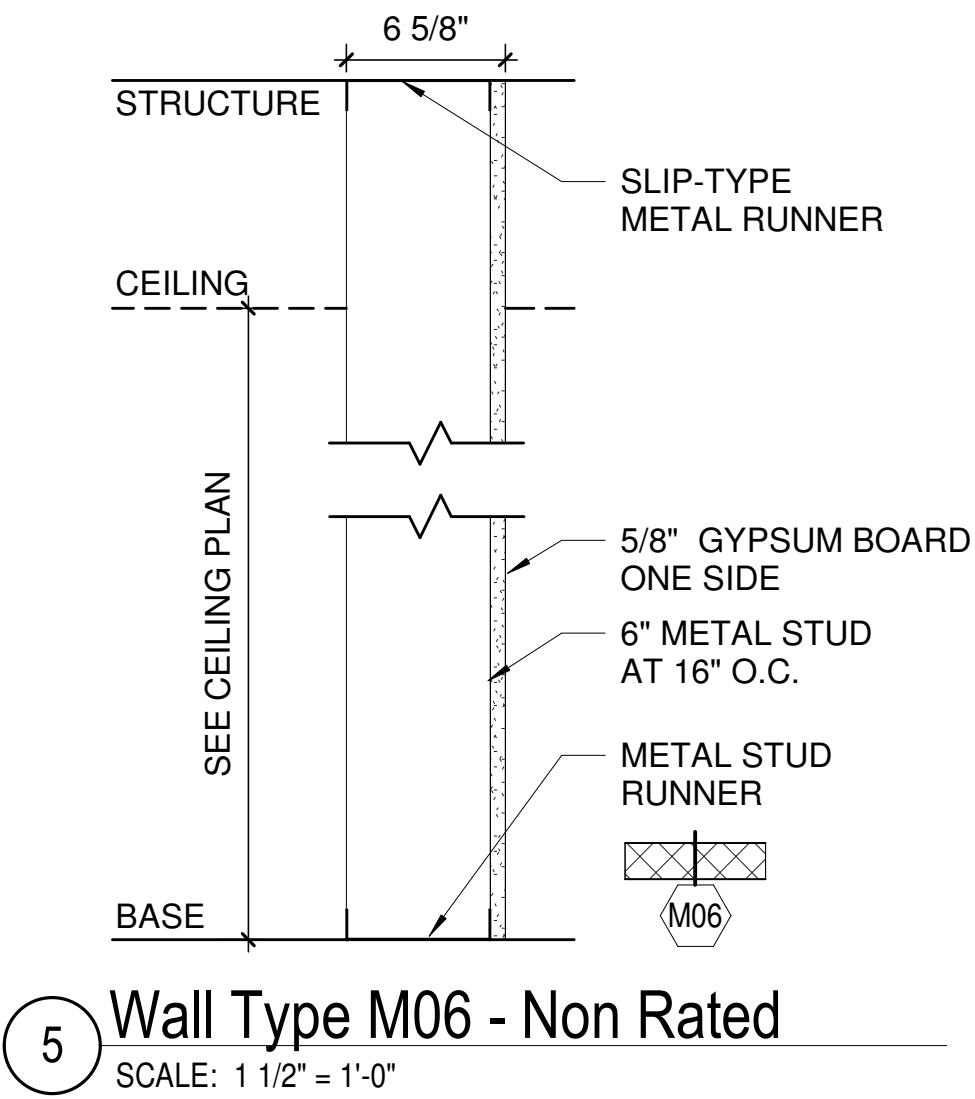
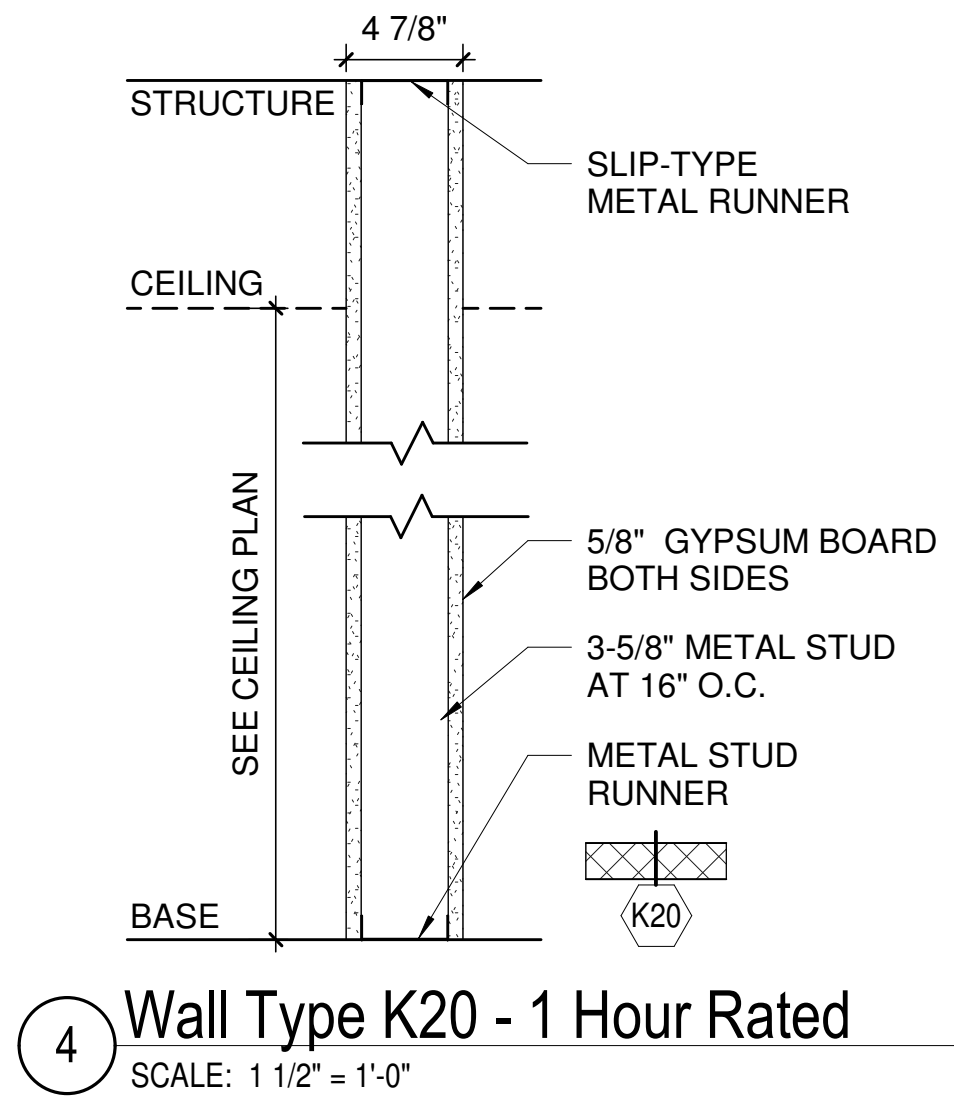
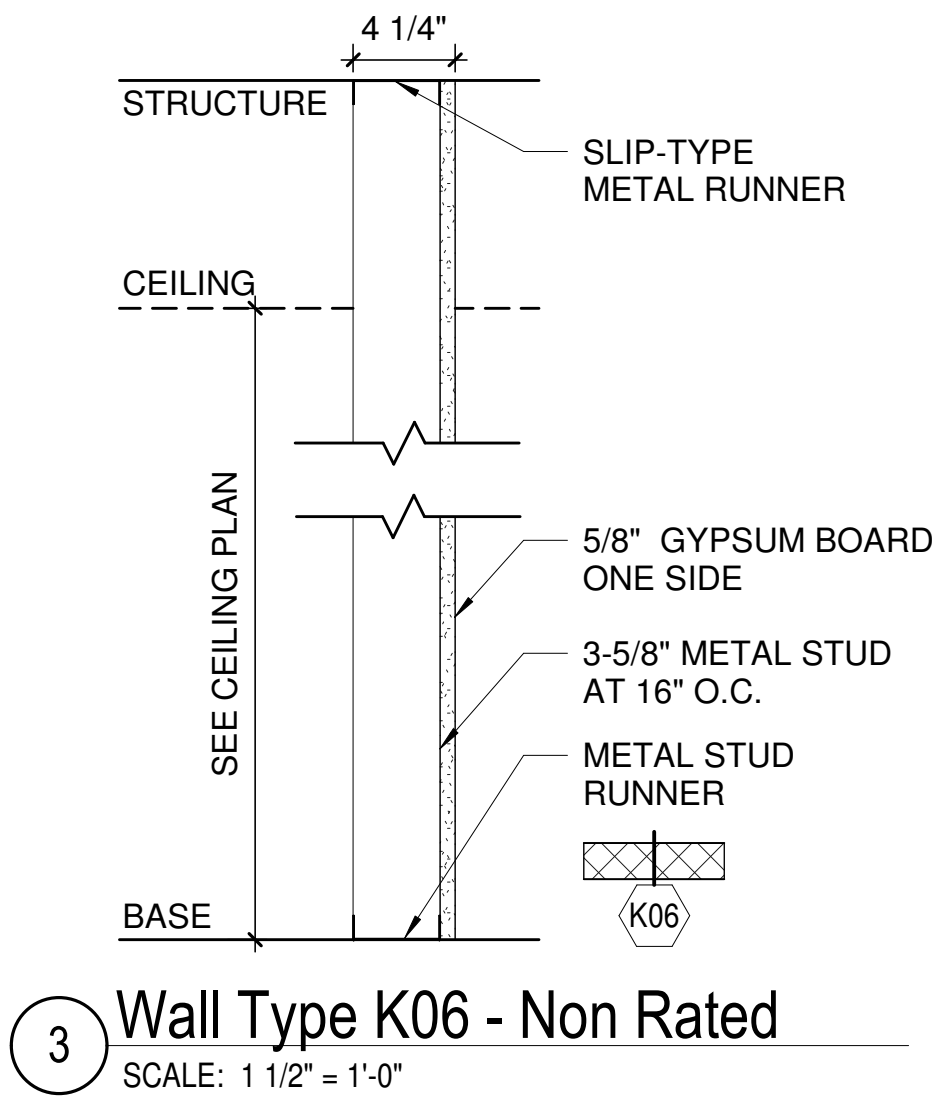
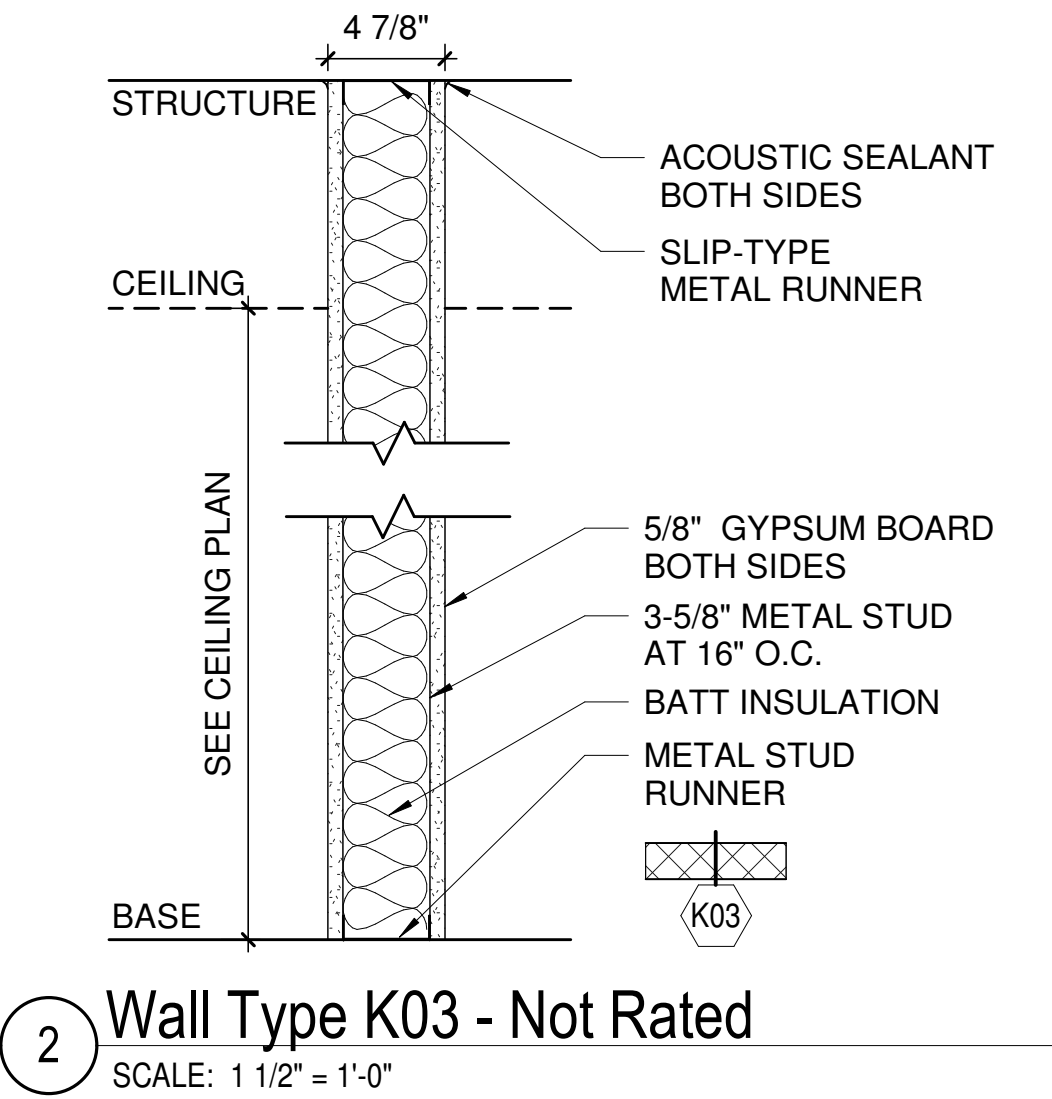
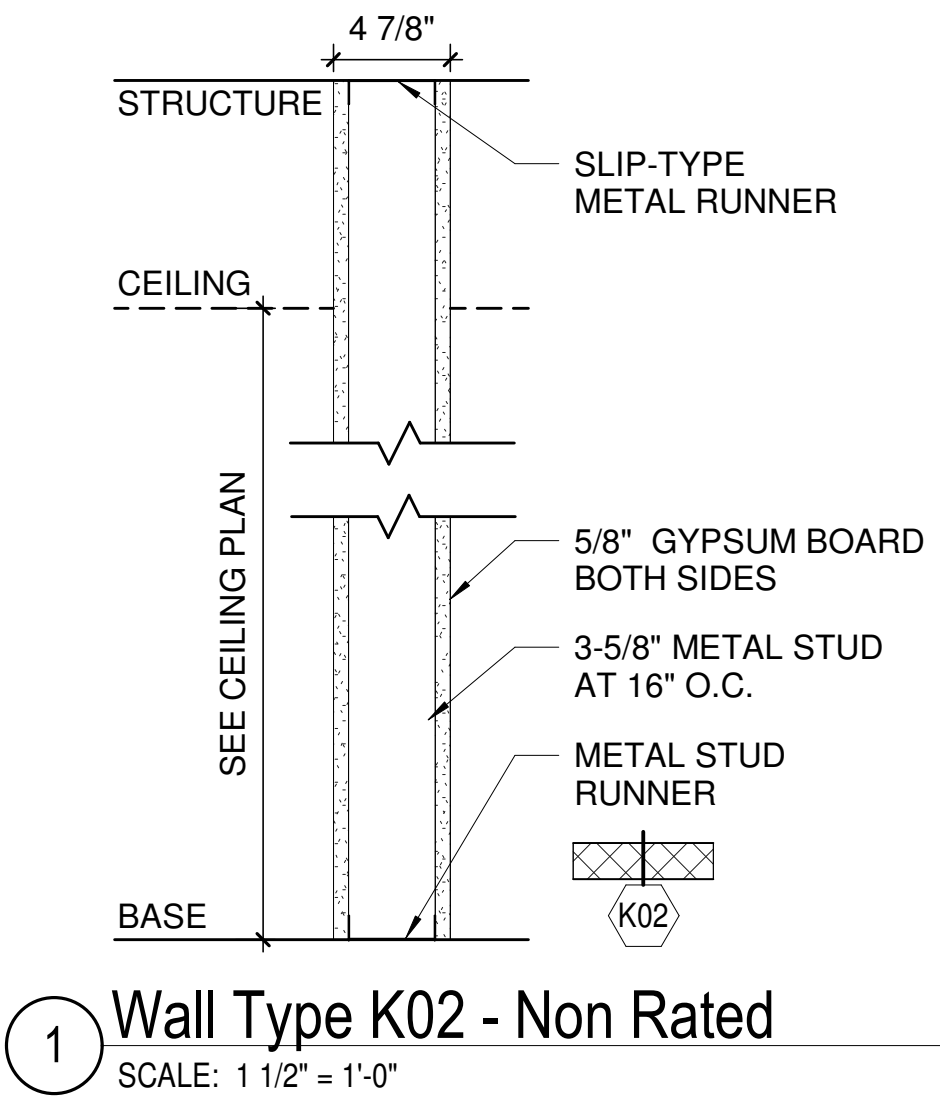
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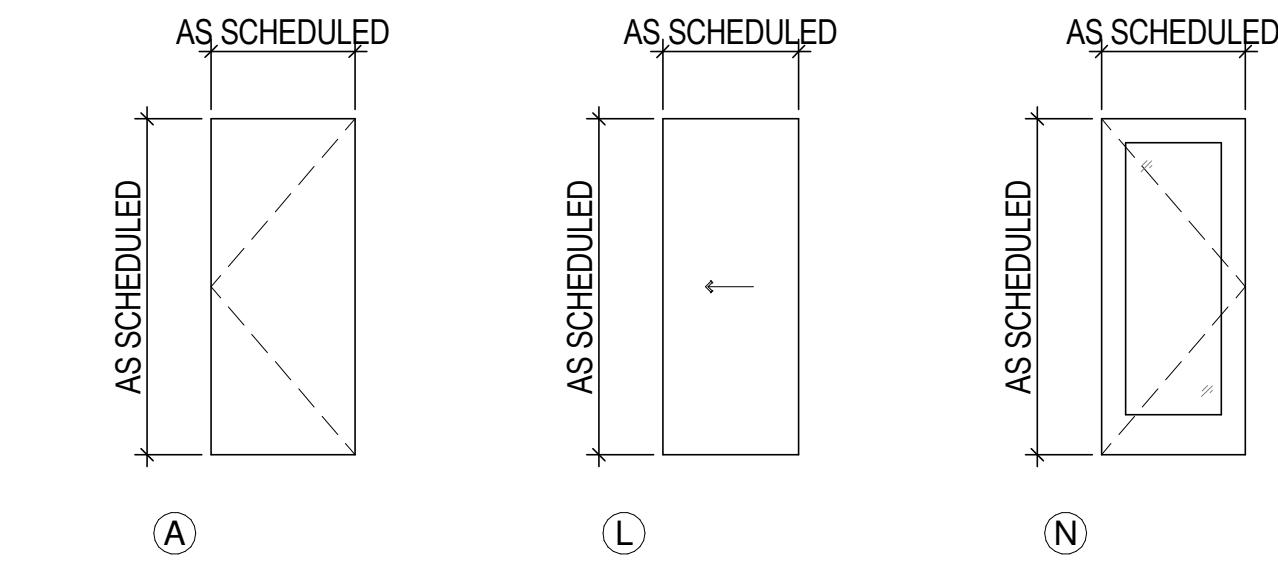
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PARTITION TYPES

