



PLAN COMMISSION MEETING AGENDA

December 3, 2021 at 4:30PM via Go To Meetings

The meeting can be joined using a computer, smartphone or tablet at <https://global.gotomeeting.com/join/392437333>. The meeting can also be joined by phone at 1 866 899 4679 using access code: 392-437-333

AGENDA

1. Call to Order and Roll Call
2. Approval of the Agenda
3. Consent Agenda
 - a. Approval of minutes from the October 20, 2021 Plan Commission workshop
 - b. Approval of minutes from the November 9, 2021 Plan Commission meeting
4. Public Comment (non-agenda items)
5. Action Items:
 - a. Public Hearing and vote on a request for an emergency residential facility use at 3600 Ellis Avenue, zoned Light Industrial (LI). Applicant: Ken Welker on behalf of Crossroads Outreach Center, Inc.
 - b. Public Hearing and vote on a request to purchase City-owned land, parcel #201-05053-0200, zoned Heavy Industrial (HI). Applicant: Patrick Mika
 - c. Public Hearing and vote on recommended text amendments to the Unified Development Ordinance Chapter 781 Section 4.46: W-O Waterfront Overlay zoning district
 - d. Review and vote on a Site Plan to construct a new garage with two (2) Accessory Dwelling Units (ADU's) at 315 Turner Rd, zoned Residential Estate (RE). Applicant: Anthony Jennings
6. Announcement/Reports/Comments/Questions
7. Adjournment

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information or speak about a subject, over which they have decision-making responsibility. Any governmental body at the above stated meeting will take no action other than the governmental body specifically referred to above in this notice. The City of Ashland does not discriminate on the basis of sex, race, creed, color, national origin, sexual orientation, age or disability in employment or provision of services, programs or activities. NOTE: Upon reasonable notice, the City of Ashland will accommodate the needs of disabled individuals through auxiliary aids or services. For additional information or to request this service, contact Megan McBride at (715) 682-7041.



City of Ashland – Plan Commission Workshop Minutes

A meeting of the Ashland Plan Commission was held on **Sunday, October 20th, 2021 at 6:30 p.m.** via GoToMeeting.

Committee Members Present: Mayor Lewis, Laurie Gregor, Eric Lindell, John Beirl, Katie Gellatly

Committee Members Absent: Ana Tochtermann, David Mettillie

Staff Present: Megan McBride

Mayor Lewis opened the meeting at 6:30 p.m.

Agenda

1) Approval of Agenda

Motion to approve the agenda by Eric Lindell, seconded by Laurie Gregor. Passed unanimously.

2) Public Comment (non-agenda items)

None.

3) Action Items

- a) Discussion and recommendations regarding permitted and conditional uses in various districts throughout the city.

Megan McBride reminded the Plan Commission that the current UDO revision process is being supported by WI Coastal Management grant funding, and therefore a central goal is around promoting resiliency and sustainability along the waterfront. In addition, staff has been able to work with our hired consultants from GRAEF to begin evaluating and recommending changes to the City's existing zoning districts and permitted/conditional uses to align with Comp Plan and Waterfront Development Plan updates. She introduced Ben Block and Kristan Sanchez from GRAEF, and their work regarding the existing uses and conditional uses within city districts.

Kristan explained that she wants to focus the discussion on potential changes to both zoning district and allowable uses throughout the city. She outlined project goals including updating waterfront zoning districts to reflect recent planning, updating landscape guidelines with native plantings & green infrastructure, and

ensuring allowable uses along the waterfront appropriately reflect desired development.

Ben began provided an overview of some formatting and logistical changes including converting how uses are listed from text to a consolidated table, switching from particular uses to broader use types, and adjusting uses based on best practices and updated community planning documents.

Ben posed several questions to the Plan Commission for feedback on possible changes which would result from the proposed consolidation and reorganization strategy:

1. Should growing crops (on a parcel of any size) be permitted use or a conditional use in the Future Development (FD) district?

Eric Lindell asked what types of crops would be allowed.

Megan answered that it would not be distinguished by crop type, but farming of crops would be a distinct use from farming involving livestock.

Katie Gellatly asked if our current ordinance distinguishes by size.

Ben said that it does, with the categories being a farm of any size or one with 5 acres or more.

Mayor Lewis asked about impacts of allowing continued agriculture in this area.

Ben clarified that existing farms would not be impacted unless they are expanding or proposing major changes that would constitute new development or a change in use.

John asked if changing the type of crops grown on a property would then require a conditional use permit.

Ben Block answered that there would be a change if someone went from crops to livestock, but not if they will still be growing crops on the site.

John Beirl asked if there has been public input about proposed changes.

Megan answered that this discussion is still fairly easily in the process, and a public hearing will be held before the Plan Commission or City Council would vote on the proposed changes.

2. Should adult entertainment be a conditional use in the City Center (CC) district?

Eric Lindell asked if there is a way to deter adult entertainment businesses without completely removing it as a use.

Megan McBride replied that if we are trying to deter a use within a district, we should just remove that as an allowable use.

Eric said that he would like to see this use removed from the City Center district. Mayor Lewis

agreed.

John Beirl asked if this use already exists in the City Center. Megan said that there is one business under this use in the City Center district currently.

Katie Gellatly agreed it should be removed from the City Center district, but could be more appropriate in Light Industrial zoning districts.

3. Should drive-thru restaurants be a permitted or conditional use in the City Center (CC) district?

Katie Gellatly pointed out that there are existing drive-thru restaurants in the City Center.

Megan confirmed that there are drive-thru restaurants, and their location on U.S. Highway 2 creates additional allowances for this. Eric Lindell supported differentiating to allow on the highways but not in the downtown core.

Laurie Gregor agreed that she would like to see separation based on highway location, and not allow drive-thru restaurants on Main Street.

4. Should bars/taverns be a conditional use in the City Center (CC) district, or should there be an attempt to phase-out those that do not serve food?

Katie Gellatly said that she likes this idea due to the lack of eating establishments on Main Street.

Eric Lindell also supported the idea to phase out problem areas and promote more family-friendly uses in the downtown.

Ben Block mentioned that we could go even further and say that new bars which do not sell food are not permitted at all in the City Center.

Mayor Lewis supported the idea of a conditional use for more flexibility.

Katie Gellatly agreed that not permitting bars that do not sell food could be too extreme.

John Beirl asked if a conditional use means that the use has to be approved.

Ben Block answered that it would need to follow state CUP policies, but would allow for additional conditions of approval to be set by the community and for public input to be gathered through a public hearing.

5. For gas filling stations, should a convenience store be an accessory use?

Katie Gellatly mentioned Pagac's bar, which is a gas station and a bar.

It was agreed that it is desirable to have convenience stores associated with gas filling stations, and this is the norm for most.

6. Should general retail establishments be allowed as conditional uses in the Single

and Two-Family Residential (R2) district?

Deb mentioned that some of the issues that come up with this is parking and traffic concerns. Retail uses could also change the characteristic of existing neighborhoods.

Kristan Sanchez mentioned that this is something that is a legacy issue, where corner grocery stores used to be more common.

Katie Gellatly mentioned the area by the hospital or by the schools could benefit from the addition of small retail and/or grocery establishments.

Eric Lindell said that he felt we should keep local food stores and general retail separate.

7. Should vehicle service-related uses be allowed in the waterfront areas, or should the waterfront overlay zone prohibit these?

It was agreed that this is not a good future utilization of waterfront property.

8. Should the zoning code distinguish between different types of mining (e.g. metallic vs. nonmetallic; active extraction vs. storage)?

Eric would like to remove this use completely from the city.

