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City of Ashland, Wisconsin
601 Main Street West Ashland, WI 54806 www.coawi.org

PLAN COMMISSION MEETING AGENDA

August 15th, 2022 at 6:30PM at the City Hall Council Chamber and via Go To Meetings

The meeting can be joined in person or by using a computer, smartphone or tablet at

<https://meet.goto.com/596648133> The meeting can also be joined by phone at

1 877 309 2073 using Access Code: 596-648-133

AGENDA

1. Call to Order and Roll Call
2. Approval of the Agenda
3. Consent Agenda
 - a. Approval of minutes from the June 21st, 2022 Plan Commission meeting
4. Public Comment (non-agenda items)
5. Action Items:
 - a. Review and approve Site Plan for renovation and construction of the new Little Caesars Pizza at 915 Lake Shore Dr. W – formerly the Holiday Gas station. Applicant: Dale Brooks
 - b. Review and approve Site Plan for construction of a 24'x60' storage addition at 2301 Golf Course Rd. Applicant: Midland Service
6. Announcement/Reports/Comments/Questions
 - a. Review and Discussion of the Role of the Planning Commission regarding site plans and conditional use permits
7. Adjournment

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information or speak about a subject, over which they have decision-making responsibility. Any governmental body at the above stated meeting will take no action other than the governmental body specifically referred to above in this notice. The City of Ashland does not discriminate on the basis of sex, race, creed, color, national origin, sexual orientation, age or disability in employment or provision of services, programs or activities. NOTE: Upon reasonable notice, the City of Ashland will accommodate the needs of disabled individuals through auxiliary aids or services. For additional information or to request this service, contact the Planning & Zoning Dept. at (715) 682-7041.



City of Ashland – Plan Commission Meeting Minutes

A meeting of the Ashland Plan Commission was held on **Tuesday, July 19th, 2022 at 6:30 p.m.** via GoToMeeting.

Committee Members Present: Mayor MacKenzie, Jeff Beirl, JoAnn Erickson, Laurie Gregor

Committee Members Absent: David Metille (excused), John Beirl, Ana Tochtermann

Staff Present: Brea Grace, Mandelyn Lyons

Mayor MacKenzie opened the meeting at 6:31 p.m.

Agenda

1) Approval of Agenda

Motion to approve the agenda by JoAnn Erickson, seconded by Jeff Beirl.
Passed unanimously.

2) Consent Agenda

a) Approval of minutes from the June 21, 2022 Plan Commission meeting

Motion to approve the minutes from the June 21, 2022 Plan Commission meeting, with amendments, by JoAnn Erickson, seconded by Jeff Beirl. Passed unanimously.

3) Public Comment (non-agenda items)

None.

4) Action Items

- a. Public Hearing and vote on a request for a Conditional Use Permit (CUP) for a rooftop sign at 210 5th Ave E, parcel #201-01591-0000, zoned City Center (CC). Applicant: Chequamegon Theatre Association

A motion to go into the public hearing by Jeff Beirl, seconded by JoAnn Erickson. Passed unanimously.

Mandelyn Lyons summarized the applicant's proposal, the five standards for review for conditional use permits, and the staff report. She continued to summarize the class two public hearing notice, which were published on July 8th & 15th, and explained the neighbor letters.

Mayor MacKenzie invited the public to come forward and comment.

Clarence Campbell commented “I’m here on behalf of the Chequamegon Theatre Association. I have been involved with the theatre for about twenty years, and have been on the board of directors for seven years. The theatre is celebrating their 50th anniversary soon and I believe that we are the longest operating non-profit community theatre in the state of Wisconsin. One problem that we have had over the years is people finding the theatre, the address is 210 5th Ave, but the theatre is actually located on the alley. At least once every performance we have someone call saying that they can’t find the theatre, and we have to give them directions to the building. There is also signage that identifies our building as the theatre. The 210 5th Ave E address leads them to the parking lot. So as part of the 50th anniversary we want to put a sign up. As far as illuminating the sign it would only be lit during performances or nights that there are performances.”

Mayor MacKenzie asked if there were any comments provided ahead of time for the hearing.

Mandelyn responded that there were two comments submitted ahead of the meeting and read them into record:

Michael Rice o/b/o his mother at 213 Willis Ave commented, “I have memories of visiting this theatre as a kid. My mother and I support the theatre getting a sign.”

Frank Gallik of 209 Willis Ave commented, “As I own the home directly across the alley from CTA I just wish to let you know that I have no problem with CTA placing a sign on the theatre. I feel that it would help with their visibility and don't feel it would be a problem for myself or family members. The location of the theater is such that I believe this is important for them to be more visible to those planning on attending theater performances.”

Mayor MacKenzie asked if anyone online would like to comment.

There were none.

A motion to go out of Public Hearing by JoAnn Erickson, seconded by Laurie Gregor. Passed unanimously.
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Mayor MacKenzie stated that staff recommended approval with the condition that the applicant shall obtain a city sign permit – which they already have.

JoAnn Erickson commented that the sign does not seem like it would obstruct any views and with the neighbors support she believes this proposal should move forward.

Mayor MacKenzie commented that the theatre is difficult to find and a sign will help with the theatre’s visibility.

Mayor MacKenzie stated the only condition for the CUP is that the applicant would need to obtain a sign permit.

Motion for approval of the Conditional Use Permit with conditions by Jeff Beirl, seconded by JoAnn Ericson. Passed unanimously.

- b. Public Hearing and vote on a request for a Conditional Use Permit (CUP) to build an accessory building over 20 feet in height at 1002 Willis Ave, parcel #201-02728-0100, zoned Single & Two-Family Residential (R-2). Applicant: Marty Reykdal

Motion to go into the public hearing by Jeff Beirl, seconded by JoAnn Erickson. Passed unanimously.

Brea Grace summarized the applicant's proposal, the five standards of review for conditional use permits, and the staff report. She continued to summarize the class two public hearing notice, which were published on July 8th & 15th, and explained the neighbor letters.

Brea also explained that it is possible to put a garage on parcel before a principal structure if the applicant builds a principal structure within two years. She stated that Marty had already been issued a building permit for the proposed accessory structure, and that the CUP is for the extended height request.

Brea commented that we do have a conceptual site plan that includes the layout of buildings and driveways on the property, but there are no formal plans presently for the home or drives, landscaping, stormwater, or buffers.

She then continued to explain the code requirements that the site will have to meet. The proposed structure is an accessory building in a residential area so garage space cannot be rented out, with the proposed duplex the garage cannot be an accessory dwelling unit. The building was permitted as an accessory structure, thus there cannot be a residence within it – no one can live in the garage.

Mayor MacKenzie asked if anyone wanted to comment.

George Stolarzyk of 1003 Willis Ave commented, "I live across the street from the proposed addition to the City of Ashland. I have a few comments. A rumor is that this proposed RV garage that Marty is putting up is that he is going to be staying there. Way back in 2000 or even in 1998 I had proposed putting a garage up, but was told we couldn't until we put up a house. My other comment is the height on it. The height is my concern, how many homes in Ashland have been allowed to put up a garage of this height. I know it is zoned two-family and several homes have contacted me and said their homes are 20 to 22 ft. in height. Twenty-six feet is very high for the neighborhood. My other concern was addressed; he has to build a home in two years. Other than that I don't have any problems, but my concern is the 26'."

Marty Reykdal of 1002 Willis Ave commented, "According to the ordinances I could build a home at 35' so you wouldn't even see the garage. The picture that Mandy showed before, I am just building the RV part not the whole building. I'd like to be able to park my truck and truck camper in the garage and have storage above, so I'd need a twelve-foot door, which is why I'm interested in having 26'. I could probably make it work with 20' but it would leave me with a 6' ceiling in the gable I would be hunched over in the storage area. That is why I'm asking for the extra footage."

Mayor MacKenzie confirmed with Marty that he would only be building the RV section in the picture, and he is just looking at the picture for design purposes. He also asked about the driveway.

Marty explained that he is not set on his plans for the driveway and that it might vary. He continued to say that his plans change based on the project progression.

Mayor MacKenzie asked if he has looked at the code requirements for the site.

Marty commented that he went through the codes with staff in previous meeting.

Jeff Beirl asked if the garage is already under construction and if the current status of the project is what inspired the height increase.

Marty confirmed that he has already started construction and that he had planned on a taller garage from the start, but the height was a recent decision.

Jeff asked if the proposed duplex would be in front of the garage and if the duplex would be over 26'.

Marty said yes the duplex would be in front of the garage, but he isn't sure that it would be over 26', he was thinking that it would have in floor heat and be one story.

JoAnn asked Marty to confirm that he does not have plans for the duplex yet and that he would be starting construction within two years.

Marty said he does not have a plan yet but he will start construction in two years.

JoAnn commented that she is concerned that there is no plan for the house, and asked what happens if he doesn't build in two years. Could the city make him take down the garage?

Mayor MacKenzie stated that we could make him take down the garage if the principal structure isn't built.

Brea stated that the City has two tools for compliance, citations or requiring demolition, but generally staff doesn't want that to happen.

JoAnn stated again that her concern is that there are no plans for the home and is concerned about the two-year construction deadline.

Marty stated that he does not like to get fined so he does intend to build within the two-year timeframe.

Mandelyn commented that before any construction of the home would start Marty would need to submit a full set of UDC plans for review.

Marty commented that even if his request is denied the max height for a garage is 20' and it is likely you will see the garage behind the duplex even at the max height.

Motion to go out of public hearing by Jeff Beirl, seconded by JoAnn Erickson. Passed unanimously.

Mayor MacKenzie stated that staff recommends approval with conditions, which are essentially building codes.

Marty asked if it would be possible to not go 26'.

Jeff asked if we could put a condition in which the building would not exceed 26', that he does build a residence within two years, and all other conditions recommended by staff.

JoAnn asked if there is any way to stop larger garages from being built.

Mayor MacKenzie added saying that modern larger vehicles may factor into the need for a larger

garage. He provided anecdotal evidence from the police station build and the height requirements for that project.

Mandelyn commented that the CUP process is one way to limit garage heights.

JoAnn is concerned that once we start allowing structures of this height they will become more common.

Mayor MacKenzie mentioned that this is an issue that could be discussed in a future meeting.

Mayor MacKenzie stated the conditions of the CUP are:

- Renting out storage in the proposed accessory structure is not an allowable use
- The accessory structure shall not exceed 26' in height
- Construction of a primary structure shall start within two years
- All development on site will comply with all applicable ordinance and code requirements

Motion to approve the Conditional Use Permit with conditions by Jeff Beirl, seconded Laurie Gregor. Passed 3-1, Erickson opposed.

Brea commented that this CUP now goes to City Council for final review on July 26th.

5) Announcements/Reports/Comments/Questions

Brea announced that the next Planning Commission meeting is scheduled for Monday, August 15th at 6:30 in the Council Chambers.

6) Adjournment

Motion to adjourn by JoAnn Erickson, seconded by Laurie Gregor. Passed unanimously.
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Meeting was adjourned at 7:19 pm. Minutes done by Mandelyn Lyons.



STAFF REPORT

Plan Commission – August 15, 2022

Agenda Item #5a:	Site Plan Review for construction of Little Caesar's restaurant
Applicant:	Dale Brooks on behalf of Little Caesars Pizza
Property Owner:	Front Street Spur Inc.
Property Address:	915 Lake Shore Dr. W
Parcel No:	201-04992-0000
Zoning District:	Waterfront Commercial (W-C) District with Waterfront Overlay (W-O) and Gateway Overlay (GTWY-O)
Staff Contact:	Mandelyn Lyons & Brea Grace

Background

The applicant is requesting review and approval of the attached Site Plan for construction of a new Little Caesar's restaurant at 915 Lake Shore Dr. W. Little Caesar's has been in operation since 1987 in their existing location at 601 Lake Shore Dr. E.

The applicant would renovate the existing gas station building (the principal structure on site) and would not be altering the overall square footage of 2,500 sq. ft. The exterior façade and signage would be updated to reflect Little Caesar's branding.

The current owner has removed the underground gas tanks, the fuel pumps, and the fueling island canopy. The area previously occupied by the gas pumps and the canopy will be utilized as a parking area. The site will include 11 off-street parking spaces, including 1 handicap accessible space, and maintain both existing ingress/egress driveways from USH 2. Proposed landscaping is proposed on the western side of the site, around the existing ground sign, and along the western side of the principal structure.

The existing car wash building (1,375 sq. ft.) will not be removed, but it will no longer function as a car wash. Any future use of this building must comply with the UDO as an allowable accessory use in the Waterfront Commercial (UDO 4.28 B.3.), or potentially would require a CUP for a secondary conditional use. The Waterfront Commercial Zoning District encourages, "...development and redevelopment in the district to occur through the planned unit development (PUD) process that includes at least several parcels. Encourage connections between commercial uses that allow for shared parking and shared access from US Highway 2 (Section 4.28 A(4))."

Standards for Review

The City of Ashland's Unified Development Ordinance, Section 781 Section 3.20 Site Plan Approval (all subsections thereof), creates the legal framework to regulate, administer, and enforce the site plan review process for the City of Ashland.

Site Plan Review

The following criteria were used to review the submitted site plan:

1. Consistency with Comprehensive Plan.

The proposed use for a restaurant at 915 Lake Shore Dr. is not directly in conformance with the Future Land Use Map, but it does support the principles and goals of the Comprehensive Plan. The site is classified in the Future Land Use Map as Waterfront Protection Area. Any land use on the property should preferably support waterfront conservation. The Plan states:

“The waterfront area and the conservation buffer should be protected from development. Any rehabilitation or replacement structures within these zones should have strict design guidelines to ensure their quality, specifically the waterfront area.” (Authentic Ashland, pg. 33)

The proposed use can increase its consistency with the Comprehensive Plan and its recommendations through conditions related to landscaping and protecting the existing vegetative buffer between this site and the shoreline. The applicant's site plan proposes some new vegetation and landscaping to support waterfront conservation.

The Comprehensive Plan also outlines the need to improve the aesthetics of gateways into the City in the following text:

“The gateways into the community along Lake Shore Drive are understated at best, completely absent at worst. For visitors, it is not clear when you have arrived in Ashland from the east or west side.” (Authentic Ashland, pg. 48)

Improvements to the site, including the building improvements and landscaping, will help signal to traffic that they have entered Ashland and its commercial opportunities are accessible.

2. Project Compatibility.

The proposed use is compatible with the site as surrounding uses are primarily commercial. Surrounding uses in the area include Subway, Pita Hut, McDonalds, and Arby's. The abutting parcel to the west is a public park with a scenic view of the lake.

The parcel at 915 Lake Shore Dr. W is also unique and is in an area that the 2019 Waterfront Development Plan considers the West Central area. When referring to many parcels on the lakeshore side of Hwy 2, the Waterfront Development Plan acknowledges that,

“These properties are situated on relatively shallow lots that run to the edge of a steep bluff down to the waterfront trail, which may limit the types of development that these lots could accommodate.” (Waterfront Development Plan, pg. 49)

The applicant plans to utilize existing infrastructure on the site and is willing to work with this existing nonconforming parcel.

No portion of the site may be used commercially as leasable storage space. Leasable storage is not a permitted or conditional commercial use in the W-C District (UDO 4.28 B).

3. Site Design

a. Site Organization.

The site organization has been designed to efficiently re-use existing structures and paved areas. The overall site grading is not anticipated to change significantly.

b. Location of Buildings.

2 buildings are currently present on the site. The restaurant will operate in the structure at the east of the property. The former carwash structure, at the west of the property, will remain unused or as storage for the restaurant use. All buildings meet the intent and standards identified in the UDO for properties within the Waterfront Commercial (W-C) District with Waterfront Overlay (W-O) and Gateway Overlay (GTWY-O).

c. Drives, Parking, and Circulation.

Dimensions for all proposed parking and driveway areas conform to UDO standards.

Driveway.

The two existing driveways connect to USH 2 for two-way ingress and egress each.

Parking.

Based on the Gross Floor Area of the proposed development, a maximum of 50 off-street parking spaces would be permitted. Therefore, the proposed number of 11 spaces meets UDO standards for the Waterfront Commercial (W-C) District with Waterfront Overlay (W-O) and Gateway Overlay (GTWY-O).