A601





DOOR TYPES
SCALE: 1/4" = 1'-0"

DOOR AND FRAME SCHEDULE																
NUMBER	DOOR					FRAME			DETAIL			LABEL	HARDWARE	REMARKS	NUMBER	
	TYPE	MAT'L	FINISH		WIDTH	HEIGHT	TYPE	MAT'L	FINISH	THRESH	JAMB					HEAD

BASEMENT

209-2	A					3' - 0"	7' - 0"									(none)	209-2
B12-1	A	HM	PT			3' - 0"	7' - 0"	HM	PT							(none)	B12-1

BASEMENT: 2

FIRST FLOOR

101-1	N	AL	PF	(2)		6' - 0"	8' - 6"		AL	PF						(none)	101-1
101-2	N	AL	PF	(2)		6' - 0"	8' - 0"		AL	PF						(none)	101-2
102-1	N	WD	PF			3' - 0"	8' - 0"		HM	PT						(none)	102-1
102-2	N	WD	PF			3' - 0"	8' - 0"		HM	PT						(none)	102-2
103-1	A	WD	PF			3' - 0"	8' - 0"		HM	PT						(none)	103-1
104-1	A	WD	PF			3' - 0"	8' - 0"		HM	PT						(none)	104-1
107-1	N					3' - 0"	6' - 8"									(none)	107-1
107-2	N	HM	PT			3' - 0"	8' - 0"		HM	PT						(none)	107-2
109-1	N	AL	PF			3' - 6"	8' - 0"		AL	PF						(none)	109-1
109-2	N	HM	PT			3' - 6"	8' - 0"		HM	PT						(none)	109-2
110-1	A	WD	PF			3' - 0"	7' - 0"		HM	PT						(none)	110-1
113-1	A	WD	PF			3' - 0"	7' - 0"		HM	PT						(none)	113-1
114-1	A	WD	PF			3' - 0"	7' - 0"		HM	PT						(none)	114-1
115-1	A	WD	PF			3' - 0"	7' - 0"		HM	PT						(none)	115-1
116-1	A	WD	PF			3' - 0"	8' - 0"		HM	PT						(none)	116-1
116-2	A	WD	PF			3' - 0"	7' - 0"		HM	PT						(none)	116-2
117-1	A	WD	PF			3' - 0"	7' - 0"		HM	PT						(none)	117-1
119-1	L	WD	PF			3' - 6"	8' - 0"		-	-						(none)	119-1
S01-1	A	EXIST	EXIST			3' - 0"	8' - 0"		EXIST	EXIST						(none)	S01-1
S01-2	A	EXIST	EXIST			3' - 0"	7' - 0"		EXIST	EXIST						(none)	S01-2
S02-1	A	EXIST	EXIST			3' - 0"	7' - 0"		EXIST	EXIST						(none)	S02-1
S02-2	A	EXIST	EXIST			3' - 0"	7' - 0"		EXIST	EXIST						(none)	S02-2

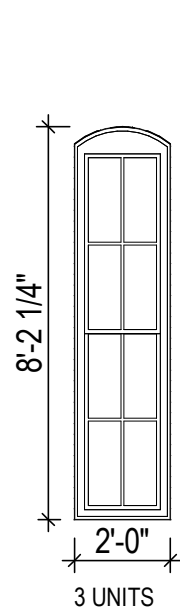
FIRST FLOOR: 22

SECOND FLOOR

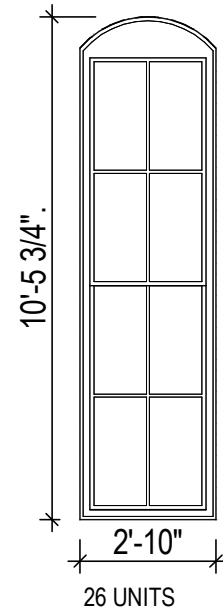
203-1	A	WD	PF			3' - 0"	8' - 0"		HM	PT						(none)	203-1
204-1	A	WD	PF			3' - 0"	8' - 0"		HM	PT						(none)	204-1
209-1	N	WD	PF			3' - 0"	8' - 0"		HM	PT						(none)	209-1
210-1	N	HM	PT	(2)		6' - 0"	8' - 0"		HM	PT						(none)	210-1
211-1	A	WD	PF			3' - 0"	7' - 0"		HM	PT						(none)	211-1
212-1	A	WD	PF			3' - 0"	7' - 0"		HM	PT						(none)	212-1
214-1	A	WD	PF			3' - 0"	7' - 0"		HM	PT						(none)	214-1
S21-3	A	EXIST	EXIST			3' - 0"	7' - 0"		EXIST	EXIST						(none)	S21-3
S22-3	A	EXIST	EXIST			3' - 0"	7' - 0"		EXIST	EXIST						(none)	S22-3

SECOND FLOOR: 9

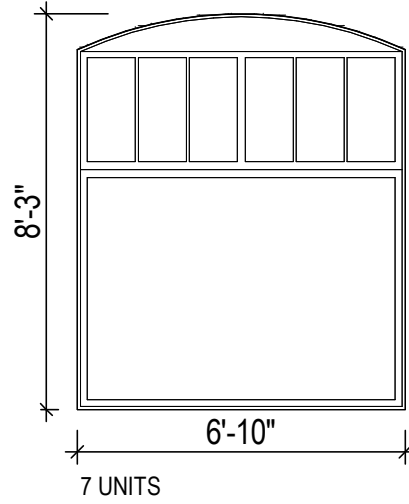
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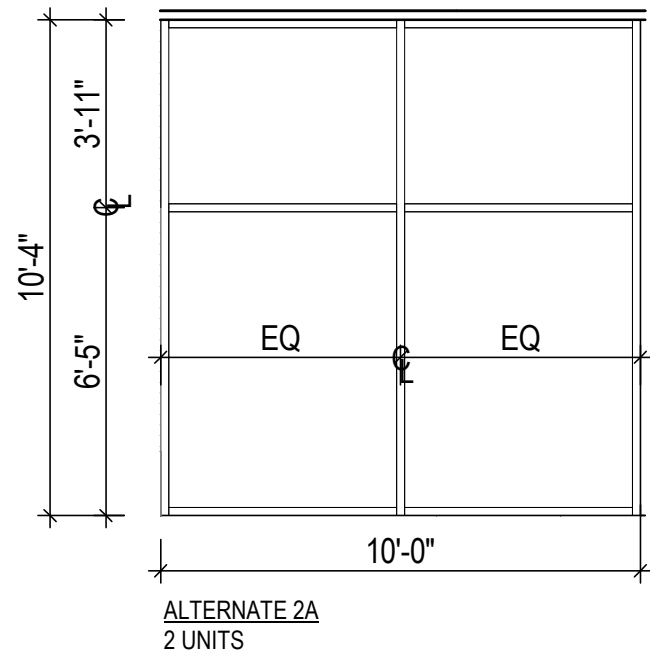
1 WINDOW TYPE A
SCALE: 1/4" = 1'-0"