Mayor Lewis would like to remove metallic mining since it impacts water quality.

Katie Gellatly asked if we can totally remove mining as a use.

Mayor Lewis asked if we can regulate water extraction as a form of mining.

Ben Block said that both of these questions would need to be reviewed by the City Attorney.

9. Should social services be permitted or conditional uses in residential and commercial districts?

Eric Lindell said that he would like to look at additional specific use standards, but didn't feel it should be completely banned in residential districts.

Rezoning Recommendations

Kristan Sanchez summarized the rezoning recommendation draft, with the overall intent to reduce the overall number of zoning districts to create greater clarity and efficiency in development review processes.

The Plan Commission supported the concept of consolidating districts and enhancing the Waterfront-Overlay zoning district to create more efficient development review and better identifying desirable waterfront uses according to the updated Comp Plan and Waterfront Development Plan.

Ben summarized the next steps for these rezoning and overlay changes.

5) Announcements/Reports/Comments/Questions

None.

6) Adjournment

Motion to adjourn by Eric Lindell. Seconded by Katie Gellatly. Passed unanimously.

Meeting was adjourned at 7:31 pm. Minutes done by Megan McBride and Mandelyn Lyons.



City of Ashland – Plan Commission Meeting Minutes

A meeting of the Ashland Plan Commission was held on **Tuesday, November 9th, 2021 at 6:30 p.m.** via GoToMeeting.

Committee Members Present: Ana Tochtermann, David Mettill, Mayor Lewis, Eric Lindell, John Beirl, Katie Gellatly

Committee Members Absent: Laurie Gregor

Staff Present: Megan McBride

Mayor Lewis opened the meeting at 6:30 p.m.

Agenda

1) Approval of Agenda

Motion to approve the agenda by Eric Lindell, seconded by David Mettill.
Passed unanimously.

2) Consent Agenda

a) Approval of minutes from the October 19, 2021 Plan Commission meeting

Motion to approve the minutes from the October 19, 2021 Plan Commission meeting by Eric Lindell, seconded by Katie Gellatly. Passed unanimously.

3) Public Comment (non-agenda items)

Laura Nagro from Maple Lane commented on a previously approved conditional use permit for a non-metallic mine saying that she would like to see more neighbor notification for CUPs. She noted she is concerned that the process didn't reach enough neighbors, and didn't adequately take into consideration key concerns.

John Beirl commented that he believed we had met all legal requirements for public notice related to that issue, and asked for confirmation.

Megan McBride confirmed that all legal requirements were met. She said that she believed Laura Nagro was suggesting the City review and potentially expand our current ordinance requirements regarding public notification.

4) Action Items

a) Public Hearing and Vote on a request to rezone City-owned parcel #201-05070-

0000 from Light Industrial (LI) to Single-Family Residential (R-1). Applicant Lawrence Pufall.

Motion to go into public hearing by Eric Lindell, seconded by Ana Tochterman. Unanimously approved.

Megan McBride summarized the legal class 2 public hearing notice as well as the neighbor letters. She also read into the record citizen comments provided prior to the meeting:

- 1) Matthew Remec commented that he supports this project and is happy to see the possibility of new development in the area. He feels that if somebody is interested in developing in Ashland, the City should support this and not create barriers.
- 2) Lawrence Pufall, the applicant, commented that he has contractors ready and would like to begin construction yet this building season if the rezoning and subsequent request to purchase are approved. The value of the home that he would build is between \$300,000- \$400,000.
- 3) Ted Kramolis commented on behalf of the Chequameogn Humane Association, and asked if any additional requirements or restrictions could be placed on the shelter if there are noise complaints from a new residential use in this area. Megan Explained that she

Megan McBride then summarized her staff report and the decision criteria for rezoning. There are six acres of developable land on the property and rezoning it for a single-family home is not recommended based on Comp Plan recommendations for this area, anticipated short-term development, and that it is not in line with the City's Principles of Sustainability for development.

Katie Gellatly asked if the whole 19 acres is owned by the city.

Megan responded that the 19 acres is owned by the city. She explained that subdividing the property was discussed with the applicant, but that they would want to purchase the entire lot.

Laura Nargo commented that she agreed with Megan's assessment in the staff report, and said she felt this would potentially be an underutilization of the site.

Motion to go out of public hearing by Ana Tochterman, seconded by Eric Lindell. Passed unanimously.

Eric Lindell commented that a property of this size being dedicated to one single-family home does not reflect sustainable development practice.

Ana Tochterman agreed with Eric and with Megan's staff report. She also noted that there is a lot of residential zoned area already in the City, so we should be hesitant to rezone one of the few pieces of available Light Industrial land owned by the City.

John Beirl asked about the security of the developers for the Timeless Timber site.

Megan McBride said for the residential development we will be drafting a Development Agreement for approval. For the restaurant to be developed on the northern portion of the site, this project already has state approval and the developers would like to begin construction in spring 2022.

John Beirl asked if the parcel requested for rezone would be used for Lawrence Pufall's primary residence. Megan confirmed that it would be

John Beirl asked if he the applicant would be willing to purchase part of the lot.

Megan said that they discussed this and the applicant would like to request the entire property at this time. It is unclear if he would be interested in a smaller portion of this property, or would look for alternative properties to build.

Mayor Lewis asked about the utilities available to the site.

Megan confirmed that the site is served by City utilities.

Motion to deny the request by Eric Lindell, seconded by Ana Tochterman. Passed unanimously.
--

b) Review and Vote on a Site Plan for expansion of Deltco Plastics building located at 601 Industrial Rd, parcel #201-05056-1000, zoned Heavy Industrial (HI). Applicant: Deltco Plastics

Megan McBride summarized the site plan for expansion of Deltco Plastics, which would be a 20% increase of their building size. The intent of this expansion is to add another recycling line for more efficient operations and adding up to six jobs. Staff recommendation was approval of the proposed site plan.

Motion to approve the proposed Site Plan for Deltco Plastics by Ana Tochterman, seconded by Eric Lindell. Passes unanimously.

c) Review and recommendation regarding updates to Unified Development Ordinance Section 4.46: W-O Waterfront Overlay District.

Megan updated the committee regarding the UDO Section on the Waterfront Overlay District.

Eric Lindell commented on the landscaping requirements for new developers and was wondering why only 50% of landscaping had to be native plantings and asked if the percentage could be higher.

Megan noted that this was discussed by the Sustainability committee, who ultimately decided 50% is realistic at this time based on availability and local sourcing options. Staff will work with developers to recommend higher than 50%, but this will be the minimum requirement.

Megan asked the committee how they feel about screening and prohibiting parking as a primary use.

Ana Tochterman said that she appreciates that the updates specifically call out prohibited uses.

Mayor Lewis noted that the City does own a piece of land where the primary use is a parking lot north of U.S. Highway 2, and asked if the new amendments would change that.

Megan answered that these amendments would only apply to new developments, not existing uses.

Katie Gellatly asked about the prohibition of hazardous storage and if that also would apply to mini-storage or storage sheds.

Megan said that both would be prohibited, and can be explicitly identified as such.

Ana Tochterman asked if there are building size guidelines for the waterfront.

Megan said that there aren't limitations on size of buildings beyond height restrictions for each zoning district, but there is language discouraging creating uninterrupted views of the lake.

5) Announcements/Reports/Comments/Questions

There are two new businesses opening on Main Street this week.

The City will be submitting an application for an EPA Brownfield Site Assessment Grant to create a reuse plan for the Oredock upland, as well as several other City-owned waterfront brownfield sites.

There will be a holiday tree lighting ceremony this year on November 27th.