Parking is proposed between the principal structure and the public right-of-way. Within the W-O District, parking between the principal building and the public right-of-way or between the principal building and Lake Superior is discouraged unless no other practical alternatives exist or unless proper buffering and landscaping measures are used pursuant to Section 6.4: Landscaping, Buffers, and Screening (UDO 4.46 D.8.a.).

Parking lot and site work are anticipated to take place in the spring of next year, which will give the area where the pumps and tanks were removed the winter to fully settle

Pedestrian Access.

The business will accommodate automobile and pedestrian traffic. Bicycle parking (e.g., a bike rack) is encouraged to be located on site.

a. Grading / Drainage / Stormwater.

- Grading – Overall site grading will not be altered significantly.
- Stormwater/Drainage – The proposal will not increase impervious surface area beyond what is already present on the site. Review and permit issuance from the Wisconsin Department of Natural Resources (WDNR) will not be required since the land area disturbed will be less than one (1) acre.

b. Utility Services.

Existing water and sewer utility connections will be maintained and used. The restaurant is required to install and maintain a grease trap.

c. Fire Prevention.

Knox Box to be provided for each building if the business is not open 24-7; locations for each clearly identified on final plan set.

Following final design of the plans, the applicant shall provide a CD copy of the final Building Floor Plan Layout and Utility Plan (in a .dxf format), for the Fire Department's pre-fire planning of the structure's layout. The street number of the location shall be on the front of the primary structure, visible from the USH 2 roadway. Such information shall be provided to the Fire Department prior to the issuance of the Occupancy Permit.

A sprinkler system and fire suppression system are not planned for the building. The applicant is not planning to install a fire detection system.

d. Views.

The proposed development will not significantly impact existing view sheds and scenic vistas.

e. Environmental Issues.

The underground tanks and fuel pumps have been removed this summer. If the tanks are found to have been leaking or leak upon removal, state law requires that such spills/discharges be reported to Wisconsin DNR. If discharge occurs or has occurred, see: <https://dnr.wisconsin.gov/topic/Brownfields/Petro.html>. Contact Greg Bareta (608-224-5150).

f. Landscaping/Screening.

The details about the proposed landscape to be submitted to City's Planning & Development Department for review and approval. Proposed landscaping provides further screening from Lake Superior and provides an attractive entrance to the City's business district.

g. Signs.

Any new signage or signage replacements will require a Sign Permit to be obtained through the Planning & Development Department to ensure it conforms to UDO standards.

h. Lighting.

Any proposed exterior lighting shall require the electrician to submit full exterior lighting plans to the City's Planning & Development Department for review and approval to ensure it conforms to all UDO standards. All exterior lighting must be full cutoff.

4. Building Design

The proposed building design meets all design standards identified in the UDO for the Waterfront Commercial (W-C) District with Waterfront Overlay (W-O) and Gateway

Overlay (GTWY-O). The updated exterior of the principal structure will reflect new Little Caesar's branding.

Construction shall be of quality finish materials including, but not limited to, brick, stone, stucco, and architectural concrete. Unfinished concrete masonry units and corrugated metal or plastic siding shall be prohibited (UDO 4.47 D.3.a.).

The proposed use of stone as accent material on the building would help accomplish the recommended design standards. Predominate exterior colors should generally be neutral or earth tone, but bright colors may provide a compatible accent (UDO 4.47 D.3.a.).

5. Principles of Sustainability

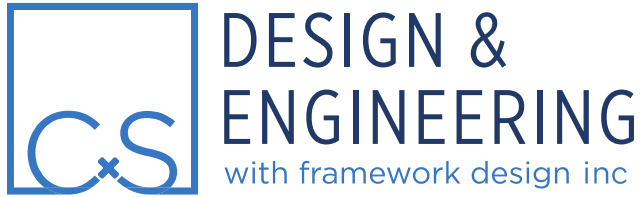
Site features of this renovation that address principles of sustainability laid out in the UDO include:

- The proposed restaurant use offers desirable infill development and rehabilitation of an existing brownfields site.

Review Recommendation

Staff recommends APPROVAL of the proposed site plan for the construction of a new Little Caesar's restaurant at 915 Lake Shore Dr. W (parcel #201-04992-0000), subject to the following conditions:

1. Any future use of the former car wash building must comply with the UDO as an allowable accessory use in the Waterfront Commercial (UDO 4.28 B.3.), or potentially would require a CUP for a secondary conditional use.
2. Details about the proposed landscaping to be submitted to City's Planning & Development Department for review and approval.
3. Details to be provided about proposed site and building lighting (i.e., accent lighting for the building), including compliance with UDO requirements for downcast and fully screened lighting.
4. Any new signage or signage replacements require a Sign Permit to be obtained through the Planning & Development Department to ensure it conforms to UDO standards (UDO 4.46 D.10., 4.47 D.6., and 6.6).
5. The dumpster enclosure must meet side-yard setbacks from the adjacent property (15 feet) (UDO 4.28 C.2.d.).
6. Knox Box to be provided for each building if the business is not open 24-7; locations for each clearly identified on final plan set, submitted to the City prior to the issuance of the Building Permit.
7. Following final design of the plans, the applicant shall provide a CD copy of the final Building Floor Plan Layout and Utility Plan (in a .dxf format), for the Fire Department's pre-fire planning of the structure's layout.
8. The street number of the location shall be on the front of the primary structure, visible from the USH 2 roadway.
9. The restaurant will be required to install and maintain a grease trap.



2023 6th Street West, Ashland, WI 54806

Phone: (715) 682-0330

www.csdesignengineering.com

July 1, 2022

Mandelyn Lyons
City of Ashland
601 Main Street West
Ashland, WI 54806

RE: Proposed Little Caesars to be located at 915 Lake Shore Drive West - Site Plan Review

Dear Mandy,

Attached please find the Site Plan Review Application & Checklist, and Plan Set for the proposed redevelopment of the existing Holiday Station Store into a new Little Caesars Restaurant. The project is located at 915 Lake Shore Drive West. The property is currently owned by Front Street Spur. A letter is attached that is signed by one of the owners of Front Street Spur giving permission for this submission to take plan. The building is 2,500 square feet and the exterior will be renovated to match the Little Caesars theme. The existing gas pumps, tanks and canopy were recently removed. The signage on the carwash will be removed and the carwash equipment has been removed. The carwash building will not be used at this time except for storage purposes. The blue trim around the roof of the carwash will be painted to match the restaurant.

The building elevations do a good job of explaining the materials and colors to be used on the building. An exterior lighting plan will be submitted to the City when completed. No new utility work will be required for this project. A dumpster enclosure has been added to the site plan. Additional discussions on snow removal and storage will take place with the City Staff prior to the Planning Commission meeting. We will also discuss plantings and show them on the plan. There will be 9 parking stalls as part of this plan.

Please review the attached documents at your earliest convenience and place as an agenda item on the next appropriate Planning Commission meeting. If there are any questions or additional information required, please let us know.

Sincerely,

Trevor Provost, Building Designer
C&S Design & Engineering, Inc.

Cc:

Dale Brooks, Developer

June 30, 2022

Mandelyn Lyons
City of Ashland Planning & Zoning
601 Main Street West
Ashland, WI 54806

**RE: Conversion of Holiday West Gas Station at 915 Lake Shore Drive West to A Little
Caesars – Property Owner's Statement**

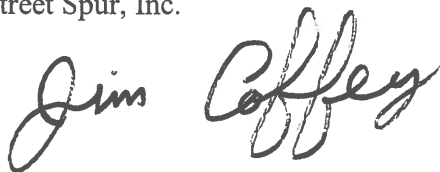
Mandelyn,

This letter is to acknowledge that I give my permission on behalf of Front Street Spur, Inc. for Dale Brooks to present the City of Ashland Planning Commission the information needed for the proposed redevelopment of the property into a Little Caesars Restaurant.

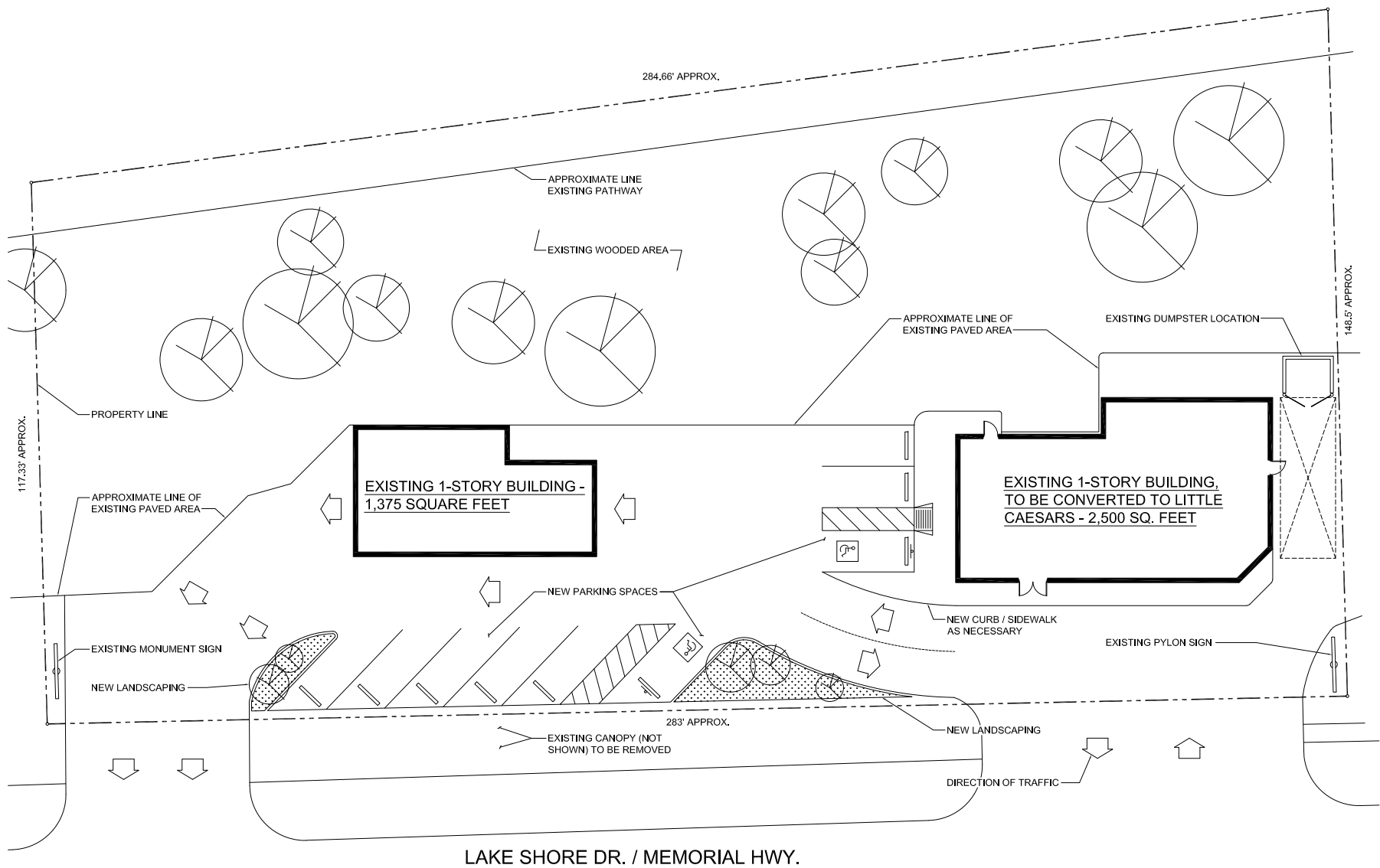
If you have any questions, please call me at (715) 682-3726.

Sincerely,

Jim Coffey,
Front Street Spur, Inc.

A handwritten signature in black ink that reads "Jim Coffey". The signature is written in a cursive, flowing style.

6-30-22



915 Lake Shore Dr. West
Ashland, WI 54806

CONCEPTUAL SITE PLAN

SCALE: 1/32" = 1'-0"

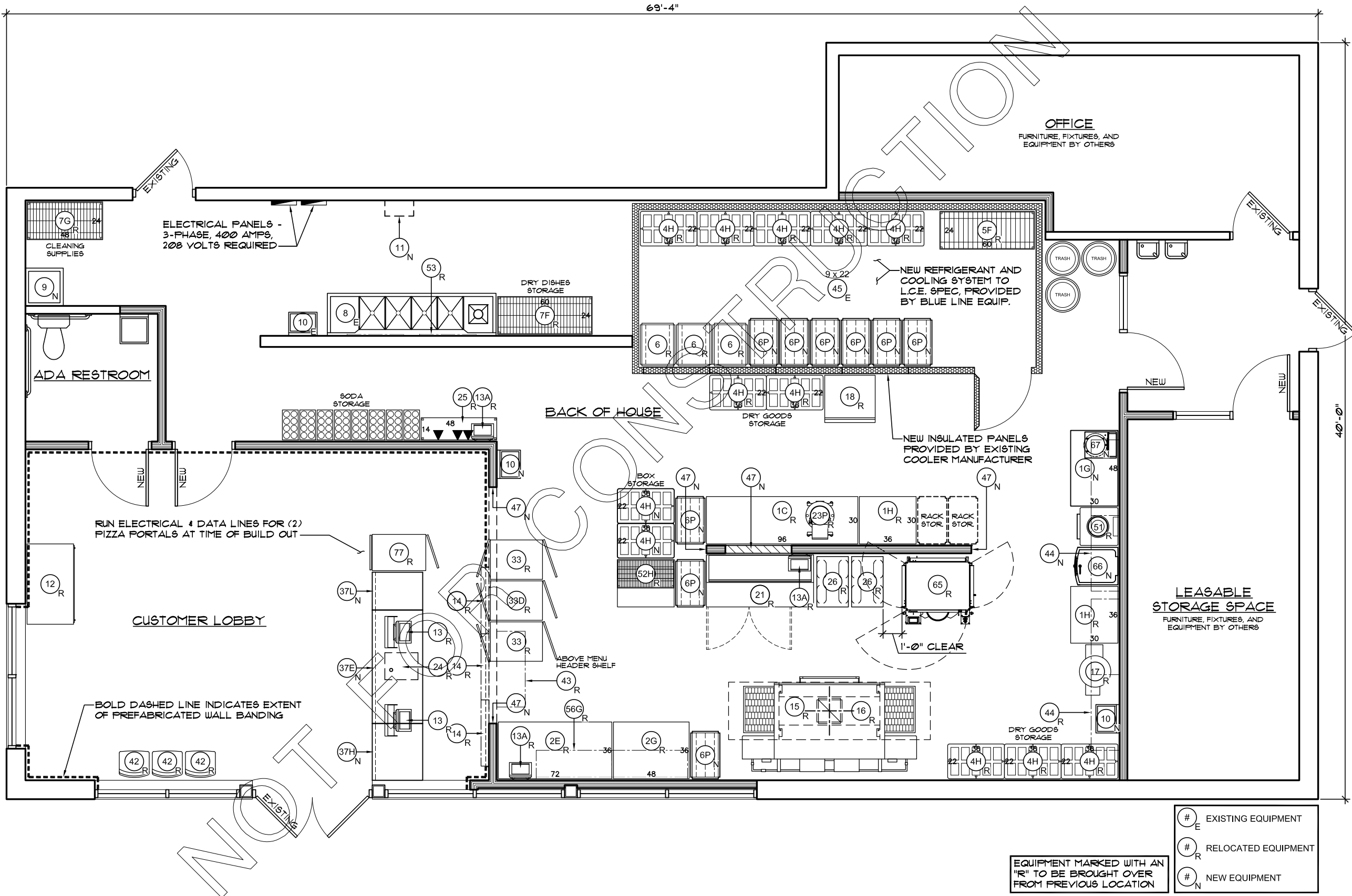
PG 05/11/2022



SITE DATA:

AREA: 148.5' x 284.66' AT WIDEST POINTS = 37,866 SQ. FT.
OR 0.87 ACRES

PARKING SPACES: 9 SHOWN
FINAL COUNT T.B.D. BY LOCAL / STATE CODES



BLUE LINE EQUIPMENT

A. 120" B. 108" C. 96" D. 84" E. 72"

F. 60" G. 48" H. 36" J. 42" K. 30" L. 24"

○ INDICATES EQUIPMENT CALLOUT

#	DESCRIPTION
1C	S.S. WORK TABLE [30" x 96"]
1G	S.S. WORK TABLE [30" x 48"]
1H	S.S. WORK TABLE [30" x 36"]
2E	S.S. LANDING TABLE [36" x 72"]
2G	S.S. LANDING TABLE [36" x 48"]
4H	POLYMER DUNNAGE RACK [22" x 36"]
5F	POLYPROPYLENE RACK [24" x 60"]
6	DOUGH RACKS [22" x 27"]
6P	PAN RACKS [18" x 30"]
7F	SUPER ERECTA WIRE RACK [24" x 60"]
7G	SUPER ERECTA WIRE RACK [24" x 48"]
8	3 COMP. POT SINK W/2 DRAINBOARDS
10	HAND SINK
15	GAS CONVEYOR OVEN [2 DECK BOFI XLT-3270-TS]
16	HOOD SYSTEM [XLT-3270-TS HALTON]
	EXHAUST FAN [VENT TECH VT-DU85HFA-HAL]
	EXHAUST FAN ROOF CURB [XLT 3270-TS VENT TECH INC.]
	TEMPERED SUPPLY FAN [AAON RQ-006-8-V-FB09-352]
	FAN ROOF CURB [XLT-3270-TS AAON]
	VENTILATION INTERLOCK CONTROL PANEL [HALTON]
17	MIXER
18	FREEZER
21	PIZZA RETARDER [68"] W/OVERSHelf
23P	DOUGH PRESS
24	UNDER COUNTER SAFE
25	PHONE STATION [14" x 48"]/SOLID SHELF
26	HOT & READY DOUBLE RACK
33	HEATED HOLDING CABINET
33D	HEATED HOLDING - MERCHANDISER CABINET
37E	6'-0" PRE-FAB FRONT COUNTER
37H	3'-0" PRE-FAB FRONT COUNTER
37L	2'-0" PRE-FAB FRONT COUNTER
42	CUSTOMER WAITING CHAIR
43	SINGLE WALL SHELVING UNIT [18" x 48"]
44	DOUBLE WALL SHELVING UNIT [18" x 48"]
45	9'-0" x 21'-8" x 8'-3" WALK-IN COOLER [CUSTOM, EXISTING]
	SECOND EVAPORATOR & COMPRESSOR
47	4.5" x 9'-0" & 2" x 9'-0" STAINLESS STEEL END CAPS
51	DOUGH ROUNDER
52H	36" BREAD STATION
53	DISHWASHING STATION STORAGE GRID
56G	48" LANDING STATION SHELF & GRID
65	M.I.K.E
66	PAN OILER
67	SPRAY STATION
77	PIZZA PORTAL

EQUIPMENT BY OTHERS

9	MOP SERVICE BASIN [BY CONTRACTOR]
11	TANKLESS GAS WATER HEATER [RINNAI CU1991]
12	REACH-IN SODA COOLER - GDM 45
13	P.O.S.
13A	TOUCH SCREEN
14	LCD MULTIMEDIA MONITOR (42")

1320-0001 RELO EQUIPMENT PLAN - ASHLAND, WI
FOR OWNER REVIEW - NOT FOR CONSTRUCTION

SCALE: 3/16" = 1'-0"

69'-4" x 40'-0"
2,251 SQUARE FT.

PG 06/20/2022
REVISED 06/29/2022



A EXTERIOR COMPOSITE ELEVATION
SCALE: 3/16" = 1'-0"



B EXTERIOR COMPOSITE ELEVATION
SCALE: 3/16" = 1'-0"

1320-0001 RELO EXTERIOR DESIGN - ASHLAND, WI
FOR OWNER REVIEW - NOT FOR CONSTRUCTION

SCALE: 3/16" = 1'-0"

69'-4" x 40'-0"
2,251 SQUARE FT.

PG 06/29/2022



STAFF REPORT

Plan Commission – August 15th, 2022

Agenda Item # 5b: Site Plan review for construction of a 24'x60' storage addition

Applicant: Midland Service

Property Address: 2301 Golf Course Rd.

Parcel No: 201-04809-0000

Zoning District: Regional Commercial (RC) with Approx. 100 Year Flood Boundary Overlay

Staff Contact: Brea Grace & Mandelyn Lyons

Background

Midland Services is requesting Site Plan approval to add a 24'x60' repair garage to their existing building at 2301 Golf Course Road. No work is planned in the existing building except to remodel the existing bathroom for ADA compliance. The site is zoned Regional Commercial and includes the 100 year approximate Flood Boundary Overlay. The existing use, vehicle repair and/or service is a permitted use in this zoning district.

The applicant's original building is 40'x60' with two repair bays and includes a 15'x16' office area. The plans for the building include pouring a new concrete slab and installing a steel addition that will match the existing building. The roof line of the new addition will be a few inches below the original roofline. A new catch basin will be installed in the addition and will connect to existing on-site sanitary sewer lines.

Standards for Review

The City of Ashland's Unified Development Ordinance, Section 781 Section 3.20 Site Plan Approval (all subsections thereof), creates the legal framework to regulate, administer, and enforce the site plan review process for the City of Ashland.

Site Plan Review

The following criteria were used to review the submitted site plan:

1. Consistency with Comprehensive Plan.

The applicant's proposal is consistent with the comprehensive plan. The Future Land Use Plan indicates that the area the Midland building is located should remain a commercial zoning

district. With Midland in an established commercial area it makes sense to complete renovations that will allow them to expand their business and remain an asset to the area.

2. Project Compatibility.

The Regional Commercial district is intended to provide tourists and residents alike a convenient and diverse commercial area. Located right off Sanborn Ave, this business provides an easy to locate semi-repair service and fits well within the zoning district.

3. Site Design

a. Site Organization.

The existing building is located on the north east side of the property and the proposed addition would be constructed on the west side of the building. This addition includes an in floor drain that will flow into the existing sanitary sewer line on the property.

b. Location of Buildings.

The existing building and proposed addition will be located away from the approximate 100 Year Flood Boundary. It should be noted that the flood boundary should be considered for any additional development including site work.

c. Drives, Parking, and Circulation.

• Driveway and Parking.

The existing driveway and parking area are graveled, and there are no plans to pave the drive nor parking area.

• Pedestrian Access.

There are no planned changes to pedestrian access.

a. Grading / Drainage / Stormwater.

- There are no plans for work within the floodplain overlay located onsite. The proposed 24' x 60' building addition (1,440 sq ft) is under the UDO's 10,000 sq ft standard for requiring a detailed stormwater and erosion/sediment control plans. However, silt fencing is proposed between the proposed building addition site and the ravine, which will be a beneficial erosion control measure between the development and the ravine.

b. Utility Services.

No changes to the water utility service is proposed through this project. A new in floor drain / catch basin will be installed in the new service bay and is proposed to connect to existing on-site sanitary sewer line. Field verification of the line location and outlet will be needed and connection to be coordinated with the City's Utility.

c. Fire Prevention.

The Fire Department completed an inspection of the existing building in early August 2022. A few violations were identified most of which were electrical issues and an exit light which was not functioning correctly. A review and update of the building's electrical system is recommended. Outstanding electrical violations (i.e., exit lighting) to be corrected. Review and consider installation of conduit and new power circuit on the ceiling, and relocation of the electrical exterior feed location.

The City requires a Knox Box on all new construction and development projects if the business is not open 24-7. Following final design of the plans, the applicant shall provide a CD copy of the final Building Floor Plan Layout and Utility Plan (in a .dxf format), for

the Fire Department's pre-fire planning of the structure's layout. Such information shall be provided to the Fire Department prior to the issuance of the Occupancy Permit.

d. Views.

The proposed development will not have a detrimental impact on any scenic vistas or view sheds.

e. Environmental Issues.

There are no environmental issues which require additional consideration associated with this project.

f. Landscaping/Screening.

There are no proposed changes to landscaping nor screening.

g. Signs.

There are no new signs proposed within this site plan – however any new signage for the property must be reviewed and a sign permit is required.

h. Lighting.

Details for any new exterior lighting should be submitted to the Planning & Development Department for review prior to installation.

4. Building Design.

The plans for the building include pouring a new concrete slab and installing a steel addition that will match the existing building. The roof line of the new addition will be a few inches below the original roofline.

5. Principles of Sustainability

Site features of this renovation/expansion that address principles of sustainability laid out in the UDO (Section 1.4) include:

3. Reduce dependence on activities that harm life-sustaining eco-systems. In the development and use of land, opportunities to reduce dependence on activities that harm life-sustaining eco-systems may include, but shall not be limited to, the following:

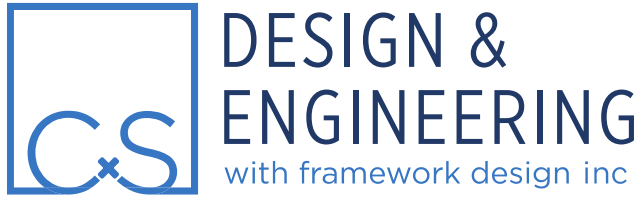
- a. Encourage infill development and redevelopment at appropriate densities and locations to help reduce sprawl and encroachment on nature;*
- b. Promote responsible storm water management and erosion control measures;*
- c. Protect trees, wetlands, floodplains, the waterfront, and other significant natural resources from adverse development; and*
- d. Promote development patterns that respect natural systems.*

The proposed addition expands business at an existing site and has plans to clean-up the site so that existing outside storage adjacent to the ravine is better organized and managed. The proposed development will take measures to development outside the floodplain and provide appropriate erosion control measures. The growth of a local business will also be a benefit to the community from an economic and jobs standpoint, and growth in tax base.

Review Recommendation

Staff recommends APPROVAL of the proposed Site Plan for the service bay addition and associated site changes at 2301 Golf Course Rd., subject to the following conditions:

- Review and update the building's electrical system. Outstanding electrical violations (i.e., exit lighting) to be corrected. Review and consider installation of conduit and new power circuit on the ceiling, and relocation of the electrical exterior feed location.
- The actual path of the sanitary sewer line to be field verified and connection to be coordinated with Brian Ledin, Wastewater Utility staff.
- Knox Box to be provided for building if the business is not open 24-7.
- Following final design of the plans, the applicant shall provide a CD copy of the final Building Floor Plan Layout and Utility Plan (in a .dxf format), for the Fire Department's pre-fire planning of the structure's layout.
- The street number of the location shall be on the front of the primary structure, visible from the Golf Course Road roadway.
- Details for new exterior lighting including to be submitted to City's Planning & Development Department for review of compliance with UDO requirements (i.e., downcast and fully screened), and approved prior to installation.
- Any new signage or signage replacements require a Sign Permit to be obtained through the Planning & Development Department to ensure it conforms to UDO standards.
- Construction plans to be approved by the State of Wisconsin and a City of Ashland Building Permit to be obtained prior to commencement of construction.



2023 6th Street West, Ashland, WI 54806

Phone: (715) 682-0330

www.csdesignengineering.com

August 9, 2022

Mandelyn Lyons
City of Ashland
601 Main Street West
Ashland, WI 54806

RE: Proposed Midland Services Repair Garage Addition located at 2301 Golf Course Road - Site Plan Review

Dear Mandy,

Attached please find the Site Plan Review Application & Checklist, and Plan Set for the proposed 24'x60' repair garage addition to the existing repair garage. The project is located at 2301 Golf Course Road. The property is currently owned by Midland Services. The existing building is building is 2,592 square feet and no work will be completed in the existing building except to remodel the existing bathroom into an ADA compliant bathroom. The addition will have steel siding and roofing and the colors will match the existing building. There only site work to be completed will be that which is associated with the new addition. However, the existing property will be cleaned up and organized and any unused tanks will be removed from the site.

The new addition will have one (1) interior garage catch basin that will tie into the existing sewer lateral that runs from the building to the corner of Sanborn Avenue and Golf Course Road. Existing utilities will remain unchanged, with the exception of the electrical meter being moved to the west wall of the new addition. No new exterior lighting is to be installed.

Please review the attached documents at your earliest convenience and place as an agenda item on the next appropriate Planning Commission meeting. If there are any questions or additional information required, please let us know.

Sincerely,

A handwritten signature in black ink, appearing to read 'Trevor Provost'.

Trevor Provost, Building Designer
C&S Design & Engineering, Inc.

Cc:

Chase Olby, Midland Services

PROPOSED STORAGE ADDITION FOR:

MIDLAND SERVICES, INC.

2301 GOLF COURSE ROAD
ASHLAND, WI 54806

PROJECT NUMBER: 22-3687

PROJECT TEAM

OWNER:	MIDLAND SERVICES, INC. 220 3RD AVENUE WEST ASHLAND, WI 54806
ARCHITECT:	C&S DESIGN & ENGINEERING, INC. 2023 6th STREET WEST ASHLAND, WI 54806 P: 715-682-0330
STRUCTURAL ENGINEER:	C&S DESIGN & ENGINEERING, INC. 2023 6th STREET WEST ASHLAND, WI 54806 P: 715-682-0330
CONSULTANT:	N/A
PLUMBING DESIGNER:	N/A
HVAC ENGINEER:	N/A
ELECTRICAL ENGINEER:	N/A

SYMBOLS

	KEY NOTE
	ROOF SLOPE & DIRECTION
	WINDOW TAG
	DOOR TAG
	SLOPE OF SLAB
	INTERIOR ELEVATION TAG
	STEP/ELEVATION CHANGE
	ELEVATION MARKER
	WALL TYPE (SEE PLAN OR LEGEND FOR ADD. INFO)
	ROOF SLOPE
	GRID LINE
	BUILDING ELEVATION
	BUILDING SECTION
	WALL SECTION
	DETAIL/ENLARGED PLAN CALLOUT
	DETAIL CALLOUT

PROJECT DATA

PROJECT NAME:	MIDLAND SERVICES, INC.
PROJECT ADDRESS:	2301 GOLF COURSE ROAD ASHLAND, WI 54806
OWNER:	MIDLAND SERVICES, INC.
PARCEL NUMBERS:	201-04809-0000
LEGAL DESCRIPTION:	PART OF THE SE 1/4 SE 1/4 DESC. IN DOC #351919 SECTION 6, T47N, R4W, CITY OF ASHLAND, ASHLAND COUNTY, WISCONSIN
LAND AREA:	2.210 ACRES
DNR STORMWATER PERMIT REQUIRED:	OVER 1 ACRE DISTURBED YES ☐ NO ☒
ZONING DISTRICT:	G2 - COMMERCIAL
GOVERNING CODES:	2015 INTL BUILDING CODE 2015 INTL ENERGY CONSERVATION CODE 2015 INTL FUEL GAS CODE 2015 INTL MECHANICAL CODE ANSI A117.1-2009 ACCESSIBILITY CODE
OCCUPANCY GROUP:	S-1, B
CONST TYPE:	IIB
BLD GROSS AREA:	B = 240 SF S-1 = 3,840 SF TOTAL = 4,080 SF
PROJECT NET AREA:	S-1 = 1,440 SF
BLD. VOLUME:	OVER 50,000 CF YES ☒ NO ☐
# OF STORIES:	1 STORY
ALLOWABLE AREA:	17,500 SF / STORY
ALLOWED STORIES:	1 STORY
OCC. SEPARATION:	NOT REQUIRED
REQ SEPARATION:	N/A
SPRINKLERED:	YES ☐ NO ☒
FIRE ALARM SYS:	YES ☐ NO ☒
OCCUPANT LOAD:	(B) = 100 GROSS SF / OCC 240 / 100 = 2.4 OCCUPANTS S-1 = 200 GROSS SF / OCC 3,840 / 200 = 19.2 OCCUPANTS 15 TOTAL OCCUPANTS
EXITS REQ'D:	(B) = 2 EXITS FOR OCC LOAD > 49 (S-1) = 1 EXIT FOR OCC LOAD < 29
EXIT TRAVEL MAX:	(PER IBC TABLE 1017.2) = 200 FEET
PLUMBING FIXTURES:	B = 146 OCCUPANTS (73 MALE/FEMALE) S-2 = 28 OCCUPANTS (13 MALE/FEMALE) TOTAL = 88 MALE/88 FEMALE
W.C.:	= 1 PER x FEMALE, 1 PER x MALE
LAV.:	= 2 FEMALE & 2 MALE
D.F.:	= 1 PER 100 FEMALE / MALE
	= 1 PER 500 OCC
	= 1 TOTAL
PARKING:	N/A
STRUCTURAL LOADS:	BALANCED SNOW LOAD: 41.6 psf UNBALANCED SNOW LOAD: 79.7 psf ROOF LOAD (DESIGN USE): 80 psf FLOOR LIVE LOAD: 125 psf
WIND LOAD (HORIZONTAL):	21 psf
WIND LOAD (UPLIFT INTERIOR):	20 psf
WIND LOAD (UPLIFT AT EAVES):	28 psf
WIND EXPOSURE:	C FULLY EXPOSED
SNOW EXPOSURE FACTOR C _s :	0.9
SNOW IMPORTANCE FACTOR I:	1.0
THERMAL FACTOR C _t :	1.1
SOIL BEARING CAPACITY:	2,000 PSF (CLAY SAND FILL)
CONCRETE COMP. STRENGTH:	4,000 PSI @ 28 DAYS
REINFORCING STEEL:	60,000 PSI TENSILE (GRADE 60)

PROJECT DESCRIPTION

A 24x80' STORAGE ADDITION WILL BE ADDED TO THE WEST SIDE OF THE EXISTING STEEL REPAIR GARAGE.