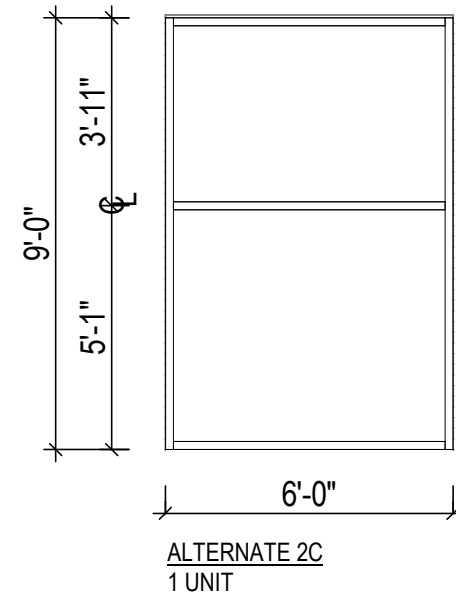
2 WINDOW TYPE B
SCALE: 1/4" = 1'-0"



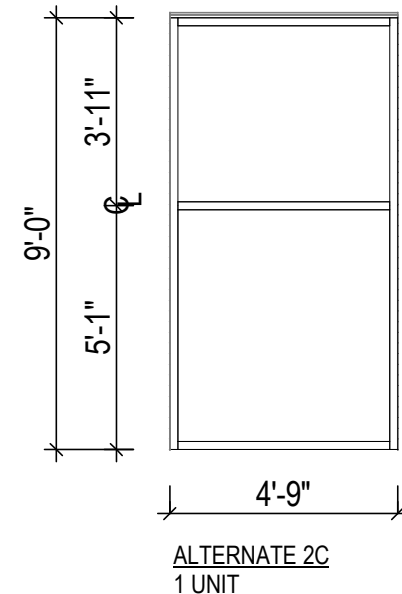
3 WINDOW TYPE C
SCALE: 1/4" = 1'-0"



4 WINDOW TYPE D
SCALE: 1/4" = 1'-0"



5 WINDOW TYPE E
SCALE: 1/4" = 1'-0"



6 WINDOW TYPE F
SCALE: 1/4" = 1'-0"

VAUGHN PUBLIC
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DOOR SCHEDULE
& EXTERIOR
WINDOW TYPES

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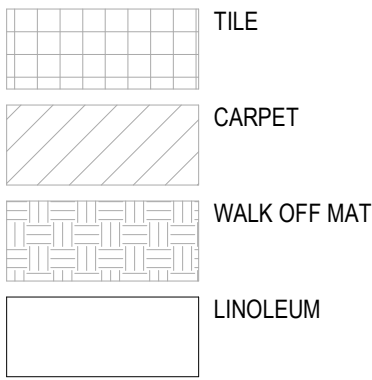
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FINISH SCHEDULE

FINISH SCHEDULE											
Shade Row	RM #	ROOM NAME	FLOORS	BASE	WALL FINISH				CEILING	REMARKS	RM #
			FINISH	FINISH	NORTH FINISH	EAST FINISH	SOUTH FINISH	WEST FINISH	FINISH		
	B05	MAINTENANCE									B05
	101	VESTIBULE	WM-1		PT-1	PT-1	PT-1	PT-1	ACT-1		101
	102	FIREPLACE LOUNGE	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		102
	103	STORAGE	CPT-1		PT-1	PT-1	PT-1	PT-1	OTS-1		103
	104	STUDY	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		104
	105	ADULTS WEST	CPT-1/LIN-1		PT-1	PT-1	DWC-1	PT-1	ACT-1		105
	106	ADULTS EAST	CPT-1/LIN-1		PT-1	PT-1	PT-1	PT-1	ACT-1		106
	107	VESTIBULE	WM-1		PT-1	PT-1	PT-1	PT-1	ACT-1		107
	108	LOBBY	LIN-1		PT-1	PT-1	PT-1	PT-1	GYP/PT-1		108
	109	VEST.	WM-1		PT-1	PT-1	PT-1	PT-1	ACT-1		109
	110	WORKROOM	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		110
	111	HALL	CPT-1		PT-1	PT-1	PT-1	PT-2	ACT-1		111
	112	COMPUTERS	CPT-1		PT-1	PT-2	PT-1	PT-1	ACT-1		112
	113	JC	VCT-1		RWP-1	RWP-1	RWP-1	RWP-1	OTS-1		113
	114	RR	CT-1		CT-2	CT-2	CT-2	PT-1			114
	115	RR	CT-1		CT-2	CT-2	CT-2	PT-1	GYP/PT-1		115
	116	DIRECTOR	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		116
	117	RR	CT-1		CT-2	PT-1	CT-2	CT-2	GYP/PT-1		117
	119	HALL	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		119
	201	KIDS	CPT-1/LIN-2/LIN-3		PT-1/PT-3/PT-4	PT-1	PT-1/PT-3/PT-4/DWC-2	PT-1/PT-3/PT-4	ACT-1		201
	202	BLUE	CPT-1		PT-5	PT-5	PT-5	PT-5	ACT-1		202
	203	STUDY	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		203
	204	STUDY	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		204
	205	ADULTS	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		205
	206	ALCOVE	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		206
	208	TEENS	CPT-1		PT-1/PT-3/PT-6	PT-1/PT-3/PT-6	PT-1/PT-3/PT-6	PT-1/PT-3/PT-6	ACT-1		208
	209	STAFF	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		209
	210	MEETING	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		210
	211	RR	CT-1		PT-1	CT-2	CT-2	CT-2	GYP/PT-1		211
	212	RR	CPT-1/LIN-2/LIN-3		PT-1	CT-2	CT-2	CT-2	GYP/PT-1		212
	213	HALL	CPT-1		PT-1	PT-1	PT-1	PT-1	ACT-1		213
	214	STORAGE	CPT-1		PT-1	PT-1	PT-1	PT-1	OTS-1		214
	215	MAIN STAIR	LIN-1		PT-1	PT-1	DWC-3	PT-1	ACT-1		215
	307	MECHANICAL									307

Grand total: 34

FLOORING LEGEND



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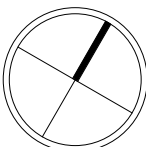
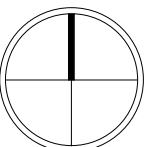
REVISION FOR:

NO. DESCRIPTION DATE

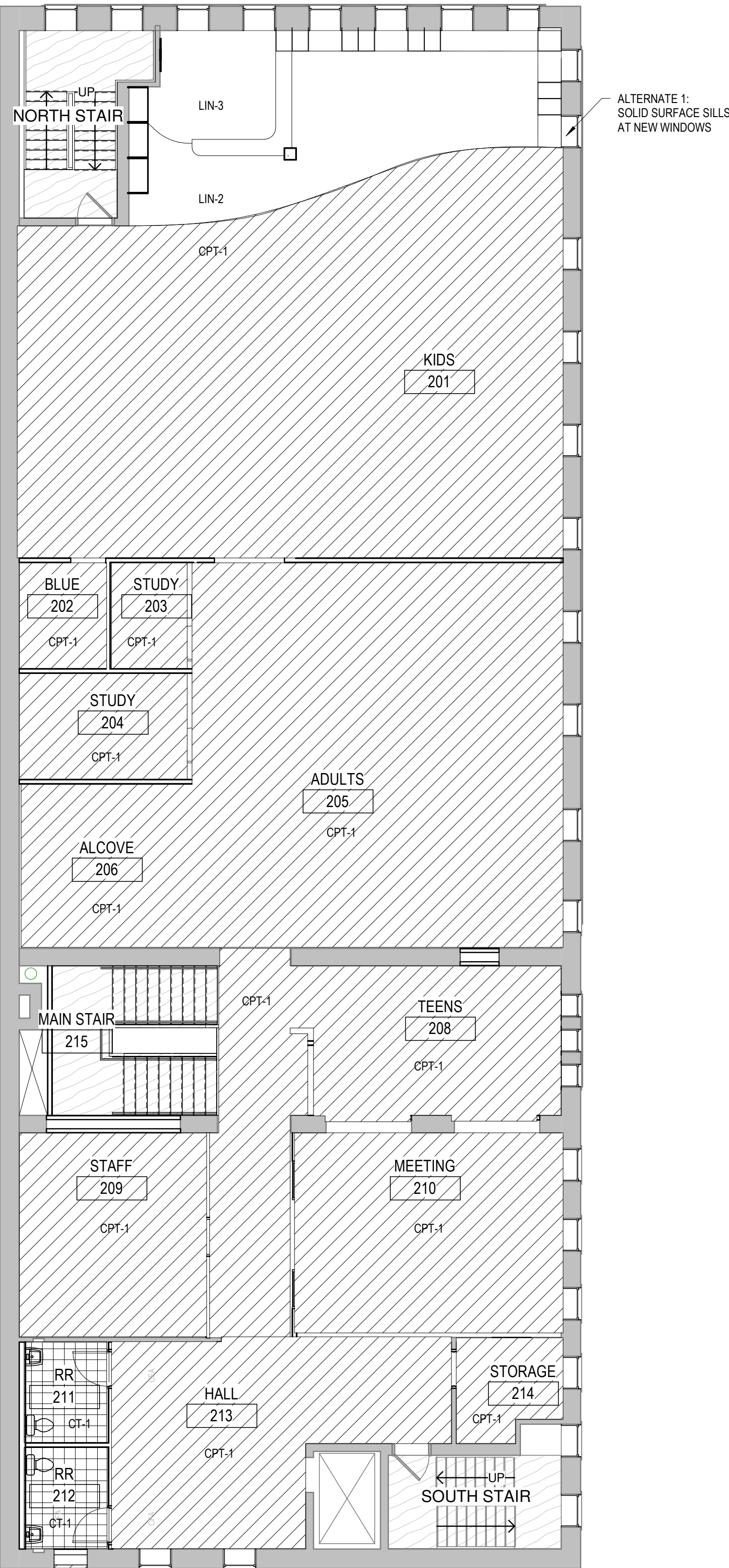
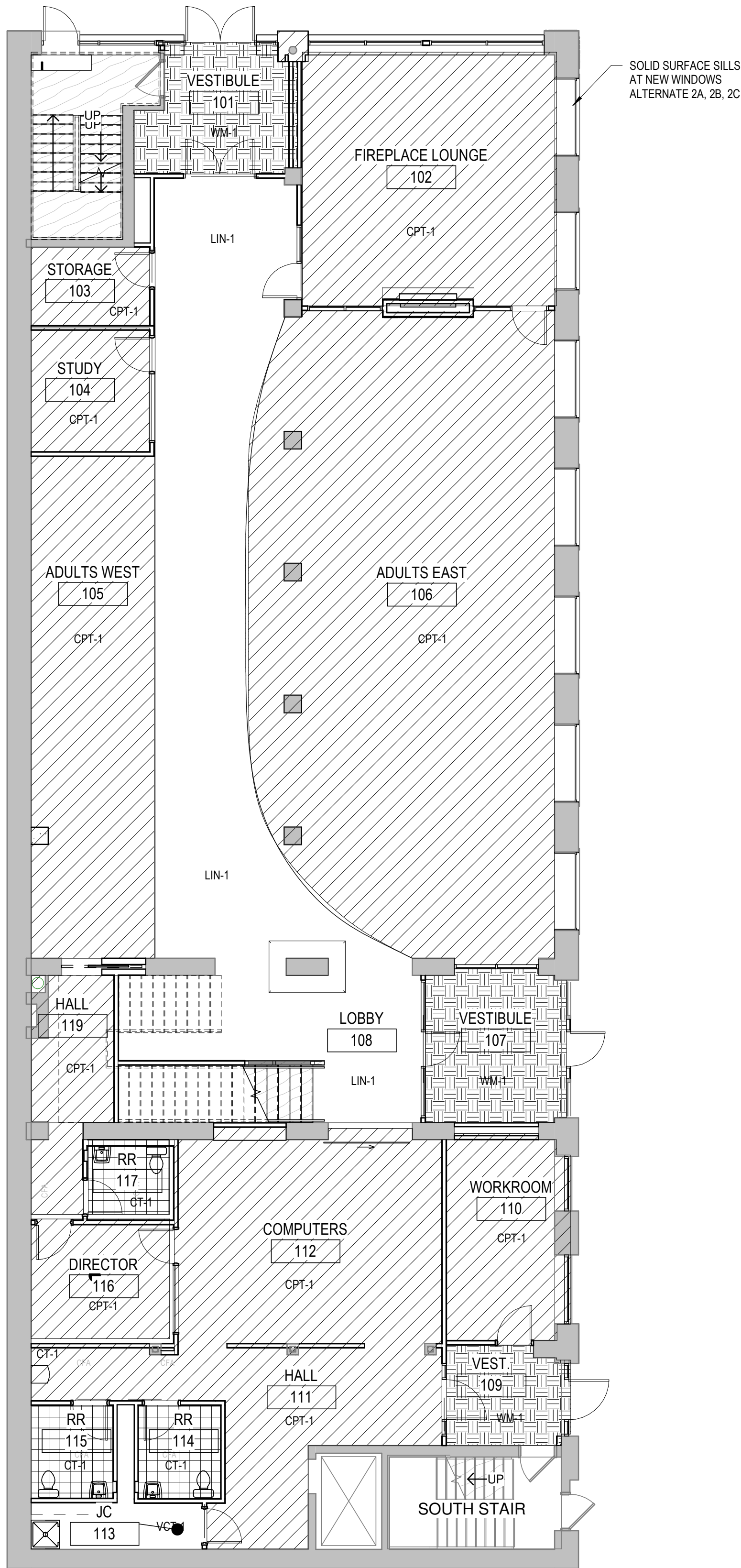
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1ST & 2ND FLOOR
FINISH PLANS