6) Adjournment

Motion to adjourn by Eric Lindell. Seconded by Mayor Lewis. Passed unanimously.

Meeting was adjourned at 7:33 pm. Minutes done by Megan McBride and Mandelyn Lyons.

Find yourself next to the water.



City of Ashland, Wisconsin

601 Main Street West Ashland, WI 54806 www.coawi.org

**DEPARTMENT OF
PLANNING &
DEVELOPMENT**

601 Main Street West
Ashland, WI 54806

STAFF REPORT

Plan Commission – December 3, 2021

Agenda Item # 5a: Conditional Use Permit Request to allow an Emergency Residential Facility

Zoning District: Light Industrial (LI)
Property Address: 3600 Ellis Avenue
Parcel #: # 201-04992-0000
Applicant: Crossroads Outreach Center, Inc.
Staff Contact: Megan McBride

Background

Crossroads Outreach Center, Inc. is requesting a Conditional Use Permit to allow emergency residential facility use at 3600 Ellis Avenue, zoned Light Industrial (LI). Crossroads approached the City with a text amendment to the Unified Development Ordinance to allow emergency residential facilities as a conditional use within the Light Industrial (LI) zoning district earlier this year. This request was unanimously recommended for approval by the Plan Commission on June 22, 2021 and approved by City Council on June 29, 2021. The proposed use would be considered an emergency residential facility as it would provide short-term housing for individuals enrolled in Crossroads Outreach Changing Hope - Addiction Transformation Program, designed to be transitional in nature and would connect with both their addiction recovery program as well as their workforce training program. The applicant is requesting to house up to 10 individuals for an average duration between 6 to 9 months, which would comply with UDO definitions and standards for emergency residential facilities. All building renovations would need to meet dwelling occupancy standards prior to issuance of an Occupancy Permit.

Standards for Conditional Use Review

The City of Ashland's Unified Development Ordinance Section 3.9 (C) Conditional Use Permit – Approval Criteria (and all subsections thereof), create the legal framework to regulate, administer, and enforce the conditional use standards for the City of Ashland. The following decision criteria were used to review the submitted conditional use:

1. **Consistency with Comprehensive Plan.** The proposed use for emergency residential facility at 3600 Ellis Avenue is consistent with the goals and principles of the Comprehensive Plan. A central housing goal identified in the Comp Plan is diversification of the existing housing stock to meet the wide range of community needs, and Section 2 specifically identifies homelessness and housing insecurity as a growing issue. The City's 2018 Housing Report and City's Housing Strategic Plan both identify emergency and transitional housing as needs in addressing

community issues of housing insecurity and homelessness, the substance abuse epidemic, and the local shortage of resources to adequately meet the needs of those who need immediate, stable housing.

2. **Compatibility.** The proposed use is compatible with existing uses within 200 feet of the proposed development, which are industrial in nature or large areas of undeveloped land. Crossroads Outreach has already been successfully operating counseling services with their working training program for several years, and have worked with the former owner to acquire the property to expand their use of the building and make improvements. The addition of associated short-term residential use of the property as proposed in this Conditional Use Permit would not impact compatibility with existing surrounding uses. The property's lack of proximity to existing residential and commercial uses lends to the compatibility of the proposed use with this site location, and integrating the residential use within an existing mixed use building will promote efficiency in development and use of the property.
3. **Importance of Services to the Community.** The need for comprehensive community services to help individuals recover from addiction, secure stable housing, and develop work experience and job skills has consistently been identified through the Comprehensive Plan (2017), Housing Report (2018), and Housing Strategic Plan (2020). The proposed addition of emergency residential facility use for short-term residential use to complement existing use of the site for rehabilitation services and workforce training would further this goal. It would also promote several UDO Principles of Sustainability including promoting compact development and efficient land use planning, meeting human needs fairly and equitably, and "integrating opportunities for... emergency residential facilities... throughout the community."
4. **Neighborhood Protections.** Given the industrial zoning district and surrounding industrial and commercial uses, the proposed residential use is not anticipated to have any negative impacts requiring neighborhood protections for these existing uses. Therefore, neighborhood protection considerations primarily center around the property's visible location on Ellis Avenue. The applicant will be painting the building, installing landscaping and beautifying the property, and will be required to designate and pave a parking area related to the change in use. Any additional site changes proposed in the future may require separate Site Plan approval.
5. **Conformance with Other Requirements:** The development must conform to all other applicable City code requirements, including (but not limited to):
 - a. Local and state building code requirements to ensure the property meets occupancy standards for the proposed use prior to issuance of an Occupancy Permit

Review Recommendation

Staff recommends APPROVAL of the Conditional Use Permit contingent on the following conditions:

- The applicant shall be required to designate and pave a parking area in accordance with UDO standards.
- The property owner shall provide a direct phone number to contact the on-site supervisor to all surrounding property owners within 200 feet of the property.
- No outdoor camping or other forms of occupation shall be allowed on the premises

Additionally, as a Public Hearing is scheduled for the proposed Conditional Use Permit, the Plan Commission should hear all input from the public prior to making a decision. The required Class 2

public hearing notice was issued, and discretionary letters were sent to all surrounding property owners within 200 feet of the proposed development.

Approvals are based on background information provided by the applicant and known conditions. Deviations from this information may be considered a change in the application and reconsideration and possible revision to the approvals may be made by the Plan Commission and Common Council.



Crossroads Outreach Center Inc.
3600 Ellis Av.
Ashland, WI 54806

November 3, 2021

City of Ashland
Department of Planning & Development
601 W. Main St.
Ashland, WI 54806

Dear City Planners,

Please find enclosed our application form for a conditional use permit for emergency housing at our current location. We are in the process of planning our use of space for our facilities and would like to apply for a permit to allow short term, emergency housing for our participants as they enter our Life Transformation Programs.

Crossroads just celebrated our 10th year, and we are excited to see the opportunities that are opening up to us at our Ellis Av. Location. We have been working diligently to put together a comprehensive program that allows our participants to transition from incarceration to normal living within 12 to 18 months of beginning our program. We would like to be able to house up to 10 people on a 6 to 9 month basis as they complete our program phases. Our participants would be allowed to stay with the goal of getting them living on their own within 6 months. Initially we would only have 1 to 2 participants, but we would like to be able to eventually have up to 10.

We appreciate your support in making our community stronger through restoring one life at a time.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kenneth Welker', with a long horizontal flourish extending to the right.

Kenneth Welker

Chief Operating Officer

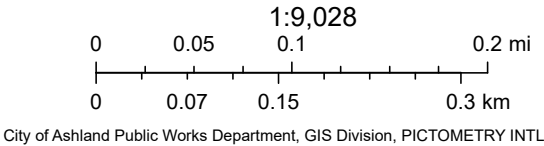
Crossroads Outreach Center, Inc.