GENERAL NOTES

- THE CONTRACTORS ARE TO KEEP A SET OF STATE APPROVED PLANS AT THE JOB SITE AT ALL TIMES.
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE CONTRACTORS BEFORE ANY WORK COMMENCES.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE STATE BUILDING, PLUMBING, ELECTRICAL, AND HVAC CODE CURRENTLY IN EFFECT.
- ALL STATE AND LOCAL BUILDING PERMITS WILL BE OBTAINED BY THE OWNER AND MUST BE POSTED AT THE JOB SITE BY THE CONTRACTOR, U.N.O.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE, OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE DESIGN PROFESSIONAL FROM ANY CLAIM OR SUIT WHATSOEVER ARISING FROM, OR ALLEGED TO HAVE ARISEN FROM, THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
- THE WORK UNDER THE CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC. FOR GENERAL CONSTRUCTION, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL CONSTRUCTION, AS APPLICABLE, FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL PRODUCTS AND MANUFACTURERS OF MATERIALS/FINISHES/ETC PER ARCHITECTURAL DRAWINGS OR SPECIFICATION. SUBSTITUTIONS OF EQUAL QUALITY AND PERFORMANCE PERMITTED AS APPROVED BY DESIGN PROFESSIONAL IN CHARGE.
- ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSTALLED AS PER MANUF. SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS, LOCATED PER PLAN.
- THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE.
- THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER, OR CHARGE OF, AND WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCE OR PROCEDURES IN REGARDS TO THE MANNER IN WHICH THE STRUCTURE IS BUILT.
- ALL PROPERTY LINES ARE ASSUMED UNLESS A CERTIFIED SURVEY MAP HAS BEEN PROVIDED FOR THE PROPERTY.
- ALL BUILDING SETBACKS ARE MEASURED FROM THE EAVE LINE OF THE BUILDING.
- THE CONTRACTOR IS TO HAVE ALL THE UTILITY LINES VERIFIED BY THE APPROPRIATE UTILITY LOCATING SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE A LOCATE DONE PRIOR TO BREAKING OF GROUND.
- THE CONTRACTOR SHALL BE AWARE OF ALL PRIVATE UTILITIES LOCATIONS SUCH AS WATER, SEWER, AND GAS.
- ALL DAMAGE TO EXISTING DRIVEWAYS, ROADWAYS, STREETS, CONCRETE SIDEWALKS, LAWNS, ETC. MUST BE RESTORED TO THE CONDITION THEY WERE BEFORE CONSTRUCTION COMMENCED.
- PROVIDE A MINIMUM OF 2% DRAINAGE SLOPE AWAY FROM THE ENTIRE PERIMETER OF THE BUILDING FOR THE FIRST 20 FEET, U.N.O.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTING BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.
- THE GENERAL CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK; JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THAT THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMears OR OVERLAPS; INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.
- ALL EXISTING BUILDING DIMENSIONS MUST BE FIELD VERIFIED.
- ROOM SIZES ARE PROVIDED FOR GENERAL REFERENCE ONLY. REFER TO DIMENSION FOR EXACT FRAMING.
- SEE SITE PLAN FOR NOTES AND DIMENSIONS NOT SHOWN.
- SEE ELEVATIONS, INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR MATERIALS NOT CALLED OUT.
- IF APPLICABLE, THE FIRE RATING OF WALLS AND CEILINGS MUST BE MAINTAINED BEHIND ALL INSTALLED FIXTURES (BATH UNITS, VANITIES, CEILING FANS, ELECTRICAL BOXES, EXHAUST FANS, ETC).
- THE CONTRACTOR SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT-INS AND FINISHES.
- THE CONTRACTOR SHALL PROVIDE ALL OPERATING AND MAINTENANCE DATA AND ALL MANUFACTURER'S, INSTALLERS AND APPLICATOR'S GUARANTEES, BONDS, WARRANTIES AND SERVICE INSTRUCTIONS.
- CONFIRM WINDOW OR DOOR NUMBER WITH MFR. AND SITE CONDITIONS. ALL OPERABLE WINDOWS AND DOORS SHALL HAVE REMOVABLE SCREENS.
- CONTRACTOR TO VERIFY R.O. REQUIREMENTS FOR WINDOWS & EXTERIOR DOORS WITH WINDOW MANUFACTURER PRIOR TO ORDERING.
- REFERENCE PLANS, ELEVATIONS AND/OR BUILDING SECTIONS FOR WINDOW OPERATIONS AND DIRECTION OF DOOR SWINGS.
- REFER TO ENGINEERED TRUSS DRAWINGS, IF APPLICABLE, FOR PLACEMENT OF TRUSS COMPONENTS. CONTRACTOR IS TO FIELD VERIFY ALL TRUSS DIMENSIONS BEFORE PRODUCTION OF TRUSSES.
- ALL GAS PIPING INSTALLATIONS SHALL COMPLY WITH JURISDICTIONAL GAS CODES.
- ALL DOOR 3" FROM NEAREST ADJ. STUD WALL, U.N.O.

INDEX TO DRAWINGS

ATS	TITLE SHEET
C100	SITE PLAN
A100	FLOOR PLAN
A200	ELEVATIONS
A300	SECTION
P100	PLUMBING
M100	MECHANICAL
E100	ELECTRICAL

PROPOSED STORAGE ADDITION FOR:

MIDLAND SERVICES, INC.

2301 GOLF COURSE ROAD, ASHLAND, WI 54806

TITLE PAGE



2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

DESIGNED: **L.D.**

DRAWN: **A.B.C.**

SCALE: **AS NOTED**

DATE: **JULY 2022**

PROJECT NO.
22-3687

REVISIONS:

APPROVED:

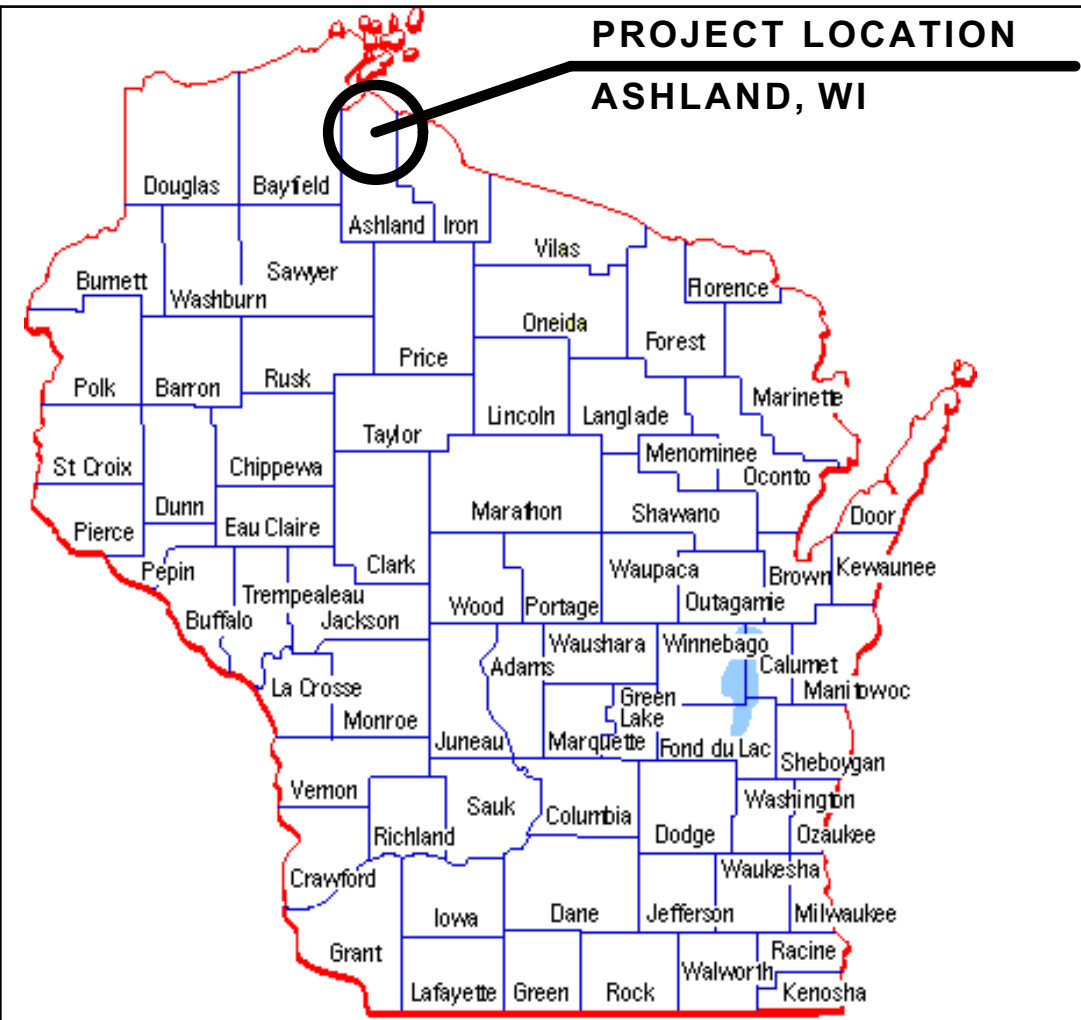
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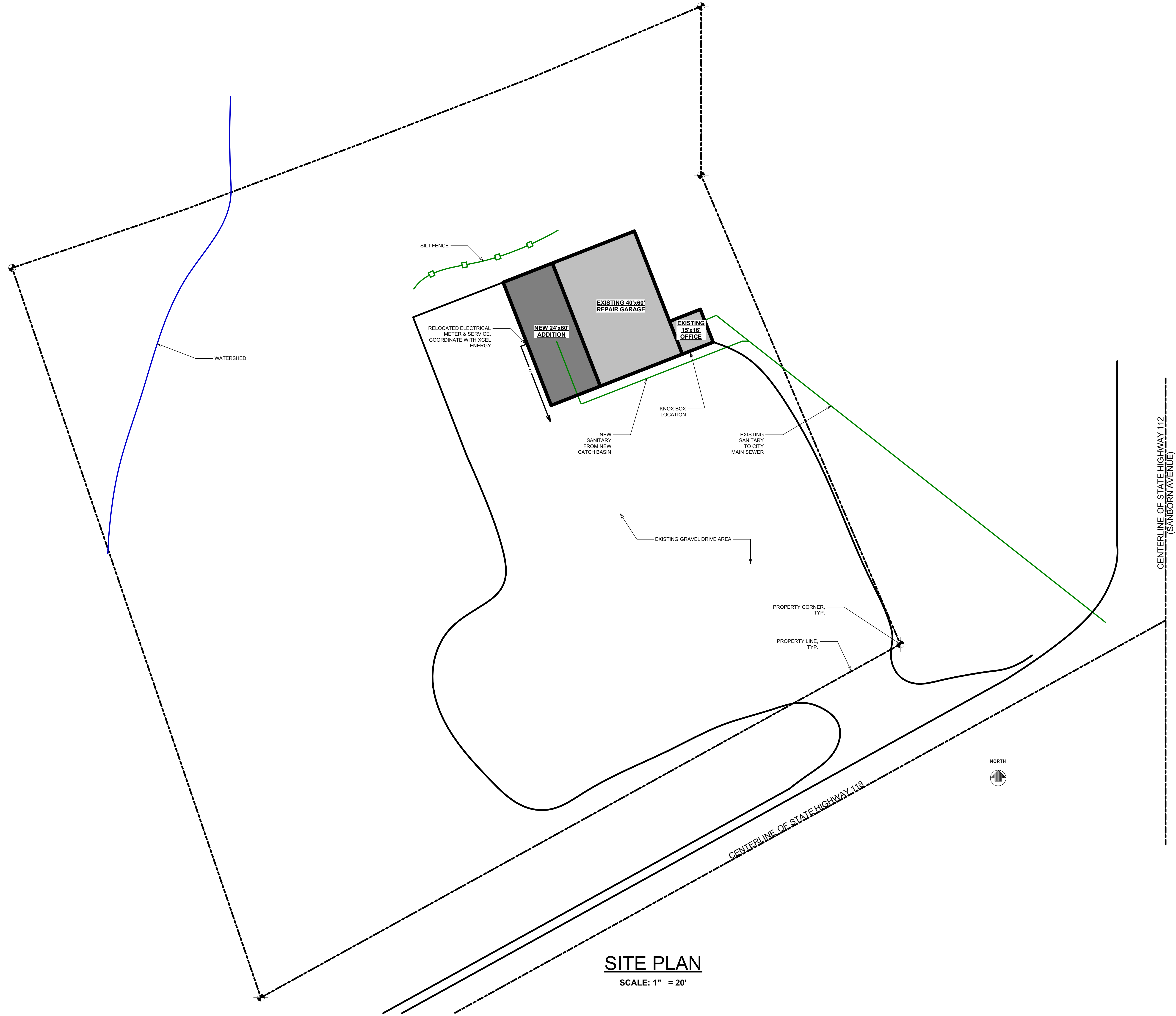
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ATS