Plan North True North



1 FIRST FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"

2 SECOND FLOOR FINISH PLAN
SCALE: 1/8" = 1'-0"

A701

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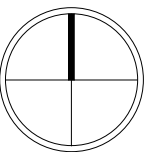
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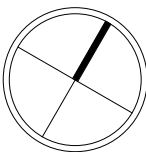
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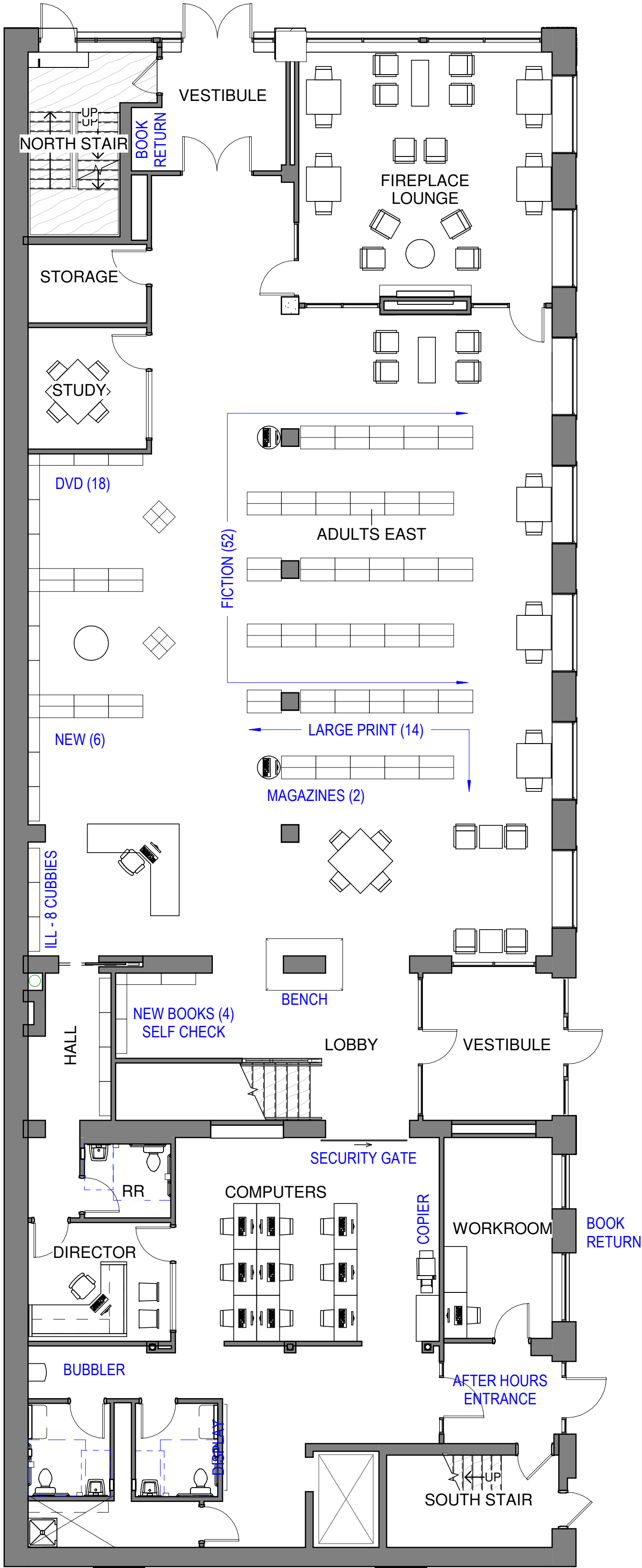
1ST & 2ND FLOOR
FURNITURE PLANS



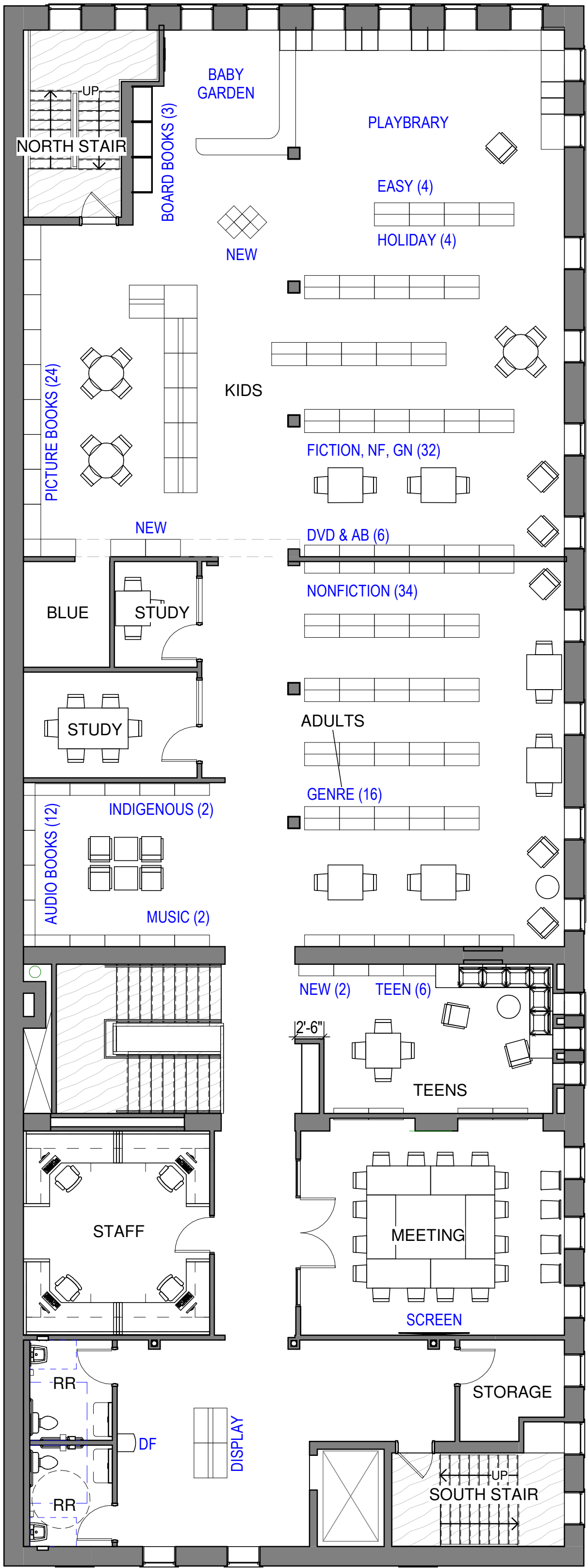
Plan North



True North



1 FIRST FLOOR FURNITURE PLAN
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR FURNITURE PLAN
SCALE: 1/8" = 1'-0"

A702

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DESIGN DEVELOPMENT 08-02-24

REVISION FOR:

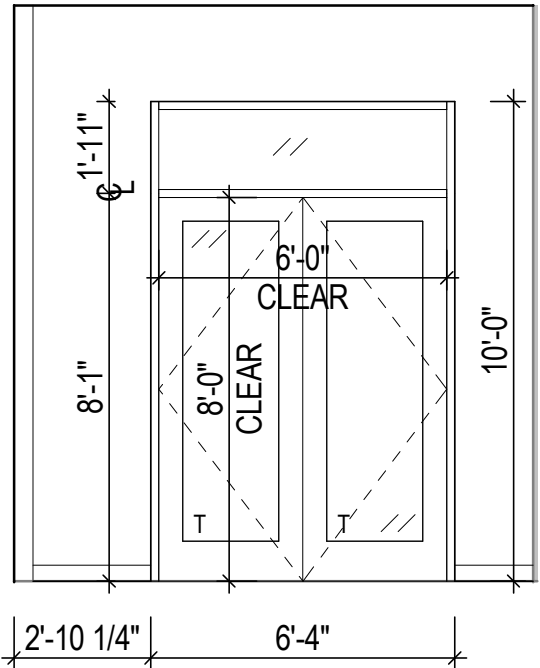
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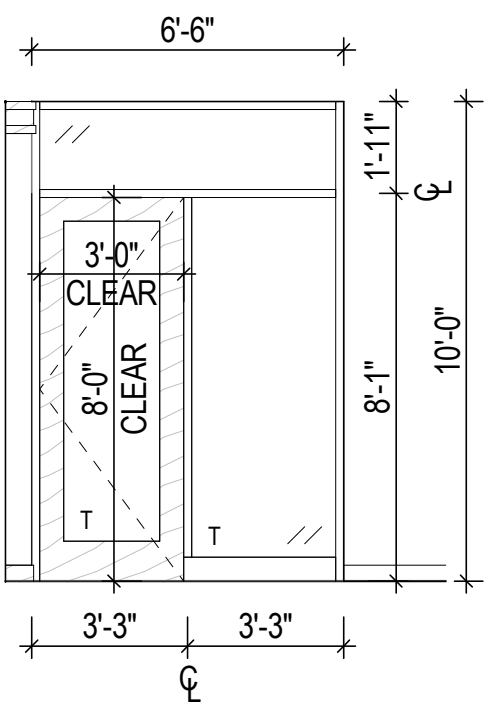
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INTERIOR
ELEVATIONS