Aerial Map 3600 Ellis Avenue

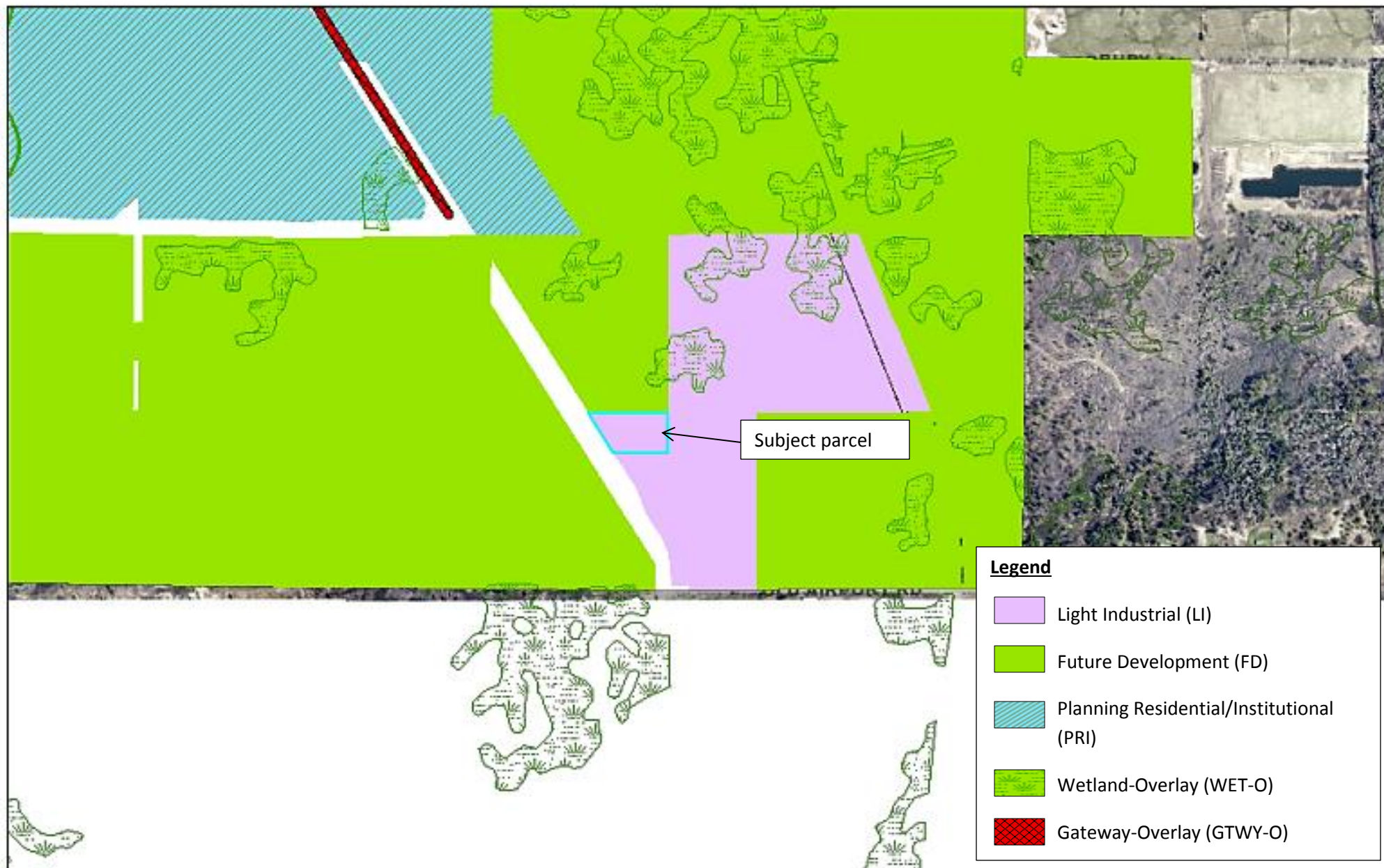


11/26/2021, 12:26:21 PM

 Parcel Mapping
Parcel Labels



Zoning Map 3600 Ellis Avenue



*Any area that does not have a zoning overlay is not located within City limits.

Find yourself next to the water.



City of Ashland, Wisconsin

601 Main Street West Ashland, WI 54806 www.coawi.org

**DEPARTMENT OF
PLANNING &
DEVELOPMENT**

601 Main Street West
Ashland, WI 54806

STAFF REPORT

Plan Commission – December 3rd, 2021

Agenda Item # 5b:	Public Hearing Vote on an Offer to Purchase City-Owned Property
Applicant:	Patrick Mika
Zoning:	Heavy Industrial (HI), Wetland-Overlay (WET-O), Ashland Industrial Park
Parcel No:	201-05053-0200
Staff Contacts:	Megan McBride

Background

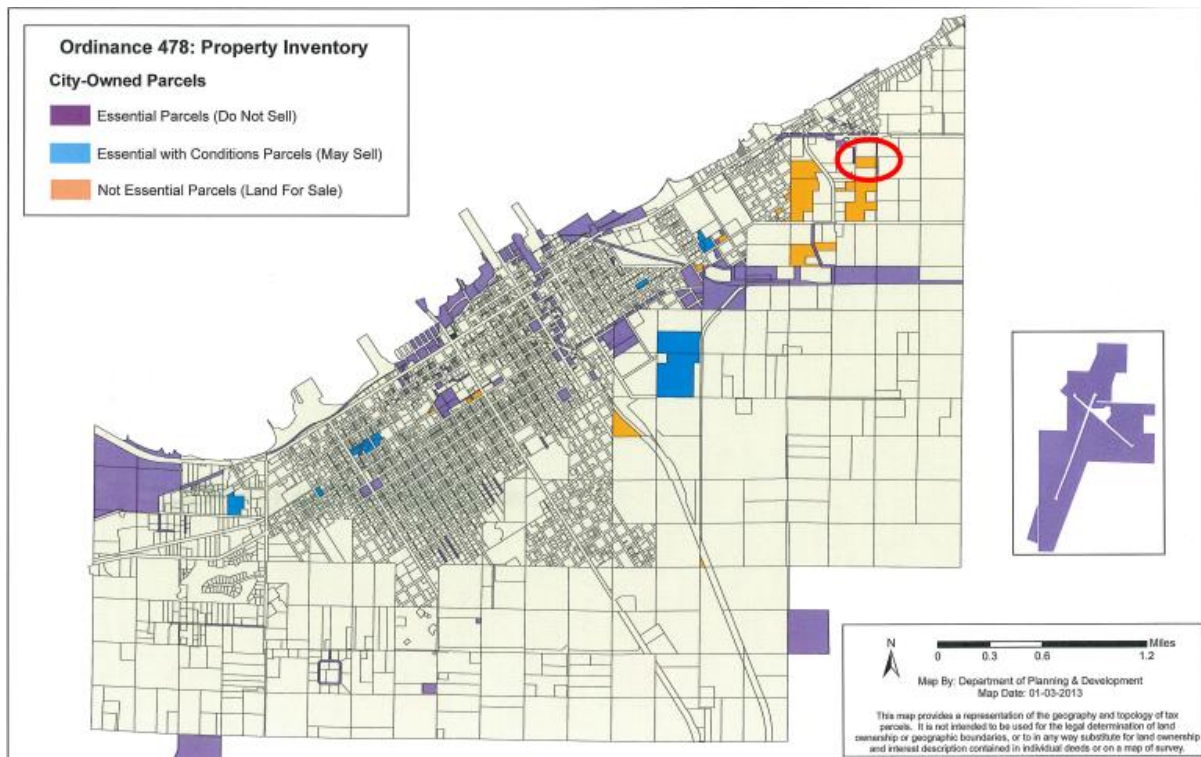
Patrick Mika is requesting to purchase parcel #201-05053-0200 from the City with intent to expand his current business Mika Automotive & Heavy Trucking which is located on the adjacent parcel #201-05053-0100 (located directly south of the subject parcel). Parcel #201-05053-0200 is 4.72 acres in size, with a purchase price of \$11,800. The purchase price is based on the compensation schedule set in Ashland City Ordinance Chapter 469: Restrictive Covenants Governing Parcels Located within the Ashland Industrial Park. Section 469.06(a) dictates that "land in the Industrial Park shall be sold in parcels no smaller than two acres, and at a price of \$2,500 per acre." Since no additional jobs are anticipated to be generated as a result of this land transfer, the applicant would not be subject to land cost reductions identified in Chapter 469 subsections.