STANDARD ABBREVIATIONS

ABOVE FINISH FLOOR ACUSTICAL CEILING TILE ADDITIONAL ADJUSTABLE ALIGN WITH BELOW ALTERNATE ALUMINUM AMERICAN DISABILITIES ACT APPROXIMATELY	A.F.F. ACT. ADD. ADJ. A.W.B. ALT. ALLUM. ADA APPROX. BLK. BLKG. BD. BOT. B.O. B.C. BLDG. B.U.R. CPT. CAST-IN-PLACE CAST IRON CATCH BASIN CEILING CEMENT CENTER LINE CERAMIC TILE CLEARANCE CLOSET COL. CONC. CONCRETE CONCRETE MASONRY UNIT CONSTRUCTION CONTINUOUS	A.F.F. C.J. ADD. ADJ. A.W.B. ALT. ALLUM. ADA APPROX. BLK. BLKG. BD. BOT. B.O. B.C. BLDG. B.U.R. CPT. CAST-IN-PLACE CAST IRON CATCH BASIN CEILING CEMENT CL. C.T. CLR. CLO. COL. CONC. CONCRETE CONCRETE MASONRY UNIT CONSTRUCTION CONT.	CONTRACTOR CONTROL JOINT COURSES CUBIC FOOT (AGE) DETAIL DIAMETER DIMENSION DISPENSER DOWN DOWNSPOUT DRAWING (S) DRINKING FOUNTAIN EACH ELECTRICAL ELEVATION ENCLOSURE EQUAL EQUIPMENT EXHAUST EXISTING EXPANSION EXPANSION JOINT EXPOSED EXT. FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF MASONRY FEET FINISH FINISH FLOOR ELEVATION FINISH GRADE FINISH SURFACE	CONTR. C.J. CRS. CF DET. DIM. DISP DR DN. DS. DWG. (S) D.F. EA. ELEC. ELEV. EL. ENCL. EQ. EQUIP. EXH. EXIST. EXP. EXT. F.O.C. F.O.F. F.O.M. F.O.P. FIN. F.F.E. F.S.	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE RATED FIX. FLASHING FLOOR FLOORING FLOOR PLAN FOOTING FOUNDATION FLUORESCENT GALVANIZED GAUGE GENERAL CONTRACTOR GLASS GYPSUM GYPSUM WALLBOARD HARDWARE HEATER HEATING, VENTING, AND AIR CONDITIONING HEIGHT HOLLOW CORE HOLLOW METAL HORIZONTAL HOUR	F.E. F.E.C. FR. FIX. FLASHING FLR. FLRG. F.P. FTG. FDNT. FLUOR. GALV. GA. G.C. GL. GYPSUM GYPSUM WALLBOARD H.D.W. HTR. HVAC HGT. H.P. H.C. H.M. HORIZ. HR.	JOINT JOIST LAMINATED LAVATORY LEVEL LIGHTING LINE LINOLEUM LONG LEG HORIZONTAL LONG LEG HORIZONTAL LOW POINT MANUFACTURER MASONRY MASONRY OPENING MATERIAL MAXIMUM MECHANICAL MEMBRANE METAL MINIMUM MISCELLANEOUS MOUNTED NON-COMBUSTIBLE NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE NUMBER	JT. JOIST LAM. LAV. LVL. LGT. LN. LINO. LLH LLV LP. MFR. MAS. M.O. MAT. MAX. MECHANICAL MEMB. METL. MIN. MISC. MTO. NC. N.A. N.I.C. N.T.S. NO.	PAINT PAINTED PANEL PARTITION PERFORATED PLATE PL. POLYVINYL CHLORIDE POUNDS PER SQUARE INCH PRESERVATIVE TREATED PROPERTY QUANTITY QUARRY TILE R. RADIUS RECEPTACLE REINFORCING REQUIRED RESILIENT FLOORING RETURN AIR REVISION R. ROOM ROUGH OPENING RUBBER SECTION SHT. SIMILAR SOLID CORE SPECIFICATIONS SQ. SQUARE FOOT (AGE) STAINLESS STEEL STANDARD	PT. PTD. PNL. PTN. PERF. PLAM. PL. PVC PSI P.T. PROP. QTY. Q.T. R. RECEPTACLE REINFORCING RECOED REIN. R.A. REV. R. R.D. RM. R.O. RUBR. SEC. SHT. SIM. S.C. SPEC. SQ. SF SSTL. STD.	STEEL STORAGE STREET STRUCTURAL SUSPEND (ED) TELEPHONE THERMOPLASTIC POLYOLEFIN THICKNESS T.O. TOP OF CONCRETE TOP OF FOOTING TOP OF RAIL TOP OF STEEL TOP OF WALL TREAD TREATED TRENCH DRAIN TYPICAL UNDERWRITERS LABORATORIES UNLESS NOTED OTHERWISE VINYL COMPOSITION TILE VINYL WALL COVERING	STL. STOR. ST. STRT STRT SUSP. (D) TEL. TPO THK. T.O. T.O.C. T.O.F. T.O.R. T.O.S. T.O.W. T. TRT T.D. TYP. U.L. U.N.O. V.P. V.I.F. VERT. VCT. VWC.
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SITE PLAN
SCALE: 1" = 20'

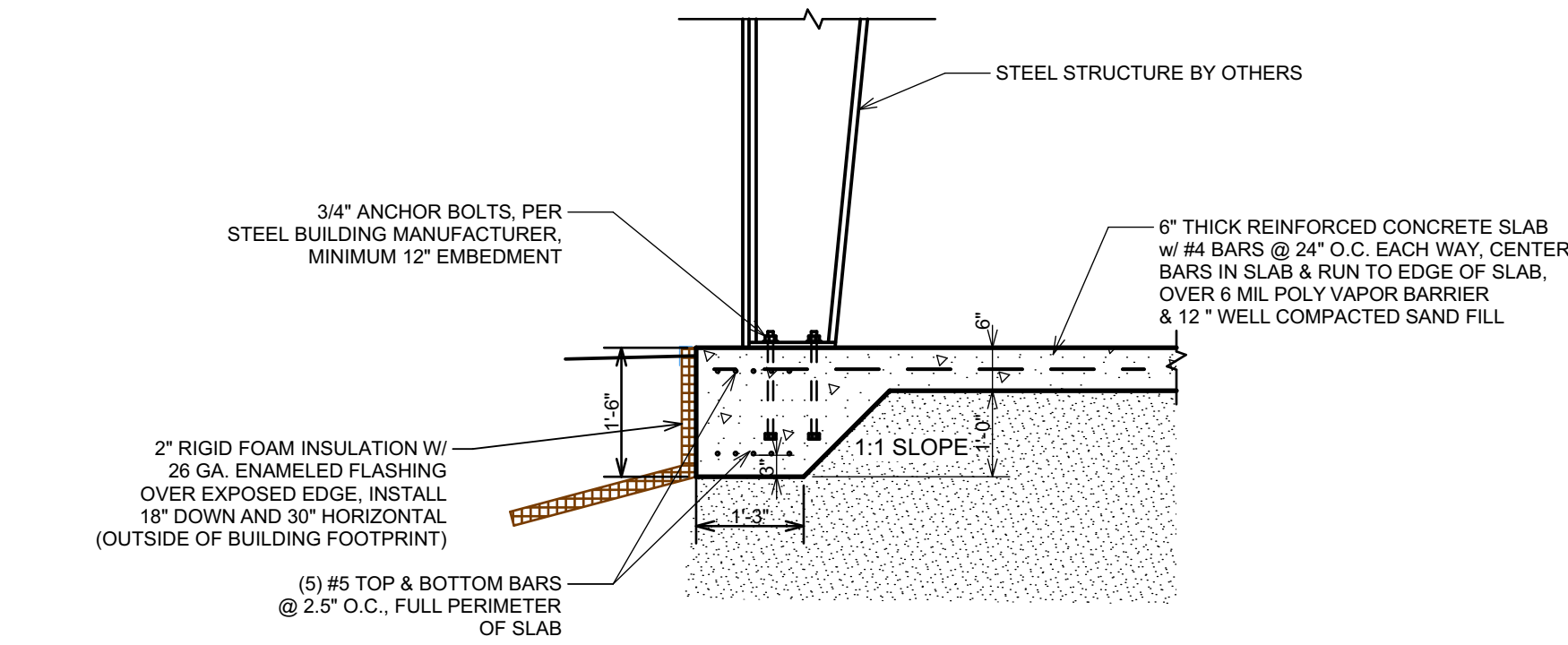
PROPOSED STORAGE ADDITION FOR:	
MIDLAND SERVICES, INC.	
2301 GOLF COURSE ROAD, ASHLAND, WI 54806	
SITE PLAN	

 DESIGN & ENGINEERING with framework design inc	DESIGNED:	L.D.
	DRAWN:	A.B.C.
	SCALE:	AS NOTED
	DATE:	JULY 2022
	PROJECT NO.	22-3687

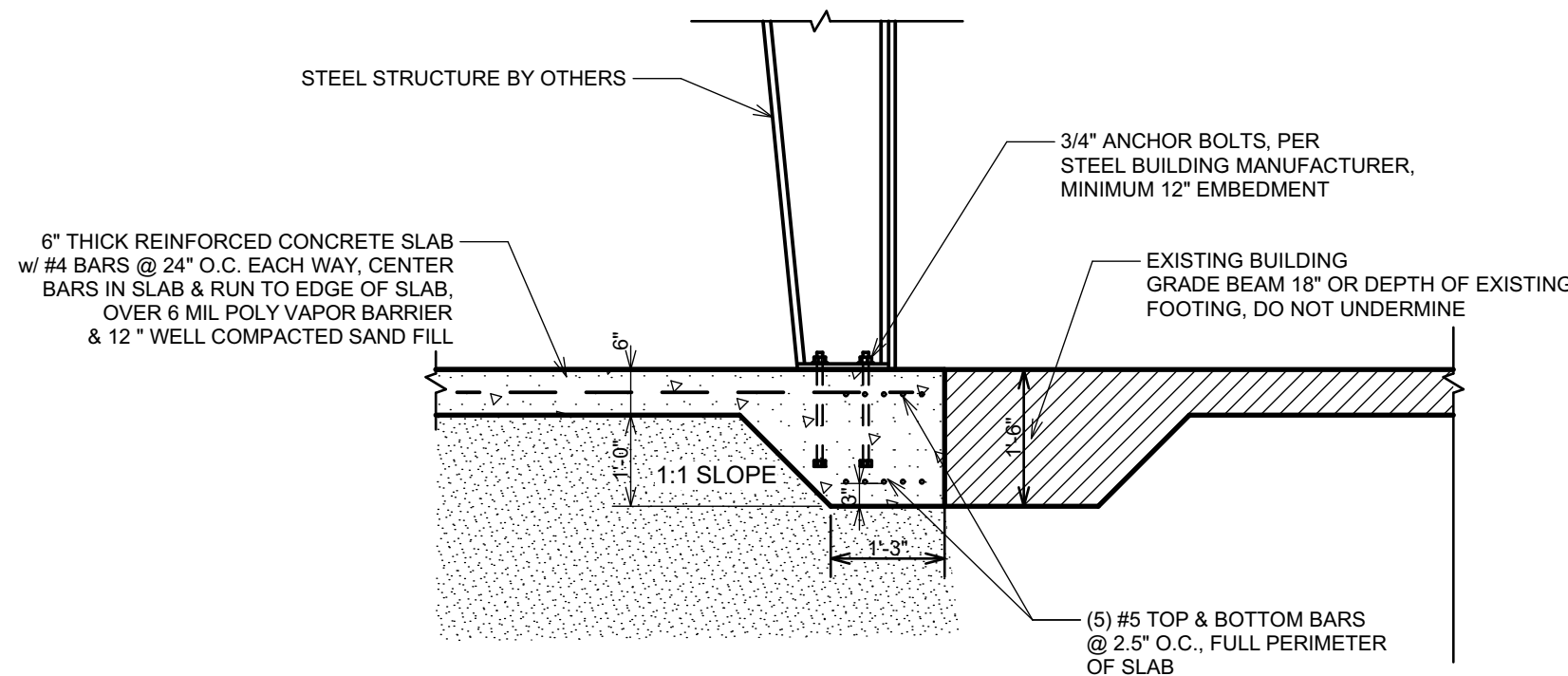
REVISIONS:

APPROVED:
NOT FOR CONSTRUCTION OR FINAL PRICING

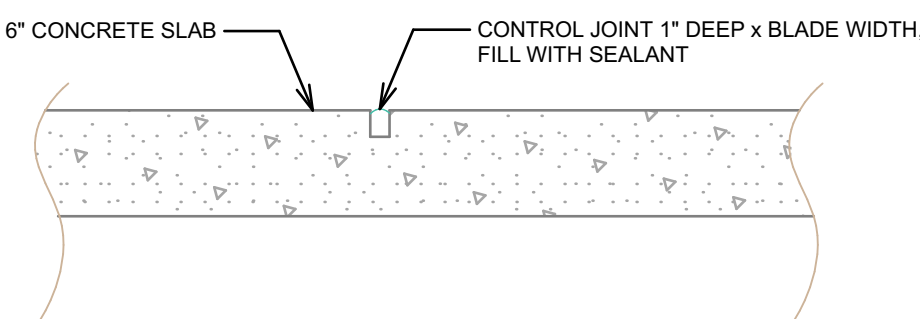
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C100



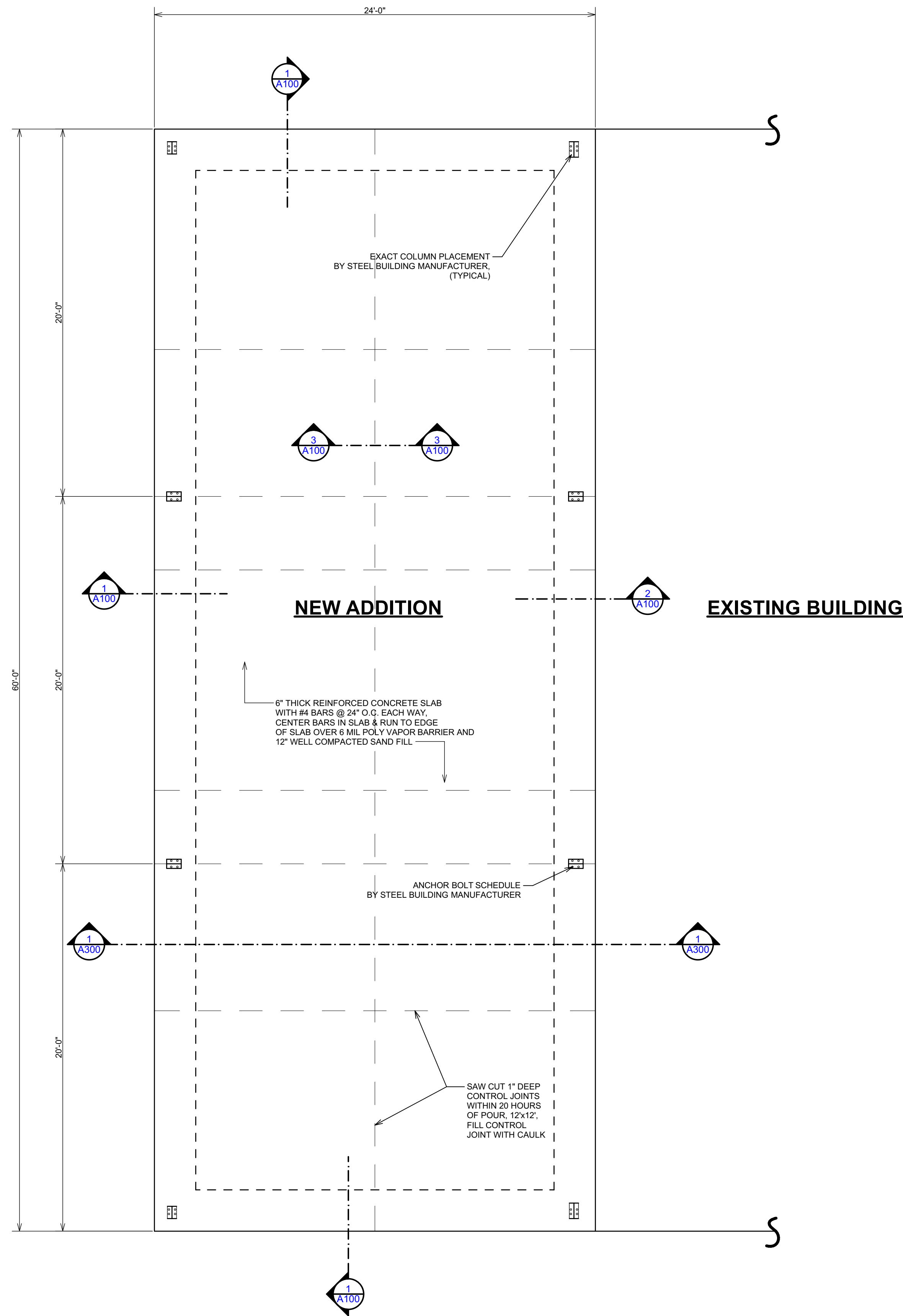
1 FOUNDATION DETAIL
A100 SCALE: 1/2" = 1'-0"



2 FOUNDATION DETAIL
A100 SCALE: 1/2" = 1'-0"



3 CONTROL JOINT DETAIL
A100 SCALE: 1/2" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

PROPOSED STORAGE ADDITION FOR:

MIDLAND SERVICES, INC.
2301 GOLF COURSE ROAD, ASHLAND, WI 54806

FOUNDATION PLAN & DETAILS

DESIGN & ENGINEERING
with framework design inc

CS

2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

DESIGNED:	L.D.
DRAWN:	A.B.C.
SCALE:	AS NOTED
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REVISIONS:

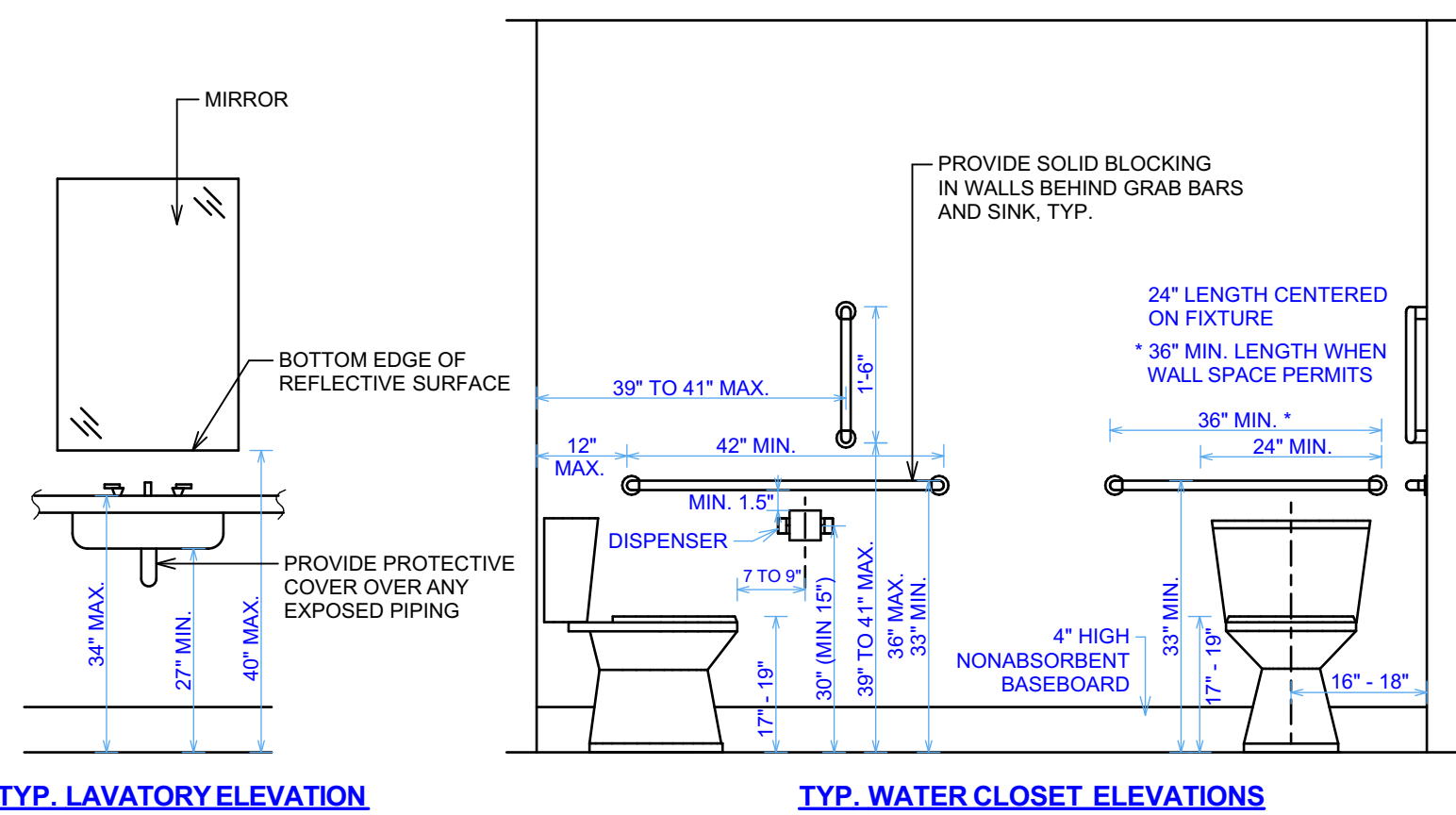
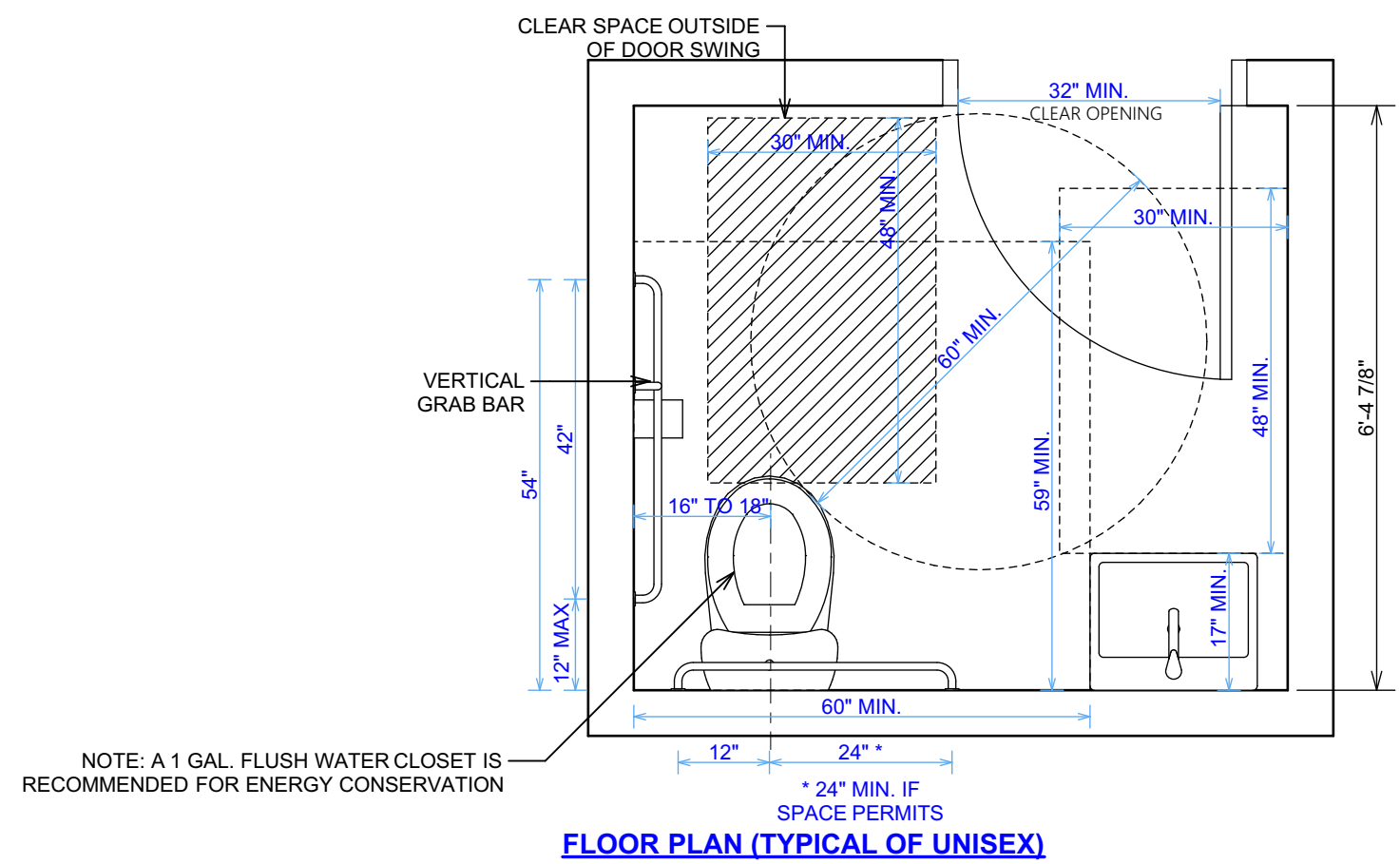
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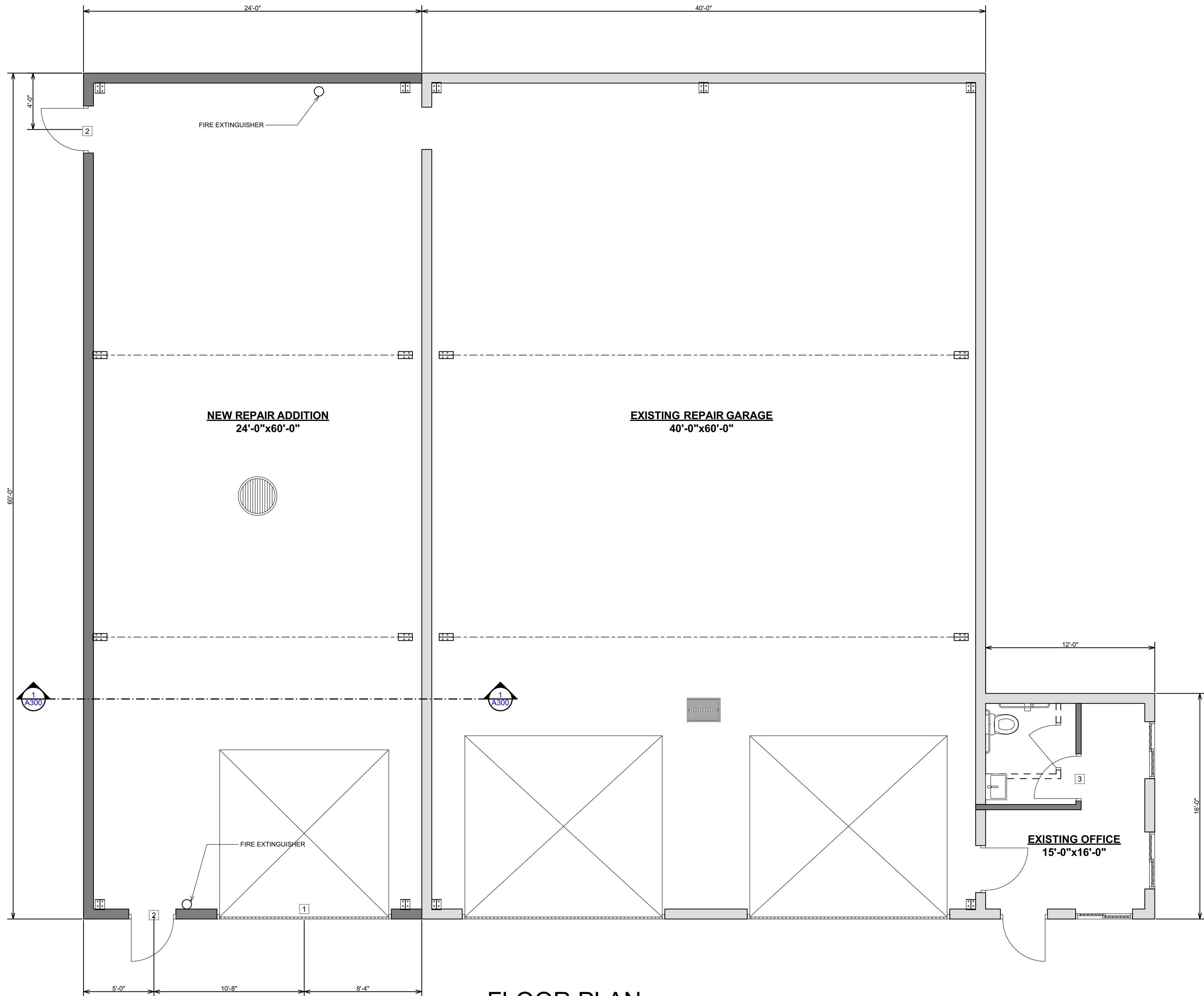
A100

DOOR SCHEDULE						
SYMBOL	DOOR TYPE	SIZE		FRAME TYPE	DOOR HEADER	HARDWARE LOCK FUNCTION
		W	H			
[1]	STEEL OVERHEAD GARAGE DOOR	12'-0"	12'-0"		N/A	W/ OPERATOR AND INTERIOR WALL MOUNTED CONTROLS
[2]	INSULATED STEEL	3'-0"	7'-0"	HOLLOW METAL	N/A	w/ CLOSER AND WEATHERSTRIPPING
[3]	PREHUNG WOOD	3'-0"	6'-8"	PREHUNG WOOD		PRIVACY LOCKSET



1 ACCESSIBLE RESTROOM DETAILS

SCALE: 1/2" = 1'-0"



FLOOR PLAN

SCALE: 1/4" = 1'-0"

NORTH

PROPOSED STORAGE ADDITION FOR:
MIDLAND SERVICES, INC.

22301 GOLF COURSE ROAD, ASHLAND, WI 54806

FLOOR PLAN



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DESIGNED: **L.D.**

DRAWN: **A.B.C.**

SCALE: **AS NOTED**

DATE: **JULY 2022**

PROJECT NO.