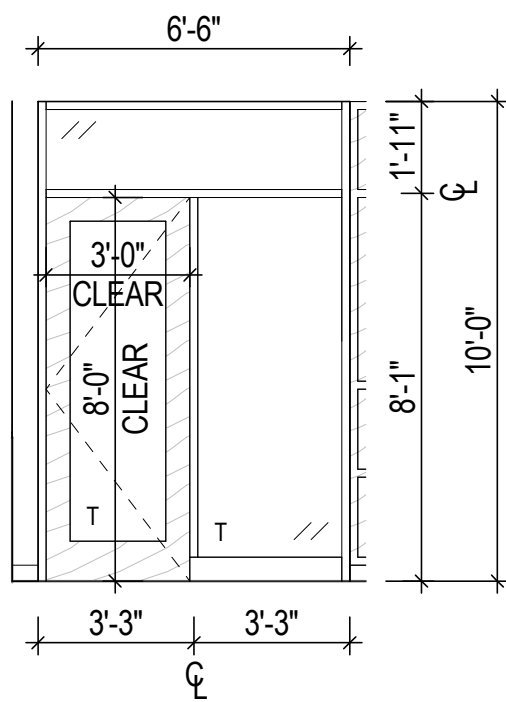
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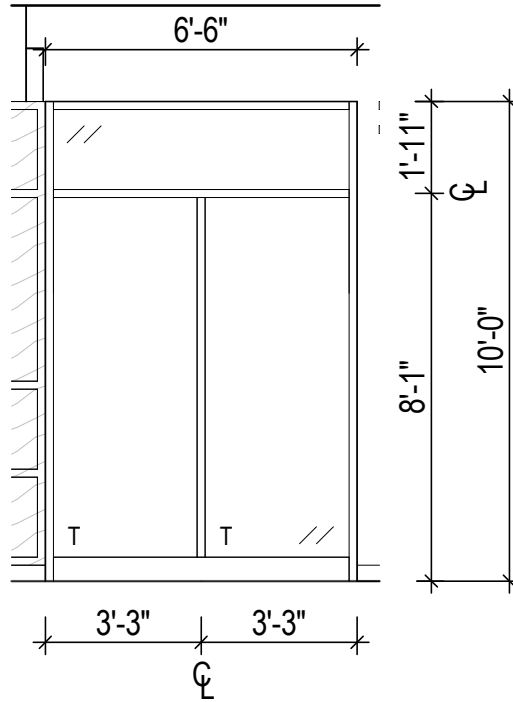
5 VESTIBULE 101 - SOUTH
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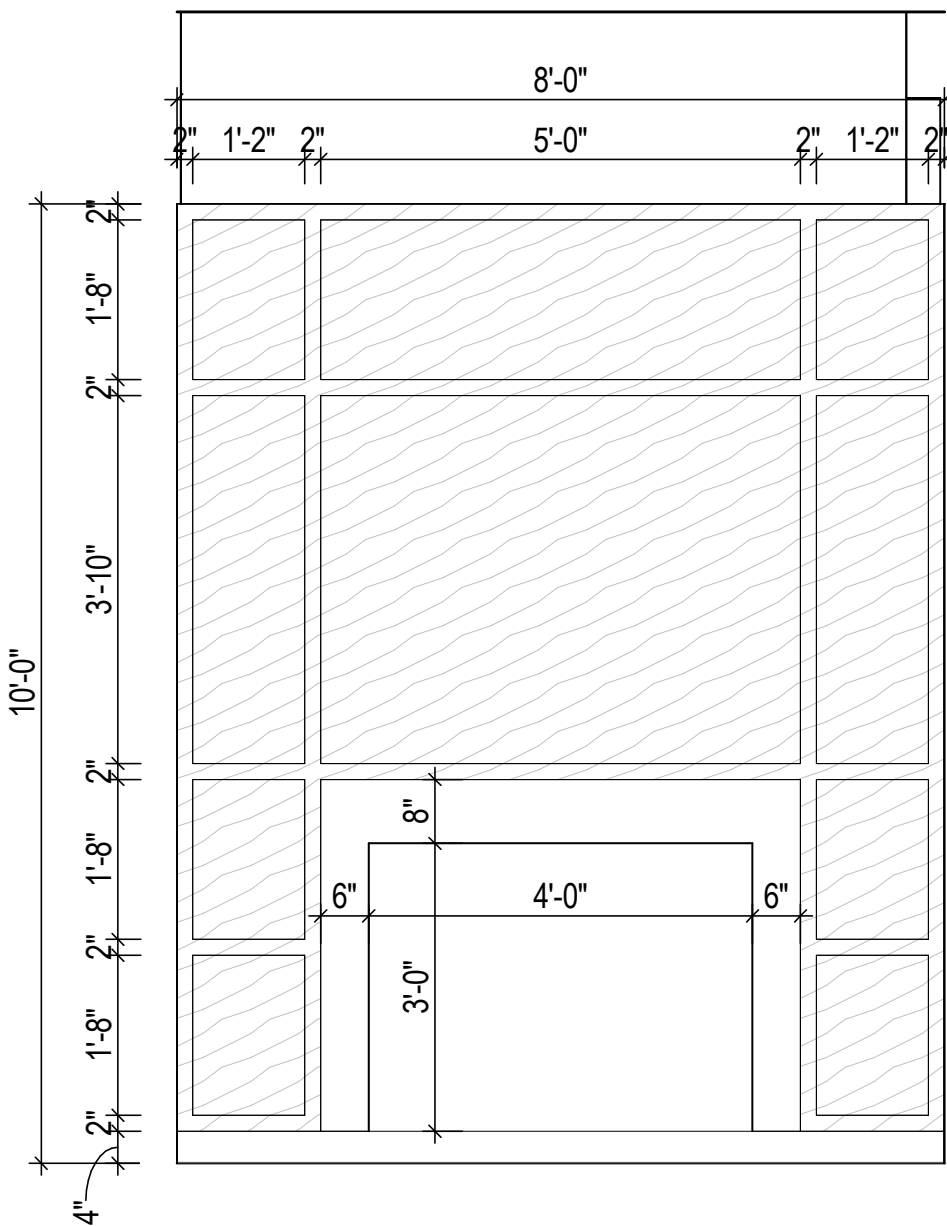
6 FP LOUNGE 102 - WEST
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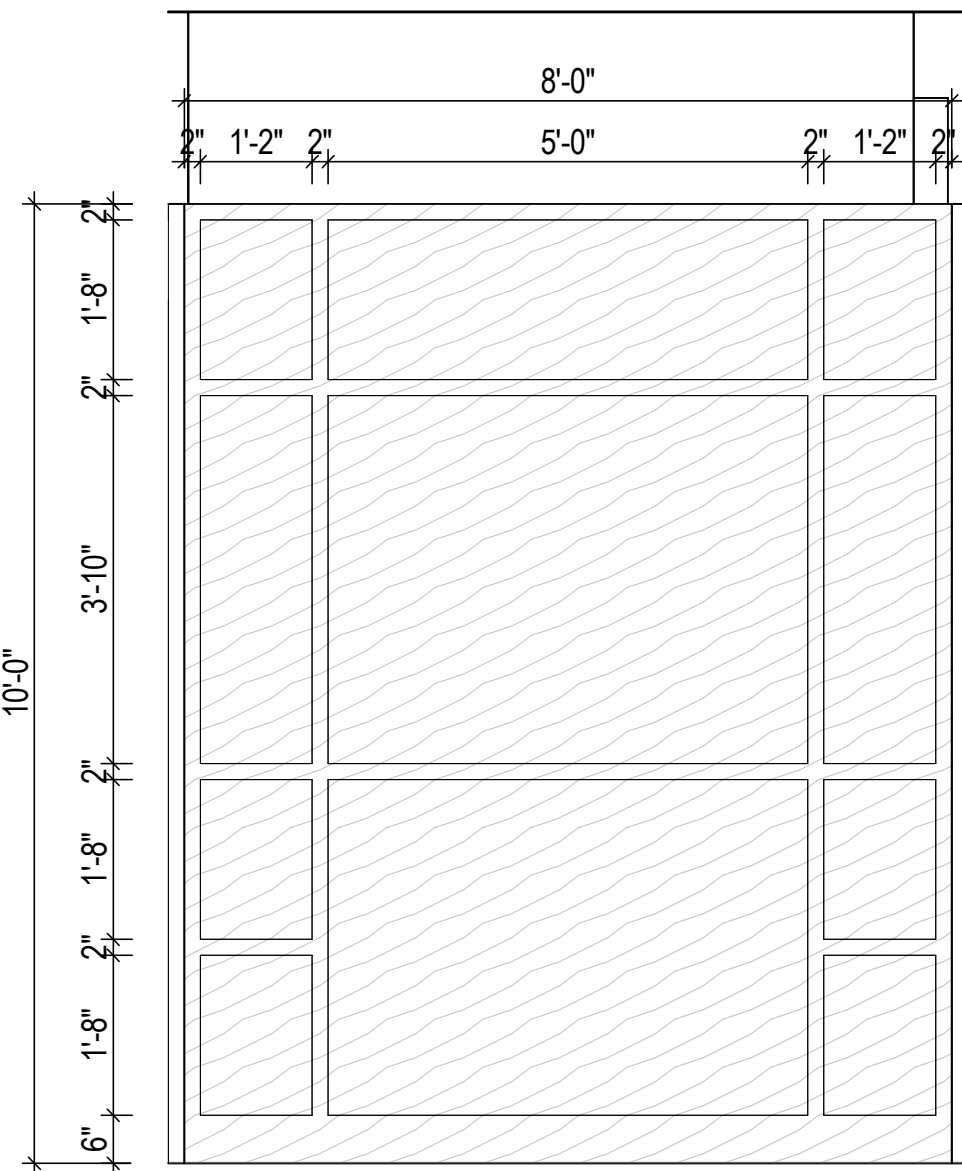
8 FP LOUNGE 102 - SOUTH 2
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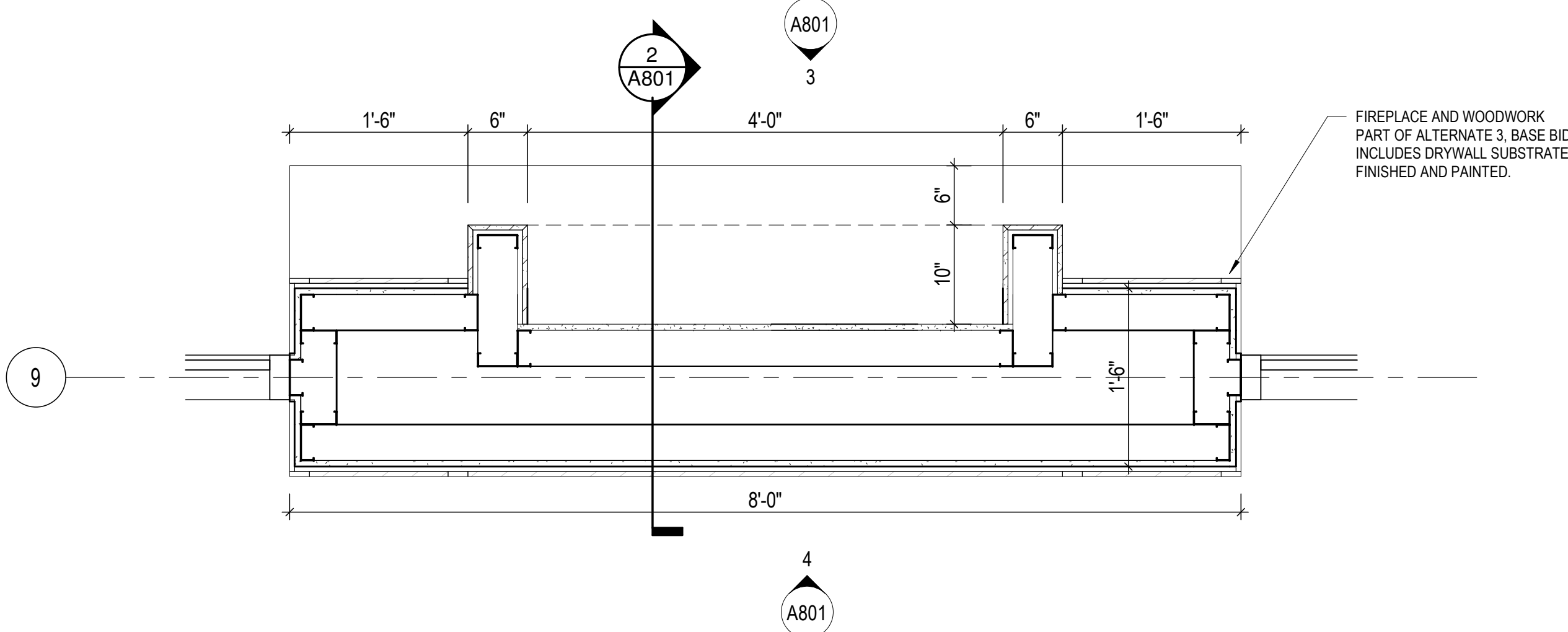
7 FP LOUNGE 102 - SOUTH 1
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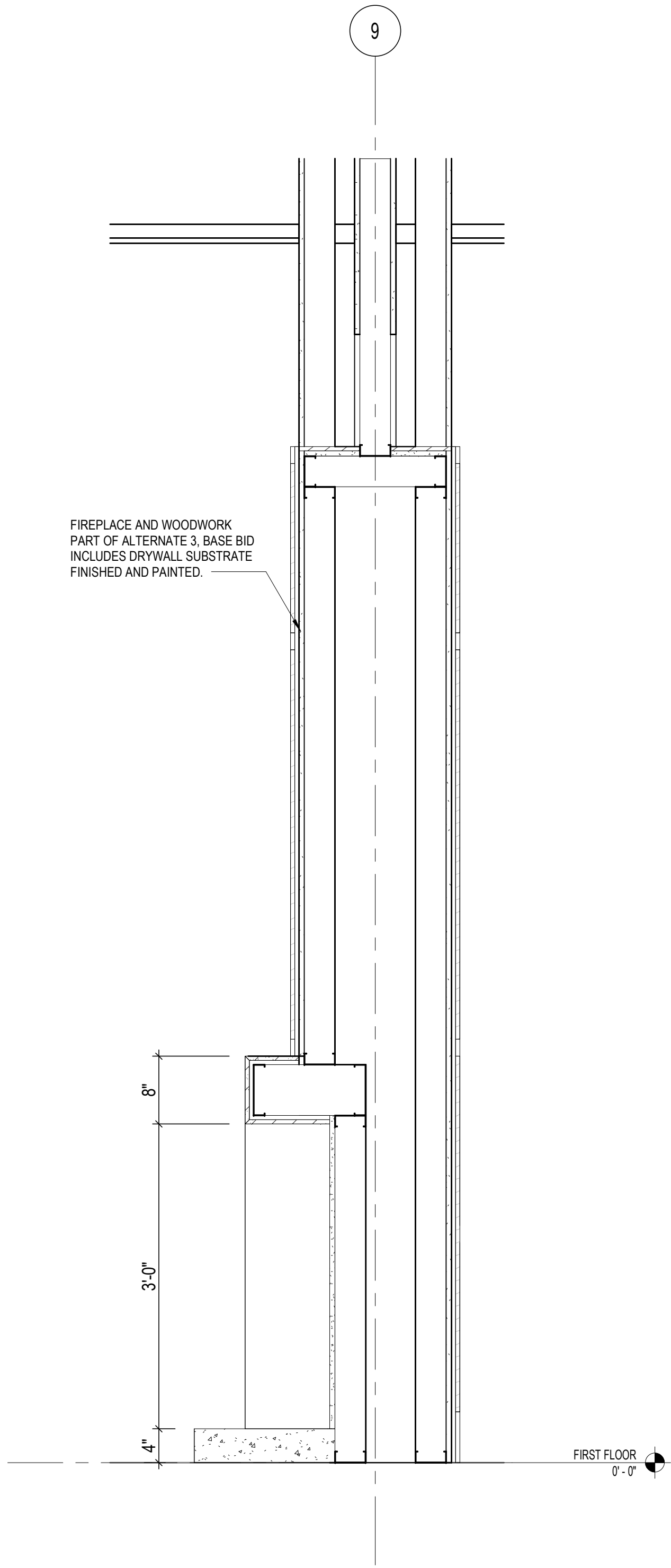
3 102 READING ROOM (ALT. 3)
SCALE: 1/2" = 1'-0"