The applicant is requesting that a condition of purchase be that they be able to expand their existing parking area as gravel, waiving the paving requirements for all new commercial parking areas in the City. The reason for this request is that they are frequently moving heavy equipment to and from the site at a higher frequency than most other Industrial Park uses even, and therefore has significantly higher maintenance costs to consistently repair damage from heavy equipment. In order to accommodate this based on the nature of the business and to accomplish other Comprehensive Plan goals for the Industrial Park, City staff recommends that a minimum of 60 trees be required along the eastern property line to screen views from Sum Rd and improve overall stormwater management on the site. The applicant has offered to plant trees to fully encircle the new expanded parking area from view, and increase screening of the existing parking area on their parcel #201-05053-0100.

Review Criteria for Offer to Purchase and Sale of Land:

1. Consistency with the Comprehensive Plan:

The Comprehensive Plan calls for careful disposition of vacant land. This means making financially sound decisions with the land that we own, and ensuring that the highest and best use for the land is achieved. Parcel #201-05053-0200 is currently vacant and according to the last inventory of City-owned properties this parcel is considered non-essential and is recommended for sale under Ordinance Chapters 478. The Comp Plan also identifies specific goals for industrial areas of the City, recommending that heavy industrial uses be concentrated in specific zones and that “landscaping and screening requirements should be strongly implemented and enforced in these areas” (p. 34). The requested land sale with proposed conditions would conform to these recommendations, while allowing an existing business in the Industrial Park to expand according to their business needs.



2. Consistency with the Unified Development Ordinance (U.D.O.):

A. Zoning District: Heavy Industrial (HI), Wetland-Overlay (WET-O)

The addition of the requested land for purchase (201-05053-0200) to parcel 201-05053-0100 will not impact consistency with standards for the Heavy Industrial (HI) district. Waiving the paving requirement is not consistent with standards for other new commercial parking areas in the City, but given the type of business making the request there are reasonable grounds for consideration. In order to increase compliance with surrounding industrial uses as well as the location of portions of Wetland-Overlay zoning district on the site, the requirement of a minimum of sixty (60) new trees be installed along the eastern perimeter of the parking area has been recommended and agreed to by the applicant.

B. Compatibility of Proposed Development with Existing Development.

The piece of land requested for purchase by the applicant is currently vacant with no plans for development by the City. Incorporation into the adjacent parcel to create a developable lot would be compatible with existing uses and facilitate future use of the property which otherwise would not be possible.

3. Consideration of Highest and Best Use:

Considering all factors as listed above, staff sees this as the highest and best use of the property. The City has no current or future plans for use of the parcel, and has deemed this land non-essential for future City needs in City of Ashland Ordinance Chapter 478.

4. Additional Factors, including Compliance with other City Ordinances and State Statutes:

- A. The applicant shall apply with Ashland County for combination of parcels 201-05053-0200 and 201-05053-0100 into a single tax parcel.
- B. The City of Ashland's sale of land shall comply with Ordinance. 478: *An Ordinance to Establish the Process for Land Acquisitions and Sales.*

Staff Recommendation:

City staff recommends the APPROVAL of the Offer to Purchase parcel 201-05053-0200 by Patrick Mika, contingent on the following items:

- 1) The property to be purchased shall be surveyed to identify the specific area of land being acquired prior to final sale.
- 2) A minimum of sixty (60) new trees be planted along the eastern property line to screen views of the new and existing parking area from Sum Road.
- 3) The property shall be combined with parcel # 201-05053-0100 into a single parcel within sixty (60) days of closing.
- 4) As long as all other conditions of approval are met, the applicant shall not be required to pave the new parking area constructed on the subject parcel for sale.

As a Public Hearing is scheduled, the Plan Commission should hear all input from the public prior to making a decision. The required Class 1 Public Hearing notice and all required public notices were issued for this item.

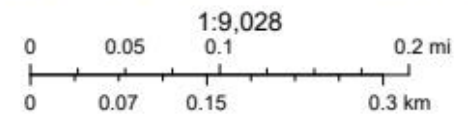
Approvals are based on background information provided by the applicant and known conditions. Deviations from this information may be considered a change in the application and reconsideration and possible revision to the approvals may be made by the Plan Commission and Common Council.