22-3687

REVISIONS

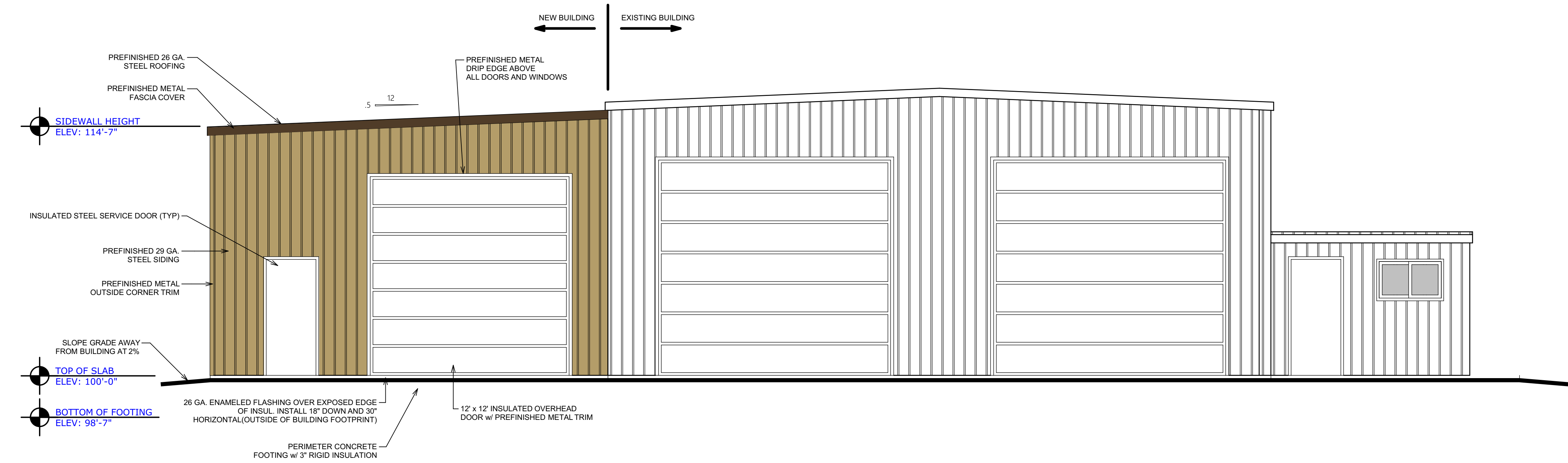
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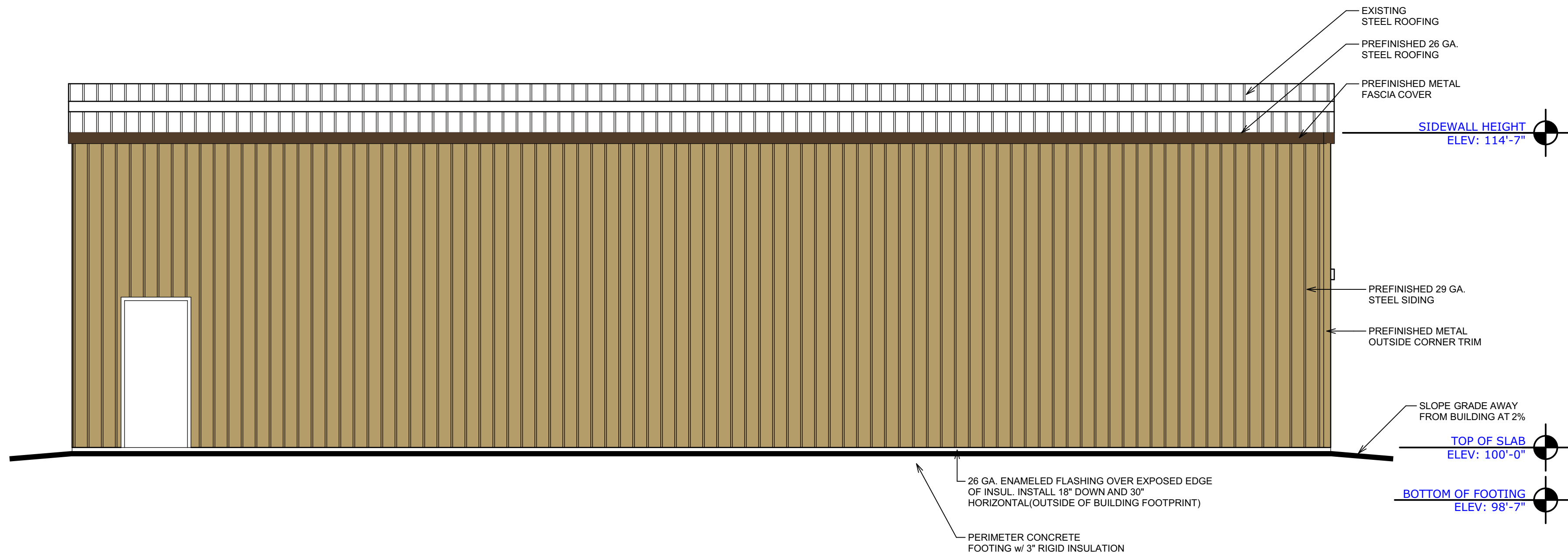
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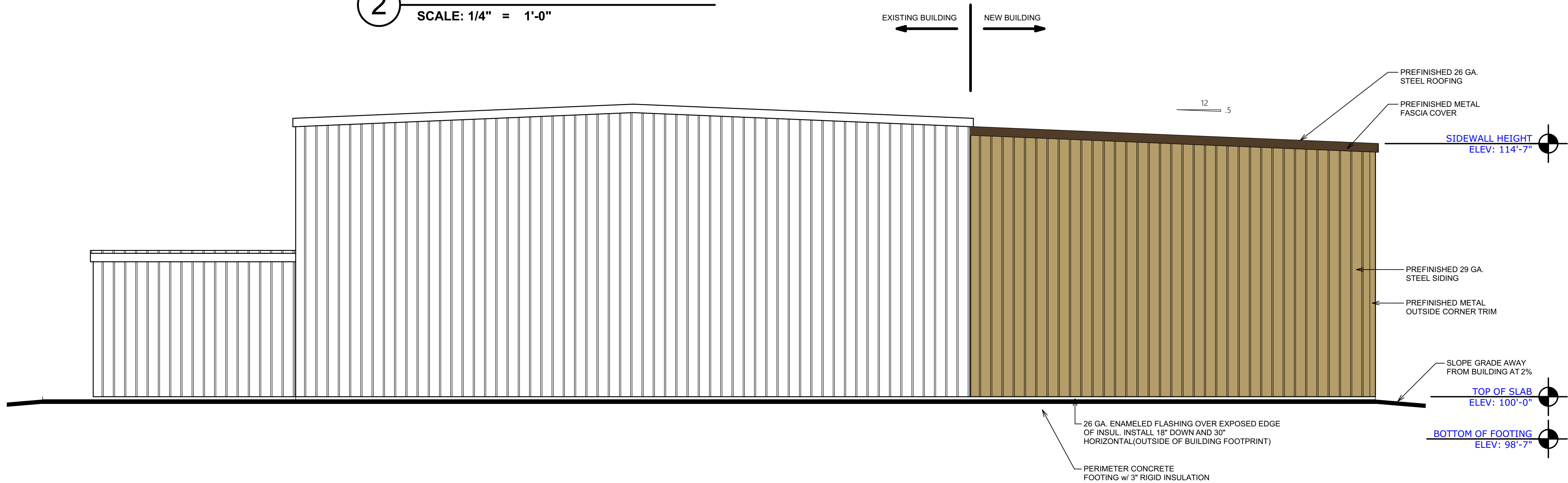
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1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED STORAGE ADDITION FOR:
MIDLAND SERVICES, INC.
2301 GOLF COURSE ROAD, ASHLAND, WI 54806

ELEVATIONS

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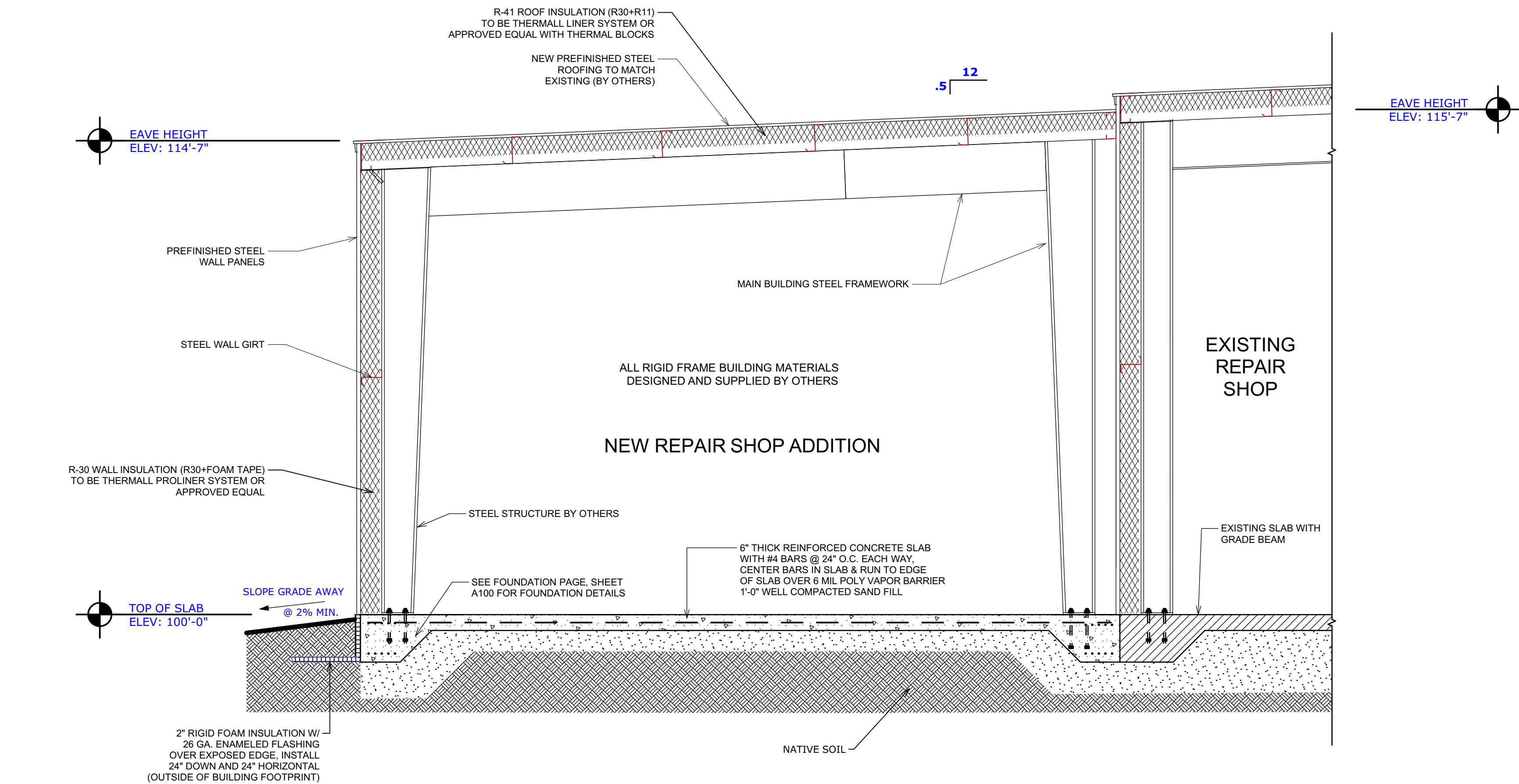
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A200



1 CROSS SECTION
SCALE: 3/8" = 1'-0"

PROPOSED STORAGE ADDITION FOR:

MIDLAND SERVICES, INC.

2301 GOLF COURSE ROAD, ASHLAND, WI 54806

CROSS SECTION

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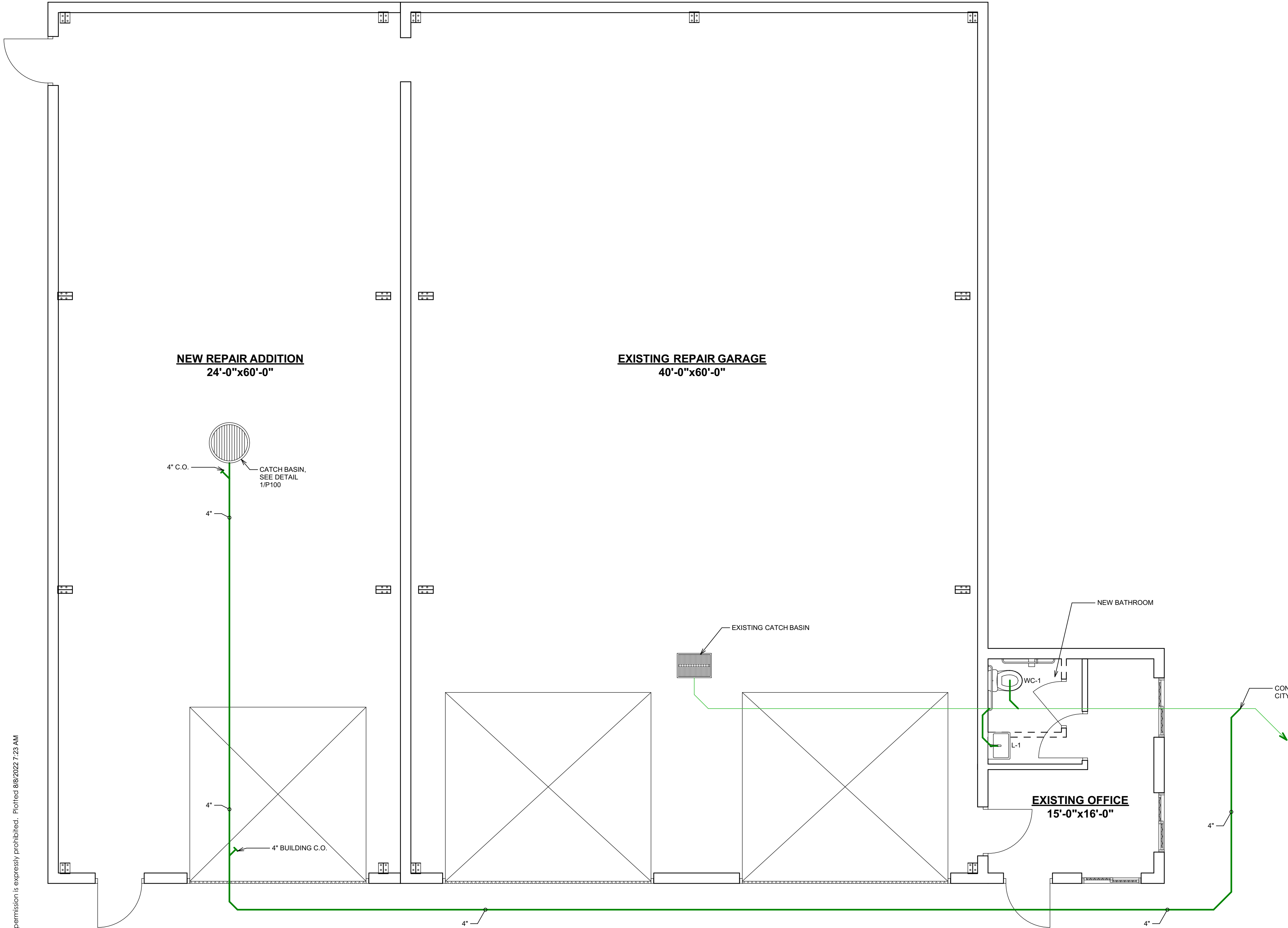
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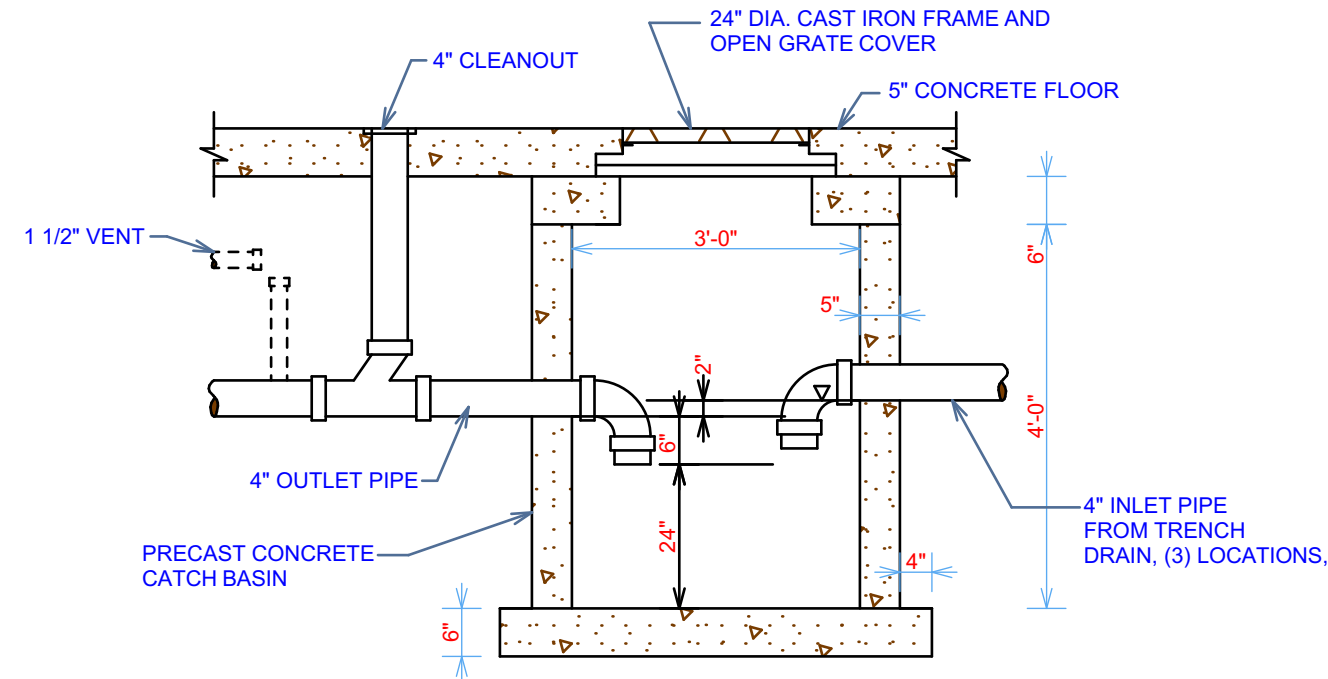
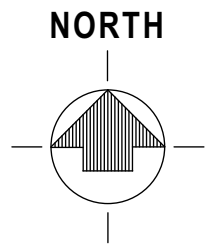
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A300



PLUMBING PLAN

SCALE: 1/4" = 1'-0"



CATCH BASIN DETAIL

NOT TO SCALE

PLUMBING LEGEND

- COLD WATER
- HOT WATER
- SHUT OFF VALVE
- UNION
- WASTE LINE
- VENT LINE
- 3" VENT STACK THRU ROOF
- FIXTURE DRAIN
- VERTICAL VENT
- FLOOR OR CEILING PENETRATION
- BALL VALVE
- c.o. > CLEAN OUT

PLUMBING NOTES

- EACH FIXTURE IS TO HAVE A HOT & COLD SHUTOFF VALVE.
- H.C. - HANDICAP ACCESSIBLE.
- N.I.C. - NOT IN CONTRACT.
- V.S.T.R. - VENT STACK THRU ROOF.
- ALL FIXTURES AND FLOOR DRAINS ARE TO BE PROVIDED WITH A TRAP AND BE PROPERLY VENTED.
- ALL PLUMBING TO BE INSTALLED IN ACCORDANCE WITH STATE OF WISCONSIN PLUMBING CODE.