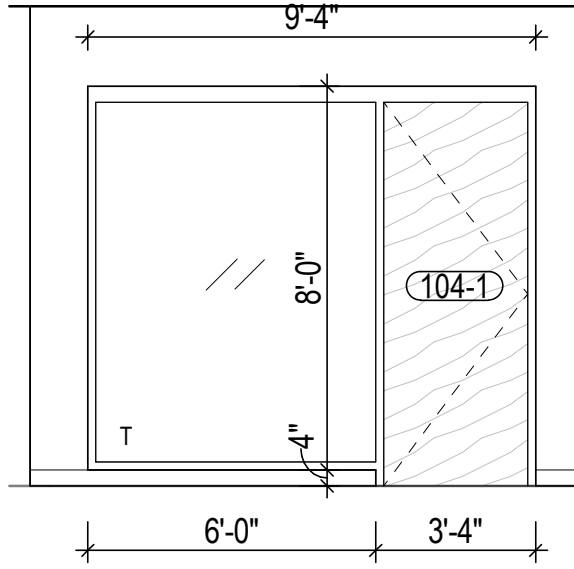
4 106 ADULT EAST (ALT 3)
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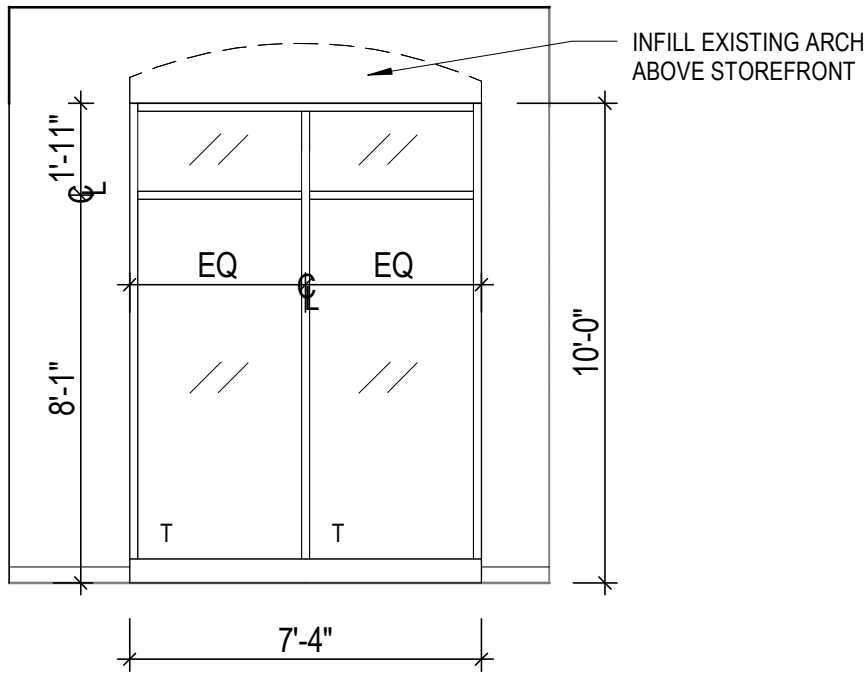
1 ENLARGED FIREPLACE PLAN (ALTERNATE 3)
SCALE: 1" = 1'-0"



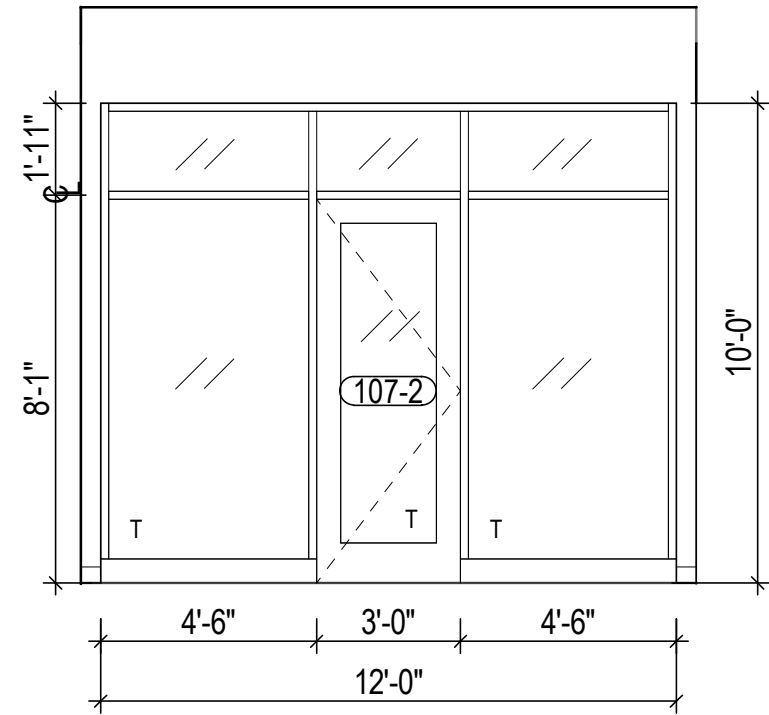
2 FIREPLACE SECTION (ALTERNATE 3)
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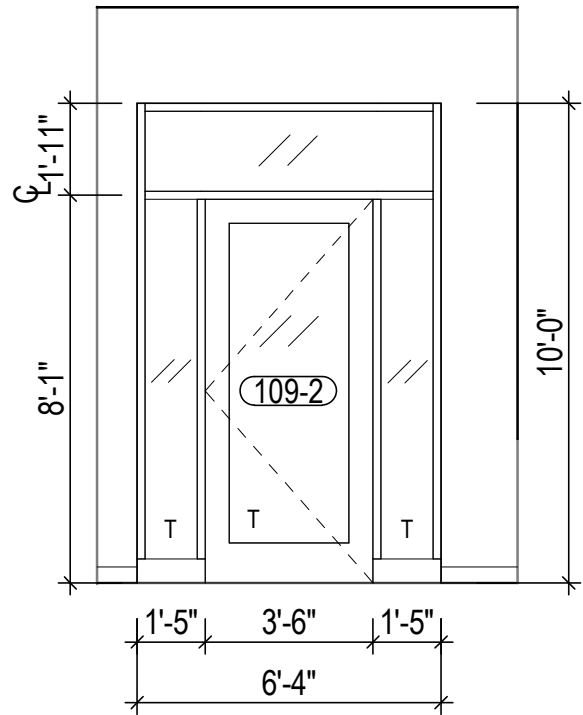
1 ADULT COLLECTION 105 - WEST
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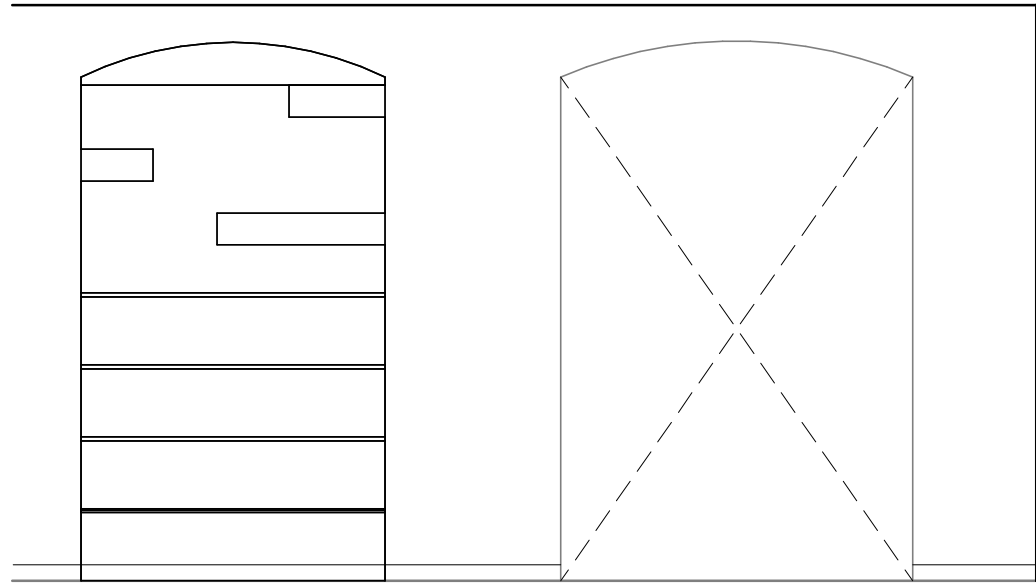
2 VESTIBULE 107 - NORTH
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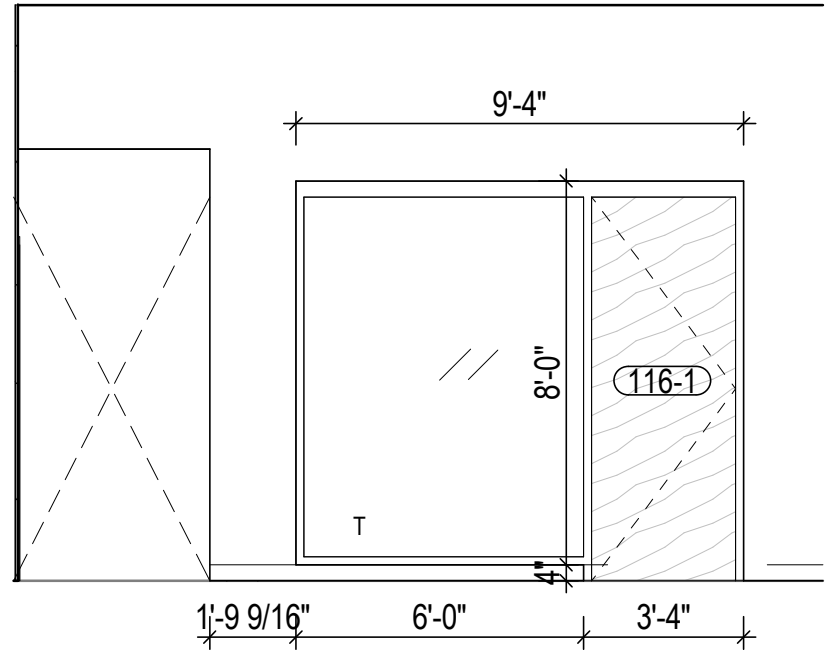
3 VESTIBULE 107 - WEST
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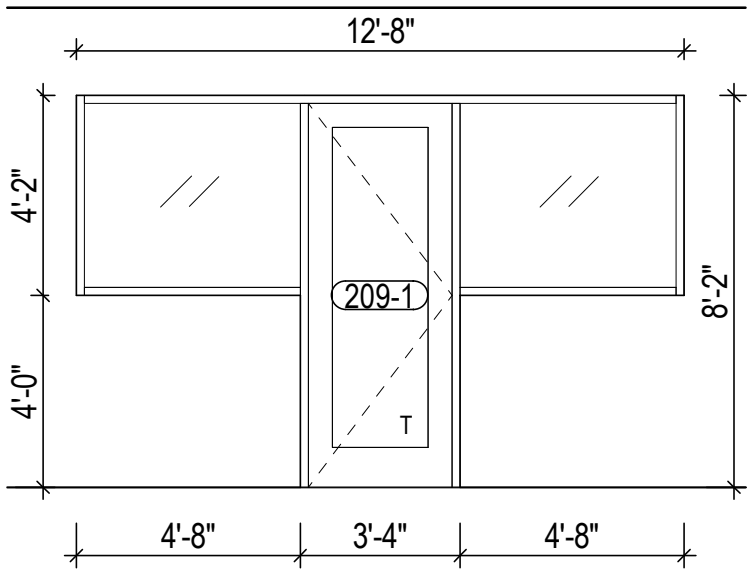
4 VESTIBULE 109 - WEST
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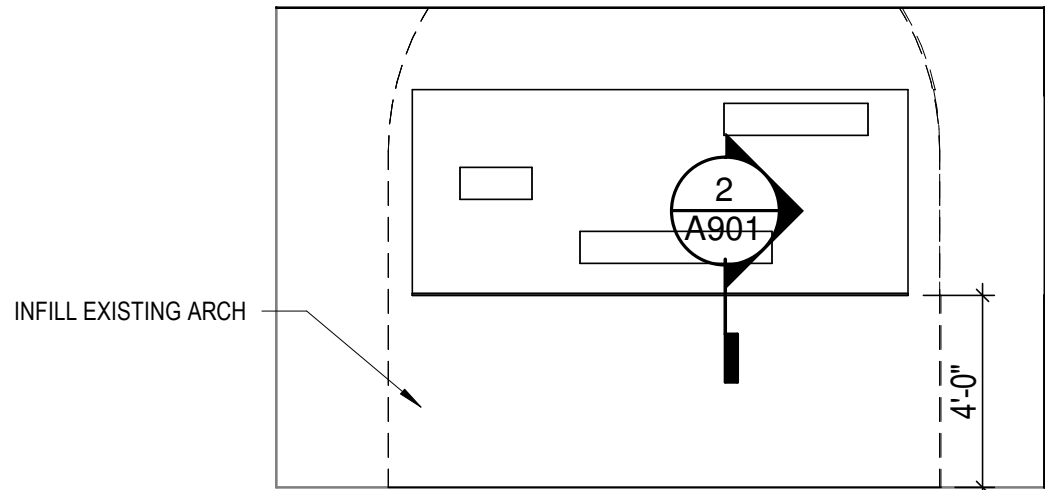
6 COMPUTER ROOM 112 - NORTH
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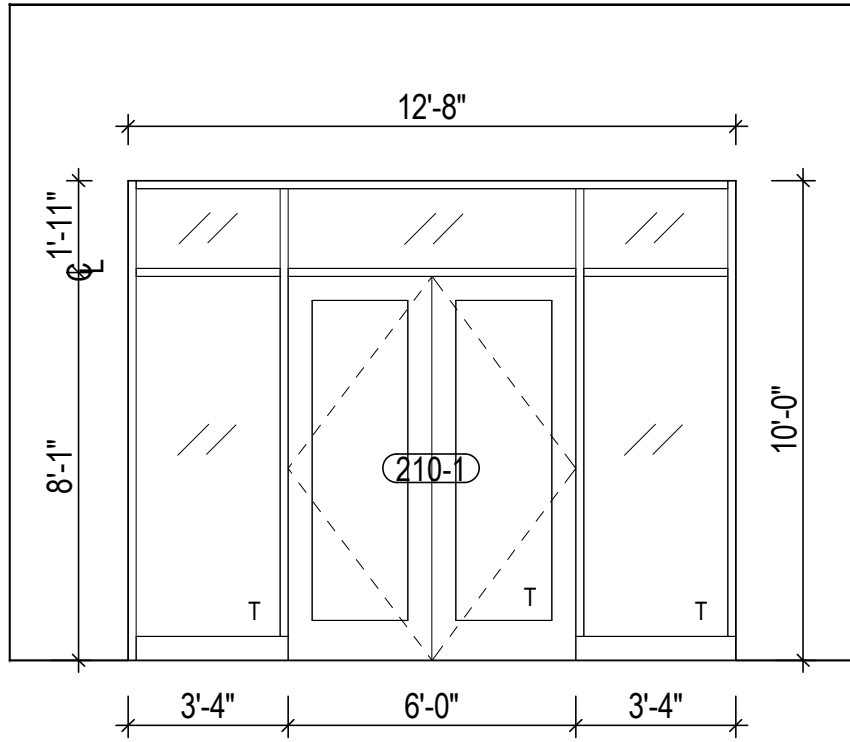
7 COMPUTER ROOM 112 - WEST
SCALE: 1/4" = 1'-0"