Aerial Map of Parcel #201-05053-0200 Requested for Purchase



11/16/2021, 12:52:36 PM

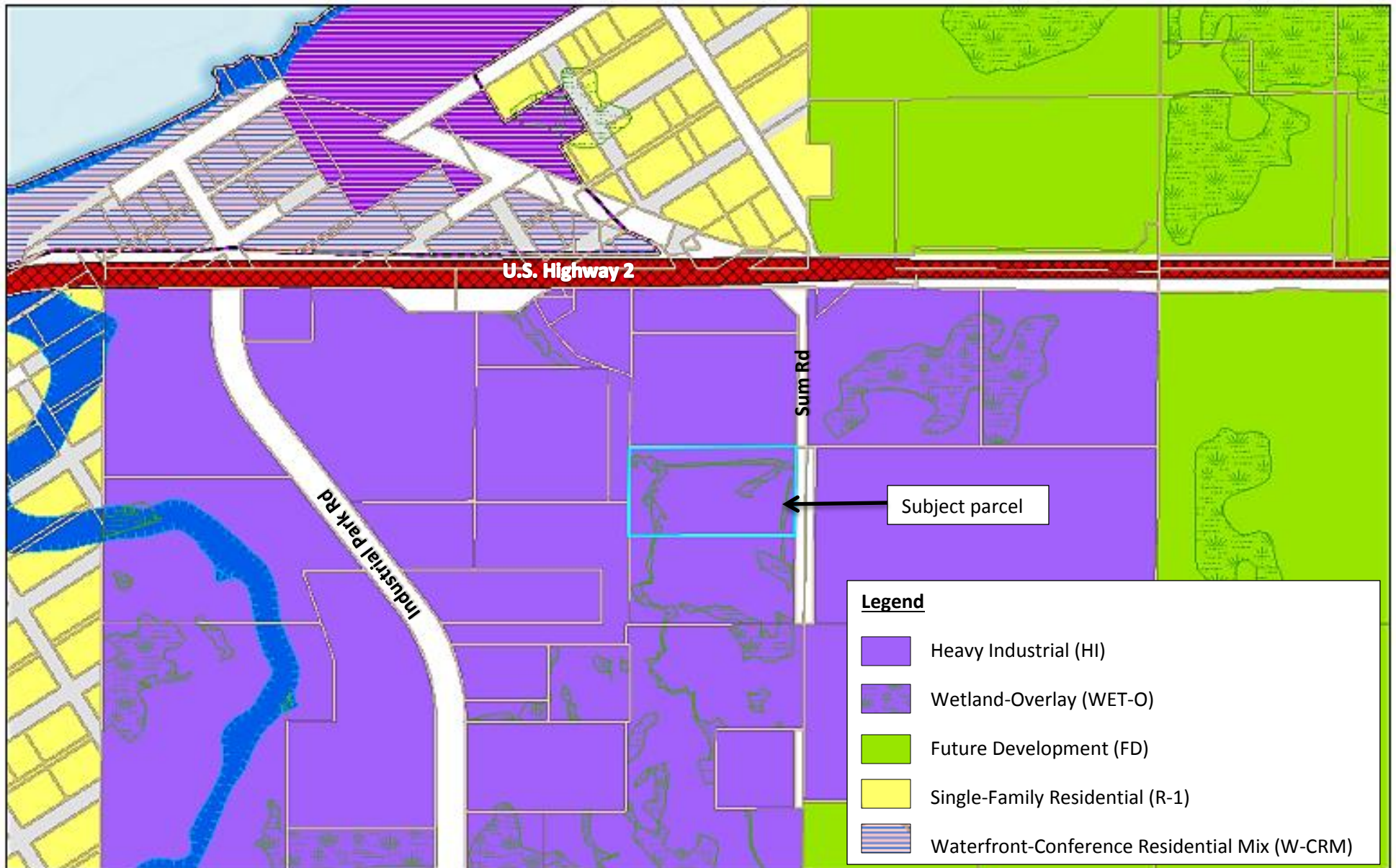
 Parcel Mapping
Parcel Labels



City of Ashland Public Works Department, GIS Division, PICTOMETRY INTL

Department of Public Works Engineering
Copyright 2018 City of Ashland

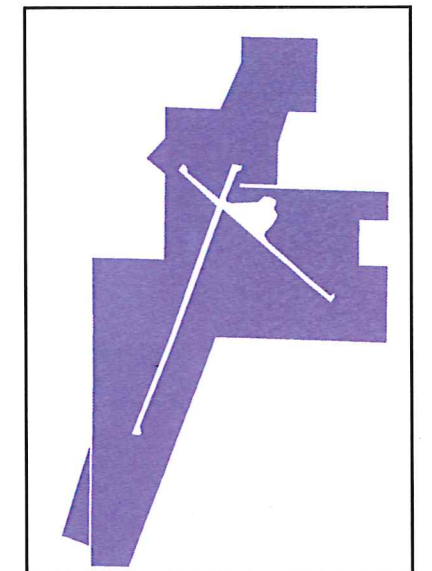
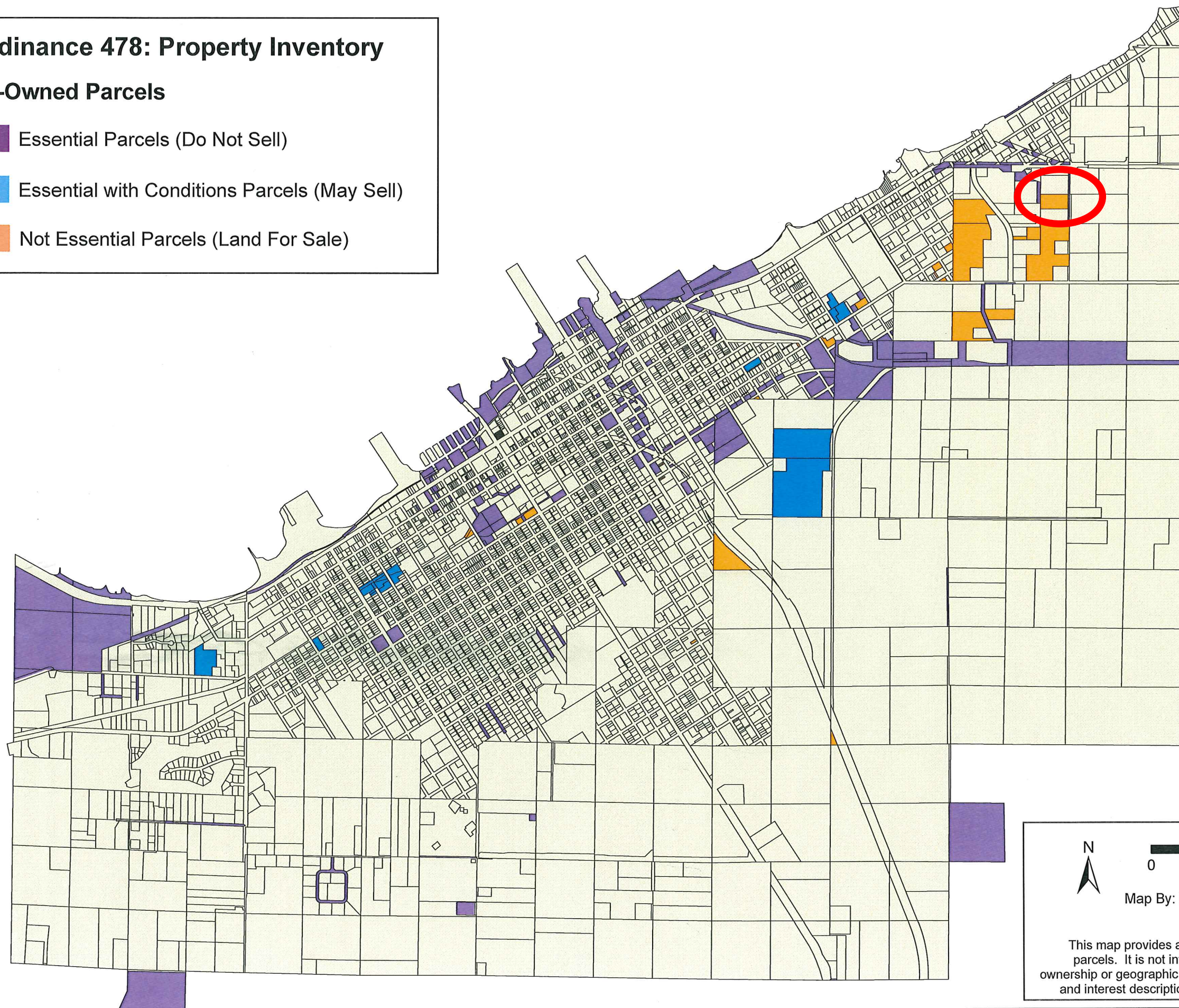
Zoning Map of Parcel #201-05053-0200



Ordinance 478: Property Inventory

City-Owned Parcels

-  Essential Parcels (Do Not Sell)
-  Essential with Conditions Parcels (May Sell)
-  Not Essential Parcels (Land For Sale)