PLUMBING FIXTURE SCHEDULE

SYM	TYPE OF FIXTURE	QTY.	CATALOG NO.	DFU	TOTAL	WSFU	TOTAL	REMARKS
WC-1	H/C WATER CLOSET	1	KOHLER "HIGHLINE" K-5481	6	6	3	3	PROVIDE BEMIS 1655-SS/C OPEN FRONT SEAT; 16 1/2" BOWL HEIGHT; 1.28 gpf
L-1	H/C WALL-HUNG LAVATORY	4	KOHLER "KINGSTON" MODEL K-2005	1	1	1	1	PROVIDE BEMIS 1655-SS/C OPEN FRONT SEAT; SLOAN ROYAL 113-1-28-YK FLUSH VALVE; FLUSH VALVE HANDLE 13" ABOVE RIM; 16 1/2" BOWL HEIGHT; 1.28 gpf
	LAVATORY FAUCET	4	CHICAGO FAUCET 802-VE2805-336ABCP	-	-	-	-	INSTALL @ 34" HEIGHT ABOVE FF.
FD-1	2" FLOOR DRAIN	1	ZURN ZN-415-B	2	2	-	-	
TOTALS:				9	-	4		

NOTES: 1. ALL FIXTURES SHALL BE WHITE.
2. ALL FAUCETS SHALL BE POLISHED CHROME.
3. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

PROPOSED STORAGE ADDITION FOR:
MIDLAND SERVICES, INC.
2301 GOLF COURSE ROAD, ASHLAND, WI 54806

PLUMBING PLAN

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DESIGNED: **L.D.**

DRAWN: **A.B.C.**

SCALE: **AS NOTED**

DATE: **JULY 2022**

PROJECT NO. **22-3687**

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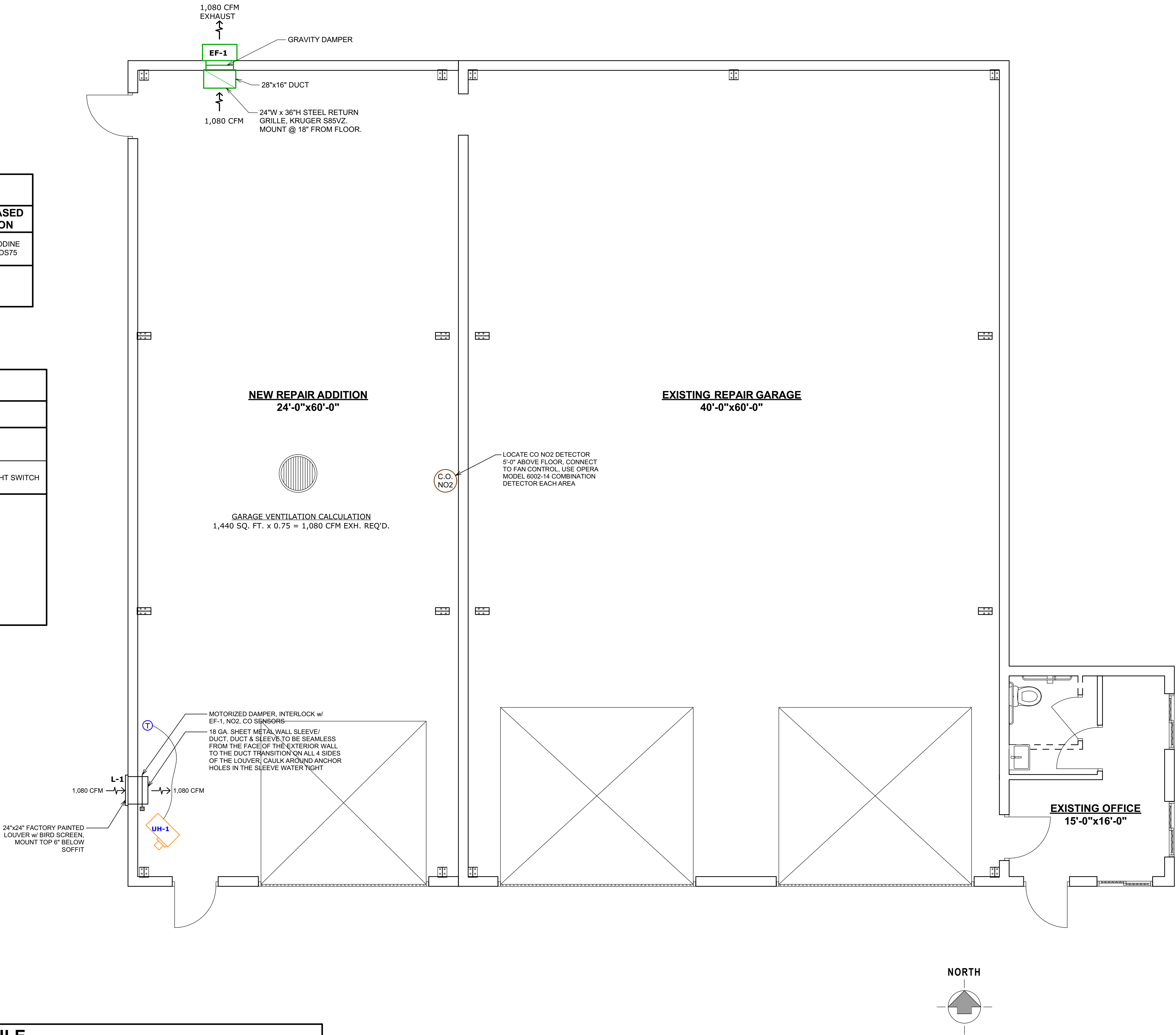
NATURAL GAS UNIT HEATER SCHEDULE									
MARK	LOCATION	TYPE	GAS TYPE	BTU/H INPUT	BTU/H OUTPUT	THERMAL EFF.	AIRFLOW (CFM)	ELEC.	BASED ON
UH-1	MAINTENANCE BUILDING	SEALED COMBUSTION GAS UNIT HEATER	NATURAL	75,000	60,000	80%	1,160	120/60/1	MODINE HDS75
NOTES: 1. VERIFY ELECTRICAL REQUIREMENTS PRIOR TO ORDERING EQUIPMENT. 2. VENT HEATER TO EXTERIOR PER MFR'S RECOMMENDATIONS.									

FAN SCHEDULE													
MARK	TYPE	DUTY	CFM	SP	DRIVE	RPM	MOTOR				SONES	BASED ON	COMMENTS
							HP	VOLTS	PH	HZ			
EF-1	WALL EXHAUST	GENERAL EXHAUST	1,080	0.37"	DIRECT	1,379	.33	115	1	60	7.80	S&P STXDW 10	2,4,7,8,10,12
EF-2	CEILING EXHAUST	UNISEX BATHROOM	75	0.25"	N/A	N/A	N/A	115	1	60	60	BROAN QTXE150	CONNECT TO LIGHT SWITCH
NOTES: 1. 12x12 AUTO EXHAUST DAMPER 2. 14x14 AUTO EXHAUST DAMPER 3. BIRD SCREEN, STXB/STXD 06-10 MOUNTED. 4. BIRD SCREEN, STXB/STXD 12-14 MOUNTED. 5. DPSTXB12 1/3 HP 1181-1600 RPM (1/2). 6. MOUNT & WIRE DISCONNECT FOR DB/TXB. 7. MOUNT & WIRE DISCONNECT FOR SOB/SQD/TXD. 8. NEMA 1 1PH 115V-230V 1-2 HP MAX SW/ASSY. 9. NEMA 1 1PH 115V .5HP MAX SW/ASSY. 10. SPD CONTROL 115V 10 AMP LOOSE. 11. SPD CONTROL 115 UP TO 1/3 HP MOUNTED & WIRED 5 AMP. 12. WALL MOUNT ADAPTER STXB/STXD 12-14. 13. WALL MOUNT ADAPTER STXB/STXD 6-7-8-10.													

HVAC NOTES:

- ALL MECHANICAL CONTROLS SHALL BE LOCATED A MINIMUM OF 16" AND A MAXIMUM OF 48" ABOVE THE FINISHED FLOOR.
- ALL HVAC EQUIPMENT IS TO BE CONTROLLED BY THERMOSTATS LOCATED IN AREAS AS SHOWN ON THE PLAN.
- ALL GAS PIPING INSTALLATIONS SHALL COMPLY WITH NFPA 54.
- HVAC CONTRACTOR TO PROVIDE OPERATION AND MAINTENANCE (O&M) MANUALS TO OWNER AND HVAC DESIGNER AT END OF PROJECT.
- ALL REQUIRED TESTING AND BALANCING IS TO BE COMPLETED BY THE HVAC CONTRACTOR AT THE END OF THE PROJECT. A REPORT IS TO BE PROVIDED TO THE ARCHITECT AND OWNER.
- ALL DUCTWORK IS TO BE SEALED AND KEPT FREE FROM DEBRIS, DUST, ETC. DURING THE CONSTRUCTION PHASE OF THE PROJECT. THE HVAC CONTRACTOR WILL BE RESPONSIBLE FOR THIS TASK.
- THE HVAC SYSTEM CONSISTS OF THE FOLLOWING:
7. EF-1 SHALL OPERATE CONTINUOUSLY (LOW MODE) PROVIDING VENTILATION IN THE HEATED BUILDING UNLESS THE CARBON MONOXIDE MONITORING SYSTEM AND NITROGEN DIOXIDE MONITORING SYSTEM TELL THE SYSTEM TO GO INTO HIGH MODE. UNIT HEATERS (UH-1) WILL HEAT THE SPACE.
- CARBON MONOXIDE MONITORING SYSTEM: OPERATE EF-1 WHEN 35 PARTS PER MILLION CARBON MONOXIDE CONCENTRATIONS IS DETECTED.
- NITROGEN DIOXIDE MONITORING SYSTEM: OPERATE EF-1 WHEN 1 PART PER MILLION NITROGEN DIOXIDE CONCENTRATIONS IS DETECTED.

LOUVER SCHEDULE									
MARK	TYPE / SERVICE	THICKNESS (IN)	SIZE (IN) WxH	WALL ROUGH OPENING (IN)	MANUFACTURER AND MODEL	MATERIAL	COLOR & FINISH	AIRFLOW (CFM)	REMARKS
L-1	STATIONARY EXTRUDED LOUVER WITH DRAINABLE BLADES AND 3/4" ALUMINUM BIRD SCREEN	4"	24 x 24 (NOMINAL)	24 x 24	NCA XAD-4	EXTRUDED ALUMINUM	FACTORY PAINTED	924	ACTUAL LOUVER LENGTH AND WIDTH IS UNDERSIZED BY 1/4" TO FIT IN LISTED SIZE ROUGH OPENING
NOTE: LOUVERS TO BE SUPPLIED BY HVAC CONTRACTOR AND INSTALLED BY THE GENERAL CONTRACTOR, COODINATE WITH GENERAL CONTRACTOR.									



HVAC PLAN
SCALE: 1/4" = 1'-0"

PROPOSED STORAGE ADDITION FOR:
MIDLAND SERVICES, INC.

2301 GOLF COURSE ROAD, ASHLAND, WI 54806

HVAC PLANS



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SCALE: **AS NOTED**

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22-3687

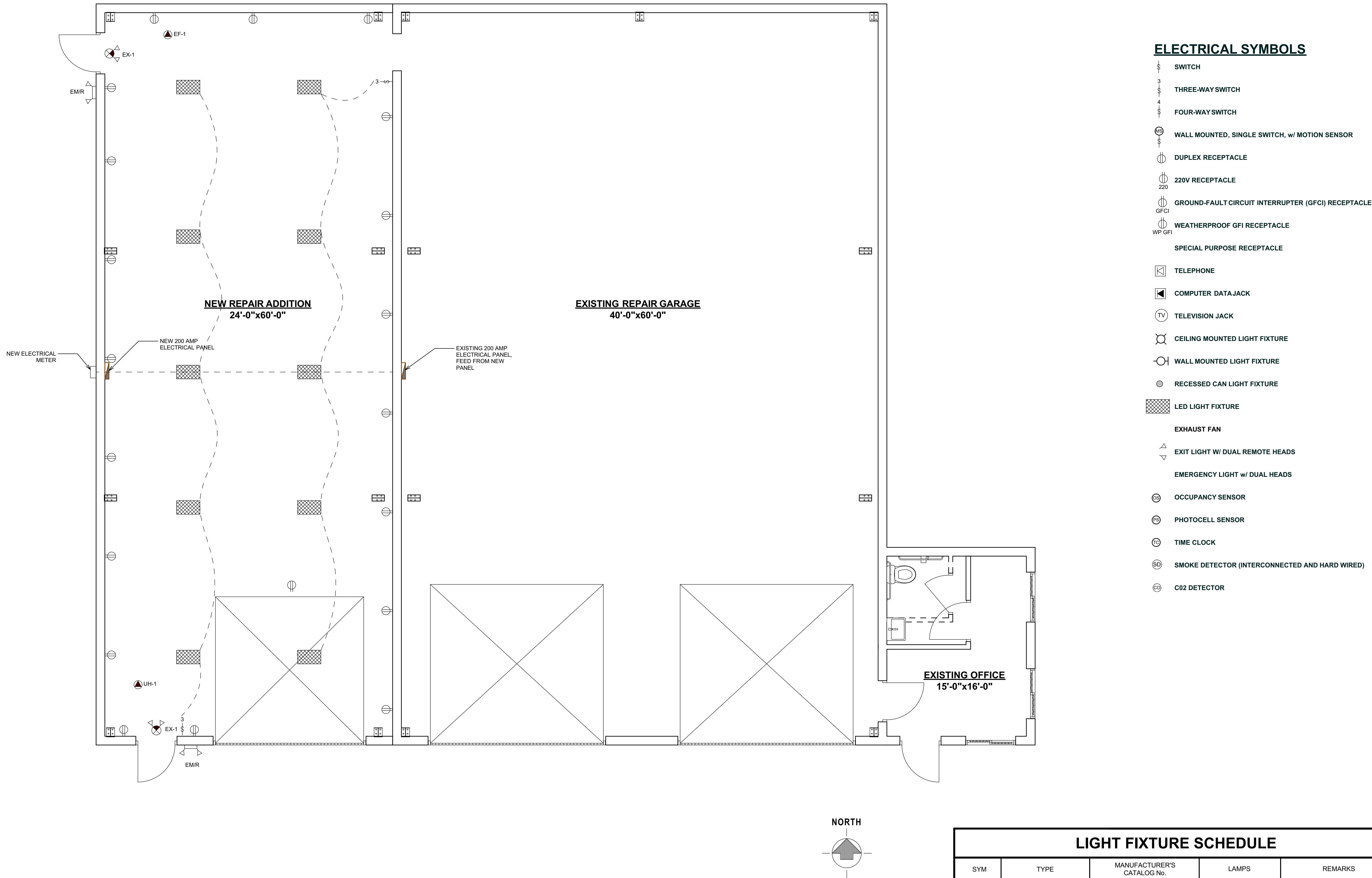
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M100



ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE				
SYM	TYPE	MANUFACTURER'S CATALOG No.	LAMPS	REMARKS
A	HIGH BAY LED	NICOR HBL10-100WG	LED	
B	4 FT. LED CEILING LIGHT	METALUX 4WNLED-LD1-41-F-UNV	LED	
C	OUTDOOR WALL PACK	LITHONIA TWH LED 30C 1000 40K	LED	PHOTOCELL CONTROL, COLD WEATHER RATED,
EM-1	EXTERIOR EMERGENCY LIGHT	LITHONIA AFB OELR DDBTXD WT CW	LED	COLD WEATHER RATED
EX-1	EXIT SIGN w/ EMERGENCY LIGHTING	LITHONIA ECC R M6	LED	USE MODEL ECC R REM M6 IN LOCATIONS NEEDING EM-1
NOTES: 1. PROVIDE FIXTURES AS NOTED ABOVE OR APPROVED EQUAL. 2. LAMPS LISTED ARE MAXIMUM WATTAGE OF FIXTURE. 3. CONTRACTOR SHALL PROVIDE ALL LAMPS WITH FIXTURES. 4. DO NOT SUPPORT FIXTURES FROM THE CEILING MATERIALS, USE PROPER BACKING.				

PROPOSED STORAGE ADDITION FOR:
MIDLAND SERVICES, INC.
2301 GOLF COURSE ROAD, ASHLAND, WI 54806

ELECTRICAL PLAN

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