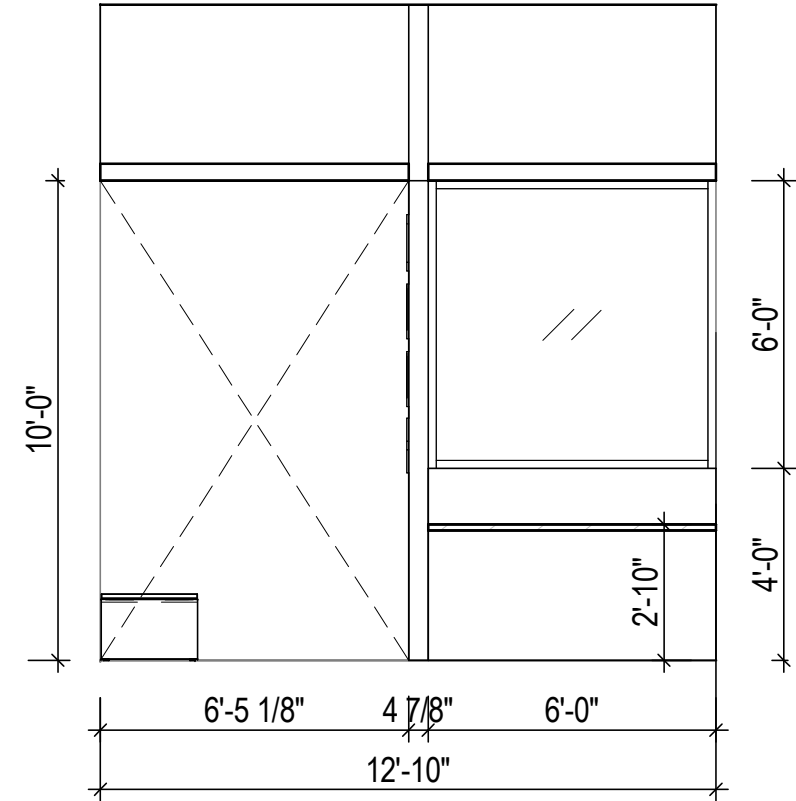
8 STAFF 209 - EAST
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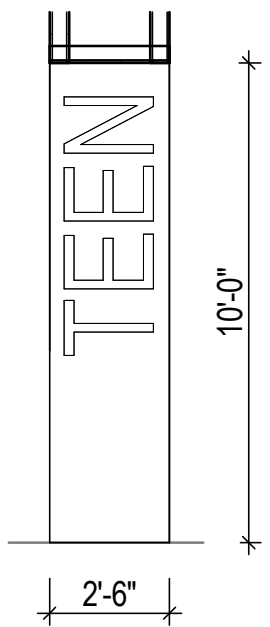
9 STAFF 209 - NORTH
SCALE: 1/4" = 1'-0"



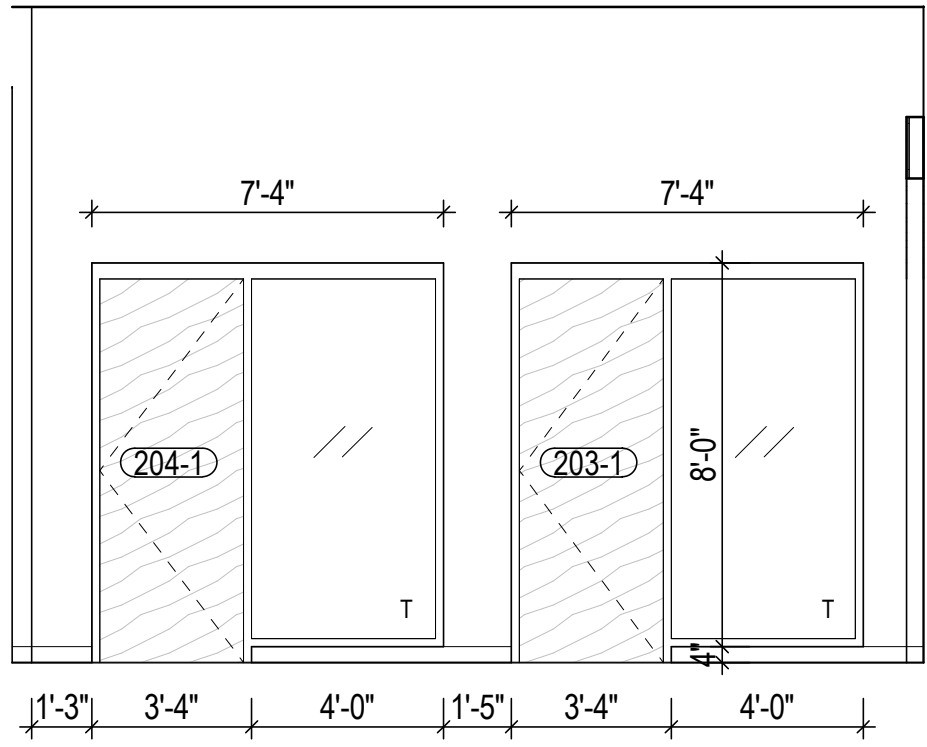
10 MEETING 210 - WEST
SCALE: 1/4" = 1'-0"



11 HALL 213 - EAST
SCALE: 1/4" = 1'-0"



12 TEENS 208 - SOUTH
SCALE: 1/4" = 1'-0"



13 ADULTS 205 - WEST
SCALE: 1/4" = 1'-0"

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INTERIOR ELEVATIONS

A802

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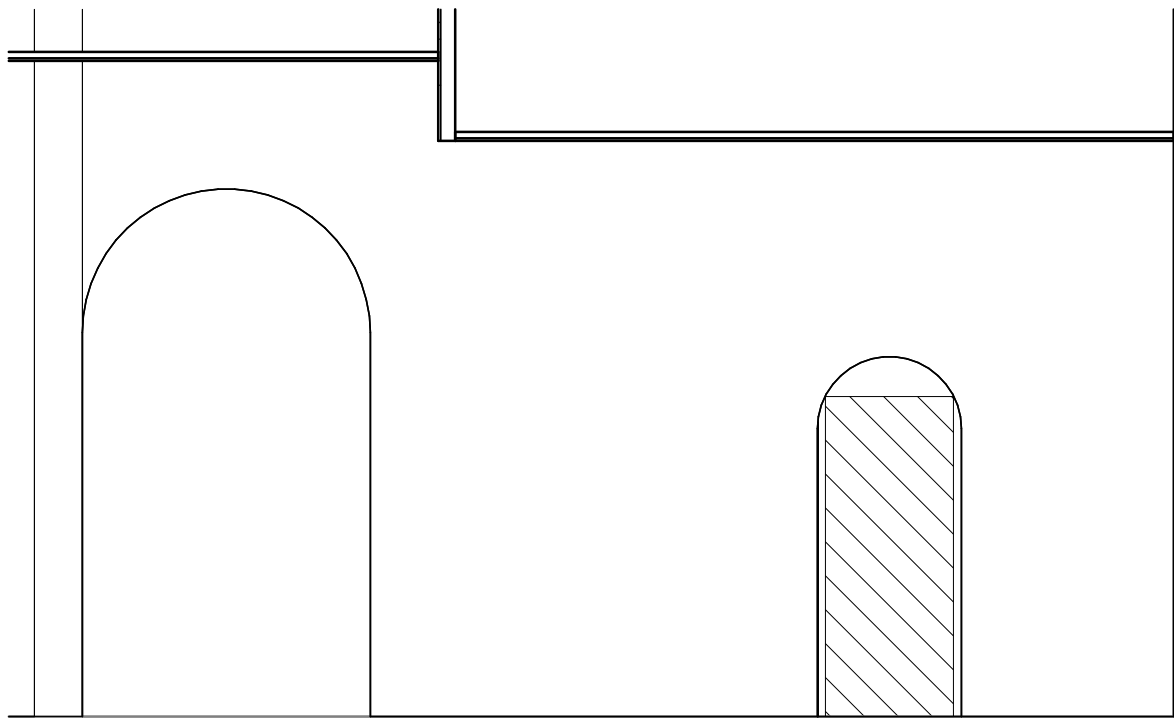
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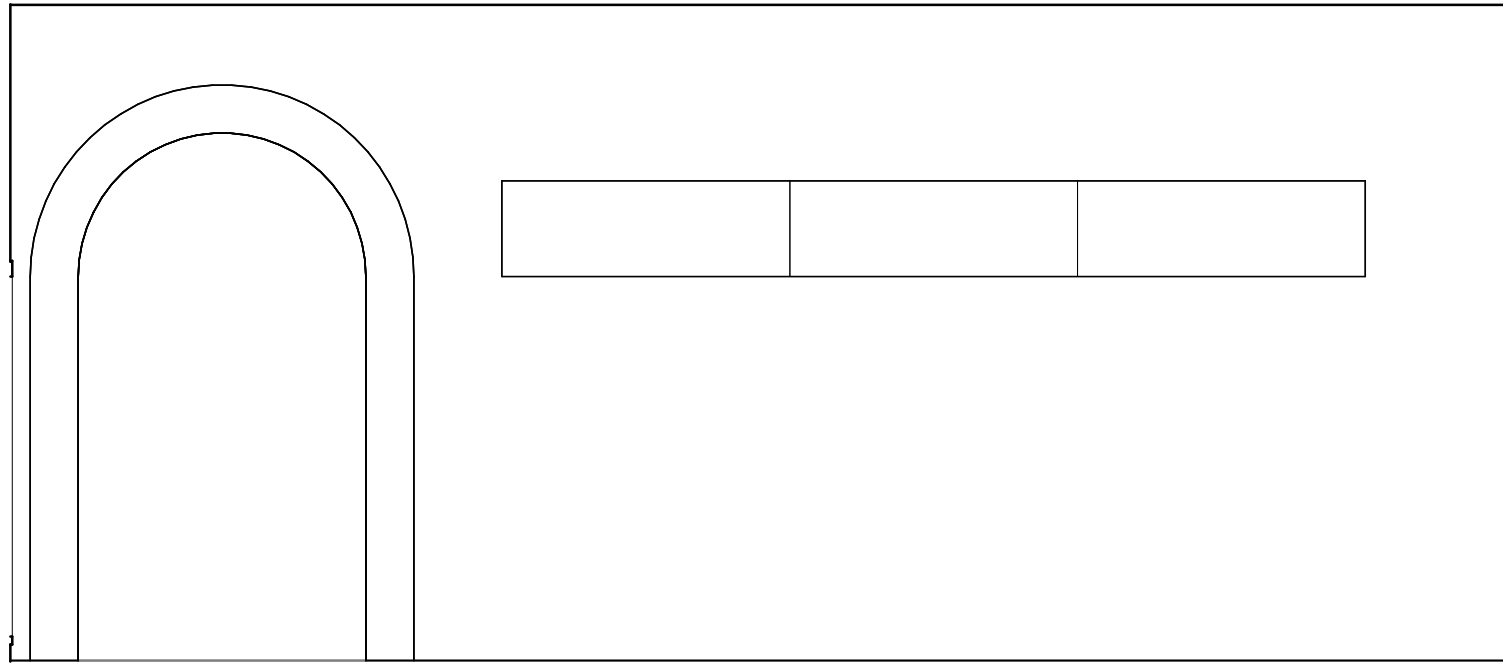
INTERIOR
ELEVATIONS