0 0.3 0.6 1.2 Miles

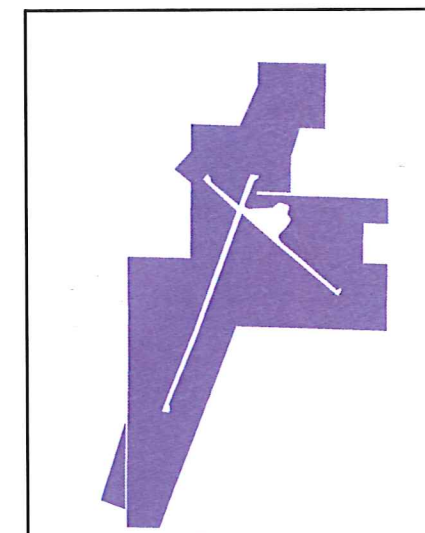
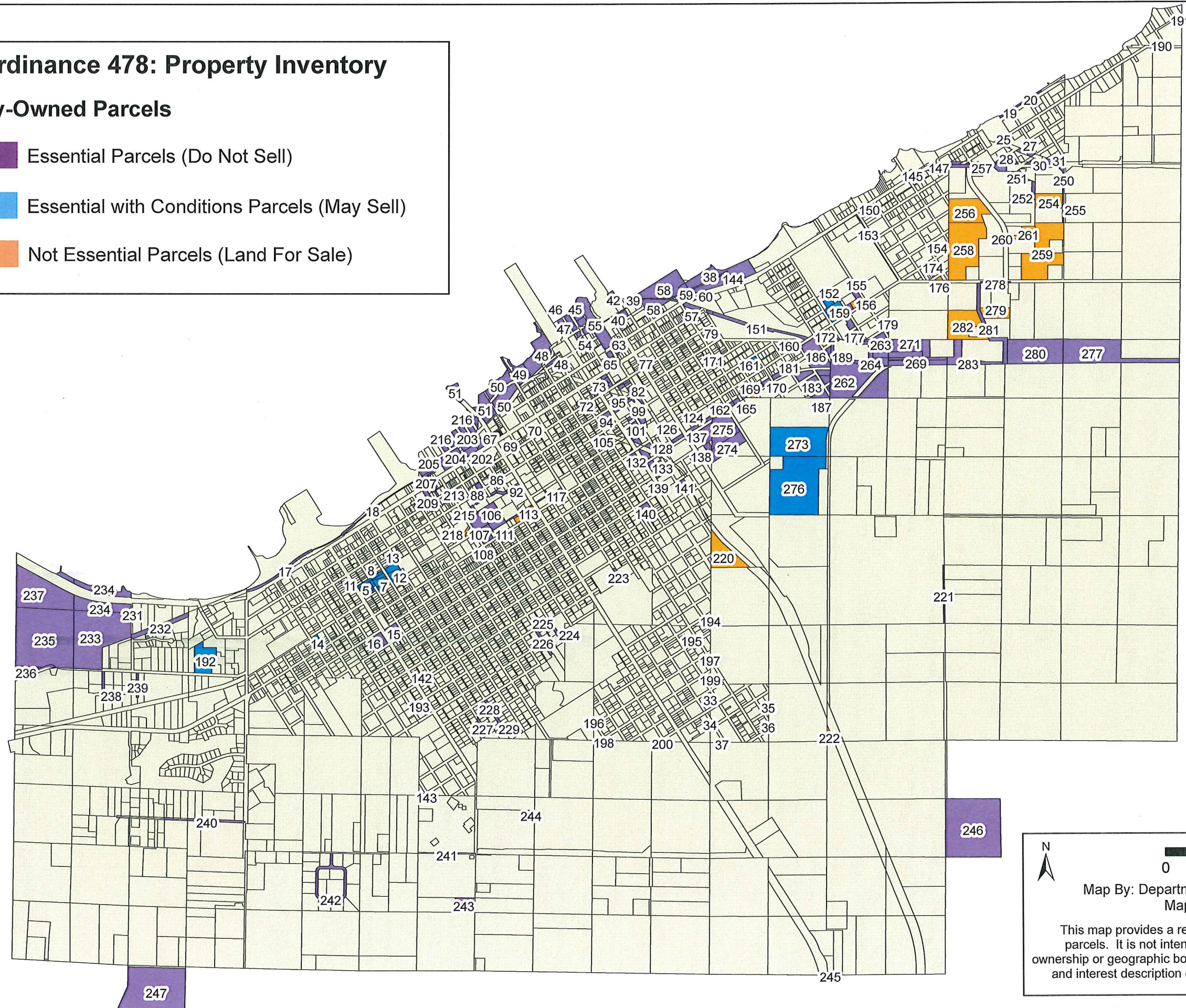
Map By: Department of Planning & Development
Map Date: 01-03-2013

This map provides a representation of the geography and topology of tax parcels. It is not intended to be used for the legal determination of land ownership or geographic boundaries, or to in any way substitute for land ownership and interest description contained in individual deeds or on a map of survey.

Ordinance 478: Property Inventory

City-Owned Parcels

-  Essential Parcels (Do Not Sell)
-  Essential with Conditions Parcels (May Sell)
-  Not Essential Parcels (Land For Sale)



N

0 0.3 0.6 1.2 Miles

Map By: Department of Planning & Development
Map Date: 01-03-2013

This map provides a representation of the geography and topology of tax parcels. It is not intended to be used for the legal determination of land ownership or geographic boundaries, or to in any way substitute for land ownership and interest description contained in individual deeds or on a map of survey.

Find yourself next to the water.



City of Ashland, Wisconsin

601 Main Street West — Ashland, WI 54806 — www.coawi.org

DEPARTMENT OF
PLANNING &
DEVELOPMENT

601 Main Street West
Ashland, WI 54806

STAFF REPORT

Plan Commission – December 3, 2021

Agenda Items #5c:

**Public Hearing & Vote on Text
Amendments to the Unified
Development Ordinance (UDO) # 781**

Staff Contact:

Megan McBride and Cameron Kadlubowski

Background

Proposed amendment: Revision to Waterfront Overlay District standards

The Planning and Development Department has been working with GRAEF consulting firm to amend the Waterfront Overlay District standards identified in the UDO. The intent behind review and revision of this particular section of the UDO was to better align development code with Comprehensive Plan and Waterfront Development plan goals. Additional goals of the update process were to promote stronger sustainability practices along the waterfront, ensure development is complementary to its waterfront location, and protect against uses that the community has consistently expressed they do not want to see in this sensitive development area.

Staff is recommending revision to the Waterfront Overlay District of the Unified Development Ordinance to promote stronger sustainability standards within the Waterfront District. These changes would incentive sustainable development practices as they relate to native vegetation and green storm water infrastructure. Reductions in requirements may be provided in exchange for the use of pervious pavement, vegetated bioswales, native landscaping, and shoreline restoration. All new landscaping requires at least 50% native landscaping in the Waterfront Overlay District. The changes would explicitly define prohibited uses in the district, which are seen as not sustainable or desirable within the waterfront. All the mentioned changes occur in the framework of promoting economic development, community amenities, and high quality of life. The Planning and Development Department also consulted with the Sustainability Committee for feedback and recommendations regarding the proposed amendments, and the committee has unanimously recommended the proposed UDO revisions.

The attached document gives a general description of the proposed changes that staff would like to consider at this time, followed by the language that is being proposed. The ~~red with a strike out~~ indicates language that staff proposes should be eliminated from the UDO. Proposed language additions are indicated in **blue bold text**. Staff would like to continue updating the UDO in the future, as there are more sections than indicated in this report that need additional revisions.

Review Criteria (As specified in UDO Section 3.4,C)

1. Consistency with Comprehensive Plan

The proposed UDO text amendments conform with the goals principles of the Comprehensive Plan. The changes largely aim to improve stormwater management practices and water quality of Lake Superior, which was identified as the community's prime asset. The updates also ensure that public access to the waterfront is maintained, and strives to promote uses which are complementary to and complemented by their proximity to the lake. The Comprehensive Plan also highlights a need to protect and connect the lake, and the revisions to the Waterfront-Overlay district proposed will ensure that water quality and waterfront access are prioritized in future private development of the waterfront.

2. Promotes public health, safety, morals, and the general welfare, as well as efficiency and economy in the process of development

The proposed UDO text amendment would promote public health by ensuring the Waterfront Overlay District promotes new developments which preserve environmental integrity and protect water quality. A clean environment, especially clean water, is central to public health and quality of life. The prohibited uses identified reflect use types which were consistently identified through public input as those which would not be compatible with the community's vision for the waterfront. The proposed requirements that a minimum of 50% of landscaping by area be native plantings (as defined by DNR at that time for our region) strike a balance between requiring environmental best practices and creating flexibility to ensure efficiency and economy in the process of development. This 50% threshold was identified by the Sustainability Committee, who specifically discussed requiring a higher proportion of plantings and recommended 50%.

3. Compatible with the present zoning and conforming uses of property and the character of neighborhoods

The proposed text amendments are compatible with present zoning standards. The waterfront development area as a whole is zoned for high quality, low impact development. The changes require more stringent development standards in regard to ecological sustainability in order to better conform to updated Comp Plan and Waterfront Development Plan goals. The changes do not suggest alterations to allow any additional land uses, but do prohibit certain uses deemed incompatible with the stated community vision for the waterfront. Clearly defined prohibited uses ensure that unwanted and unsustainable development cannot be considered as new uses along the waterfront, upholding/improving the character of the existing neighborhoods.