A803



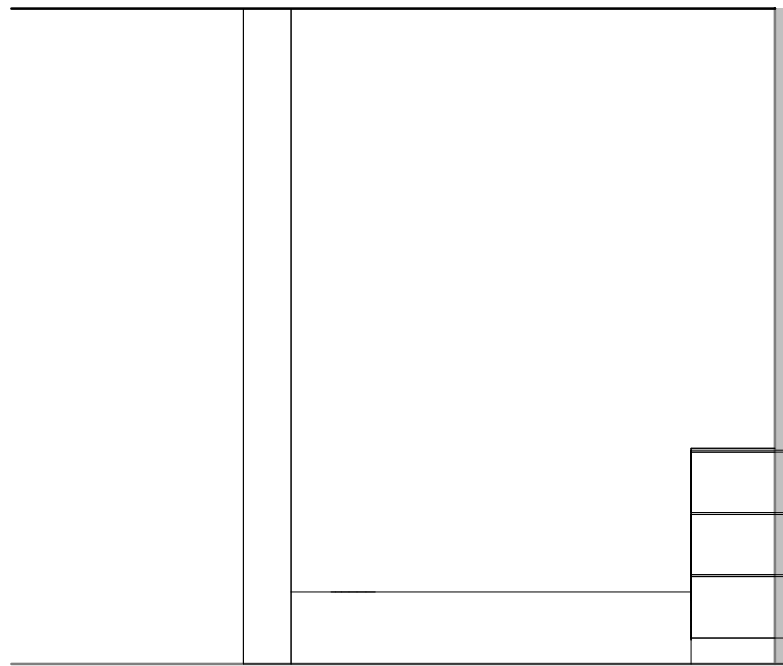
1KIDS 201 - SOUTH

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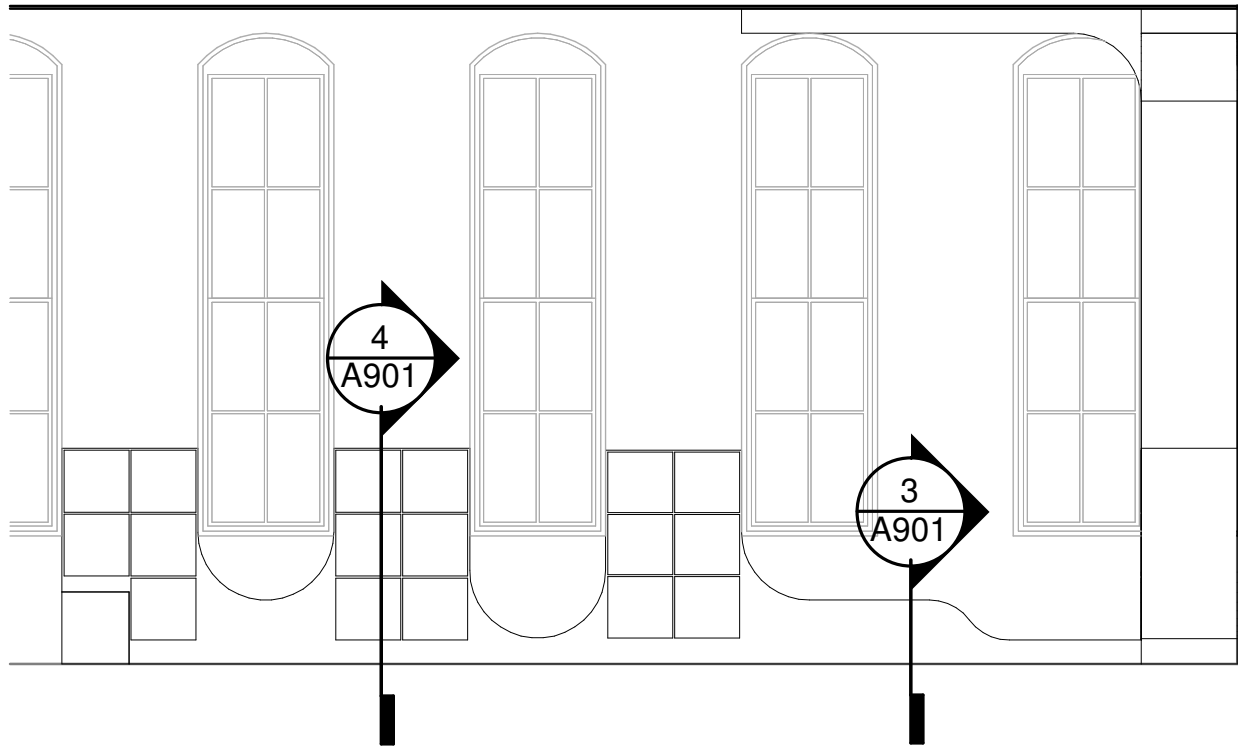
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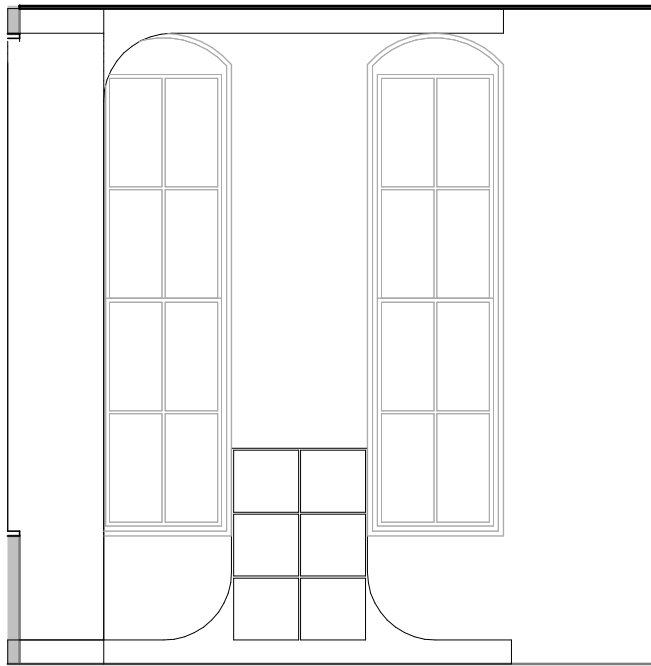
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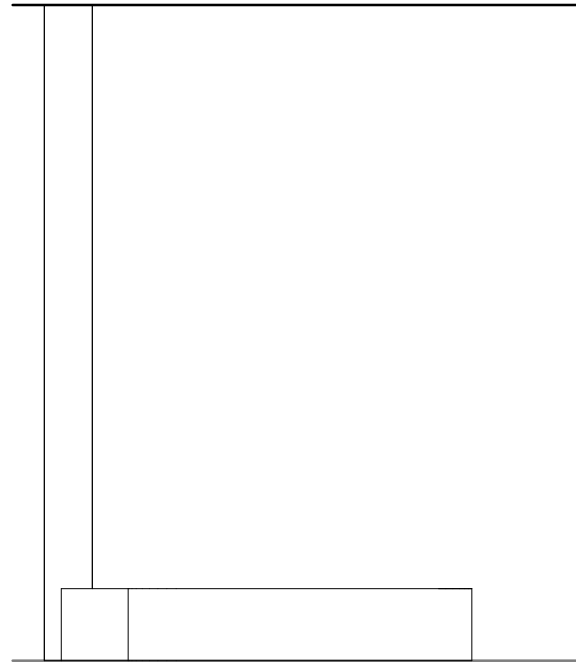
3KIDS CUBBY 201 - NORTH

SCALE: 1/4" = 1'-0"



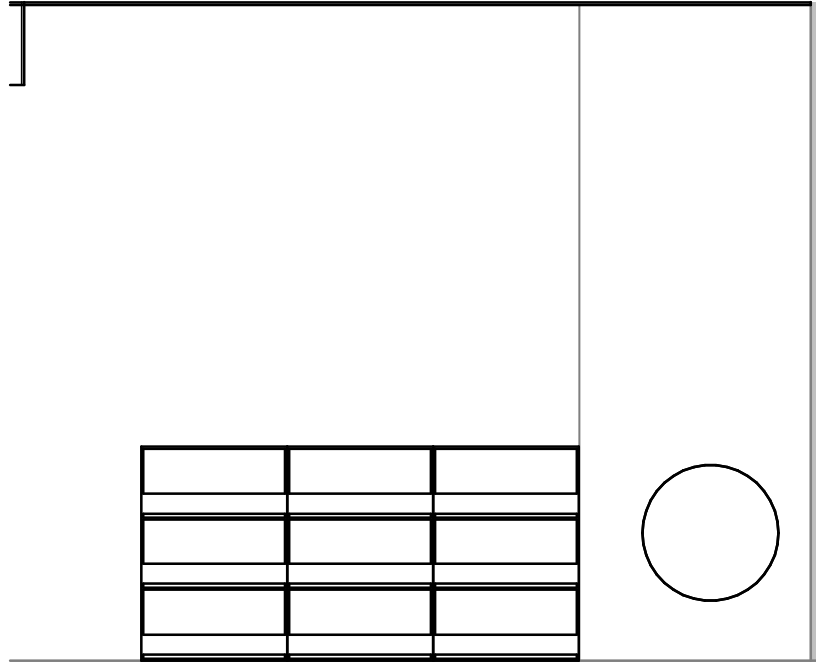
4KIDS CUBBY 201 - EAST

SCALE: 1/4" = 1'-0"



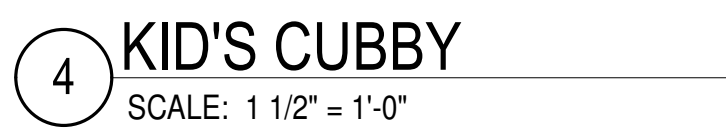
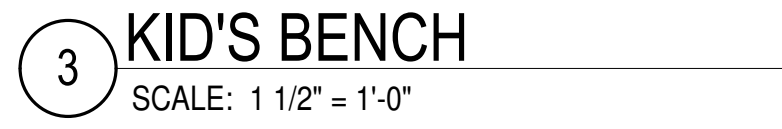
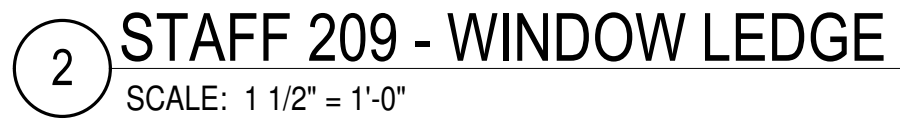
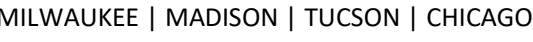
6BABY GARDEN 201 - SOUTH

SCALE: 1/4" = 1'-0"



5BABY GARDEN 201 - WEST

SCALE: 1/4" = 1'-0"



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A901

STAFF REPORT

Historic Preservation Commission – September 9, 2024

Agenda Item # 6b: Review of Work Proposed for 909 Chapple Avenue

Applicant: Dean Reilly, Owner

Staff Contact: Steven Wiley (Planning and Development Director)

Action Request/Background

The owner of the 909 Chapple Avenue property would like to do additional work with his property. The 909 Chapple Avenue property is the Raymond and Erma Hanten House and is a contributing structure in the Chapple-MacArthur Historic District. Currently the house is stucco and the owner would like to side the house with LP SmartSiding and replace the windows with modern vinyl windows. In 2023 the owner came to the Historic Preservation Commission and obtained a Certificate of Appropriateness for removal of the side porch that was located on the north side of the house. Recently the owner explained his proposed window and siding work to Planning staff. Upon discussing the proposed work with the owner, staff decided to refer the item to the Historic Preservation Commission for review and input. A Certificate of Appropriateness is not required because the property is not locally designated under the City's current Historic Preservation Ordinance. Staff believes however, that the Historic Preservation Commission should be aware of the proposed work and have a chance to provide input and engage in discussion with the owner.

Analysis

Dean Reilly is the owner of the 909 Chapple Avenue property, which is a contributing structure in the Chapple-MacArthur Historic District. Mr. Reilly would like to continue doing work on the property. He plans to reside the house with an LP SmartSiding product rather than the current stucco and replace the current windows with vinyl replacements. Last year staff discussed the Historic Tax Credit programs with the owner and the owner was not planning to pursue the tax credit programs at the time. Within the past few weeks staff reached out to the Compliance person at the WI State Historic Preservation Office (SHPO) to confirm that SHPO review was not required for the siding and window work. The Compliance person confirmed that since no demolition permit is required and federal or state historic tax credits are involved, no SHPO review is required. City staff referred the previous porch removal to the Historic Preservation Commission at the April 24th, 2023 HPC meeting. Additionally, the porch removal was referred to the WI SHPO for review as is required for work requiring demolition permits proposed to contributing or listed National and State Register properties.

Staff has concerns with the work proposed as it will impact the historic integrity of the structure and result in a significant change from the historic appearance of the property. Under the current Historic Preservation Ordinance however, a Certificate of Appropriateness is not required. The owner will need to obtain any required zoning and building permits which is standard for this type of work. Staff would

recommend that the HPC discuss the proposed work with the owner and offer input for the owner to consider. The Commission can vote on whether they would support or oppose the work proposed if desired.

Review Recommendation

- Staff requests that the HPC discuss the proposed work with the property owner and provide input.

Approvals are based on background information provided by the applicant and known conditions. Deviations from this information may be considered a change in the application and reconsideration and possible revision to the approvals may be made by the Plan Commission and Common Council.





















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