4. Consistent with UDO Principles of Sustainability

The proposed text amendments are rooted in environmental sustainability. The changes largely promote native landscaping practice, green infrastructure, and ensuring the ecological integrity of the waterfront. Specifically, the changes are consistent with the UDO Principles of Sustainability in the following sections:

1.4.B.2: Reduce dependence on chemicals and other manufactured substances that can accumulate in nature.

By requiring a specific amount of native plantings for new developments, the

changes support the UDO in reducing the need for pesticides and herbicides. Native landscaping generally requires far fewer pesticides and herbicides, which is a Principle of Sustainability that is particularly important to promote near the lake.

1.4.B.3: Reduce dependence on activities that harm life-sustaining eco-systems.

This section of the UDO highlights reducing the dependence on activities that harm ecosystems. The proposed changes incentivize stormwater management and erosion control best practices through incorporation of native plantings and green infrastructure, as is mentioned in the UDO. The changes support development that respects natural systems and protect the lakefront from future adverse development impacts. By prioritizing native landscaping and prohibiting unsustainable uses, the changes work to protect the waterfront, one of the regions greatest natural assets.

1.4.B.4: Meet the hierarchy of present and future human needs fairly and effectively.

The proposed text amendments encourage high quality, sustainable developments with attention to public accessibility and recreation. According to Principles of Sustainability and the Comp Plan, developments allowed in the Waterfront-Overlay District should support economic development and quality of life without harmful impacts to the natural environment.

Recommendation

Staff recommends APPROVAL of the suggested changes as indicated in red and ~~crossed-out~~ signifies sections where language is removed.

Additionally, as a Public Hearing is scheduled for the proposed text amendments, the Plan Commission should hear all input from the public prior to making a decision. The required Class 2 Public Hearing Notice was issued to give the public sufficient notice about the nature of these text amendments.

Approvals are based on background information provided by the applicant and known conditions. Deviations from this information may be considered a change in the application and reconsideration and possible revision to the approvals may be made by the Plan Commission and Common Council.

Section 4.46 W-O Waterfront Overlay District

A. Intent

1. ~~The Ashland's Lake Superior waterfront~~ area is encompassed by the W-O Waterfront Overlay District and is a valuable asset to the City of Ashland. The intent of the district is to impose land use controls (in addition to those in the applicable underlying zoning districts) to accomplish the following:
 - a. ~~Protect Use property in the district in a manner that promotes economic development, affords a high quality of life, and protects~~ and enhances the natural environment in Ashland by requiring and incentivizing sustainable development practices, such as the use of native plant landscaping and green infrastructure, to improve water quality along Ashland's lakeshore, and add biodiversity and habitat for wildlife, and improve the quality of life for all Ashland residents;
 - b. ~~Use property in the district in a manner that both promotes economic development and community amenities and affords a high quality of life for all residents, including those who live in Ashland's lakefront neighborhoods and those who visit the lakefront for recreation;~~
 - a. ~~—~~
 - b.c. ~~Protect and enhance public investment in the waterfront area while stimulating encouraging high-quality, sustainable~~ private development where appropriate;
 - c.d. ~~Encourage high quality development and amenities that areis~~ attractive and that promotes a unique sense of place tied to the waterfront; ~~and~~
 - e. ~~Enhance and encouragePreserve~~ public access and enjoyment of the waterfront and encourage new access points and recreation opportunities; and
 - d.f. ~~Prohibit those uses which are not appropriate or desired on Ashland's waterfront because they do not accomplish the goals outlined above.;~~
2. If the City of Ashland has adopted a plan for any area in the W-O Waterfront Overlay District, then the application of this Ordinance is intended to be consistent with the vision, goals, objectives, and policies of that plan. Such plans include, but are not limited to, the Waterfront Development Plan and various plans included in the Ashland Comprehensive Plan.

B. District Boundaries

The W-O Waterfront Overlay District overlays ~~and is bound by the following underlying districts: W-SFR Waterfront Single-Family Residential, W-MRC Waterfront Mixed Residential/Commercial, W-CRM Waterfront Conference/Residential Mix, W-C Waterfront Commercial, W-CC Waterfront City Center, W-I Waterfront Industrial, and W-PI Waterfront Public/Institutional~~ the area of the City to the north and west of Lake Shore Drive East. The Overlay District is bound by Lake Superior, Lake Shore Drive East, 34th Avenue East, and lake Park Road.

C. Administration

1. **General application.** The design guidelines specified in this Section shall apply to all properties in Waterfront Overlay District.

2. **Underlying zoning district.** The regulations for the underlying zoning district shall remain in effect, except as otherwise provided in this Ordinance.
3. **Compliance with design guidelines.** Given the pattern of existing development in this District and the size and configuration of the existing parcels, it may not be feasible for all new development or redevelopment in the District to be consistent with all of the design guidelines specified in this Section. Consequently, prior to action on a building permit, site plan approval, or other applicable approvals associated with a proposed development application, the appropriate review and approval authority (pursuant to Part 2 of this Ordinance) shall make a determination that the proposed development is consistent with the intent of the design guidelines of this Section when considered as a whole. However, the development proposal need not be in complete conformance with every design guideline specified herein in order to receive approval.
4. **Supremacy of regulations.** In some cases, parcels may be in more than one overlay district. If any conflict between the regulations applicable in another overlay district (or the underlying zoning district) and the design guidelines of the Waterfront Overlay District occurs, the more restrictive provisions shall take precedence.

D. Design Standards and Guidelines

1. **Intent.** The following design standards and guidelines are intended to further the intent of Waterfront Overlay District by providing review guidance relating to specific design elements that affect the appearance and function of uses in the Waterfront Overlay District. The standards and guidelines are not intended to discourage development, but to encourage development that is functional, attractive, and meets the intent of this District. The word “shall” as used in this Ordinance refers to a standard that is a mandatory requirement. The word “should” refers to a guideline that is encouraged and discretionary, but not mandatory.
2. **Principal building setback from the ordinary high water mark.** All principal buildings with frontage on Lake Superior shall be set back a minimum of seventy-five (75) feet from the ordinary high water mark of Lake Superior and thirty (30) feet from the top of bluffs, unless issued a conditional use permit pursuant to [Section 3.9: Conditional Use Permit](#). Requirements set forth in [Part 8: Environmental Protection](#) may also apply. Where principal buildings exist on the adjoining parcels on both sides of a proposed building site, the subject principal building setback may be altered to conform to the prevailing setback, but in no case shall a principal building be set closer than fifty (50) feet to the ordinary high water mark.
3. **Accessory building setback from the ordinary high water mark.** Accessory buildings shall not be placed between the principal building and the ordinary high water mark, on properties with frontage on Lake Superior. However, a water oriented accessory building (such as a boathouse or gazebo) may be placed within ten (10) feet of the ordinary high water mark, provided that the accessory building does not exceed four hundred (400) gross square feet and one (1) story in height.
4. **Impervious surface setbacks.** Impervious surfaces shall have a minimum setback of fifty (50) feet from the ordinary high water mark of Lake Superior and a minimum setback of thirty (30) feet from the top of bluffs. Trails, walks, and similar uses shall be exempt from this standard provided the use will not contribute to destructive erosion or allow unfiltered runoff into Lake Superior.
5. **Undisturbed vegetative buffer adjacent to Lake Superior.** Where feasible, a minimum undisturbed vegetative buffer of thirty five (35) feet shall be maintained from the ordinary

high water mark of Lake Superior. Slopes over twenty (20) percent extending beyond the minimum vegetative buffer shall necessitate a wider buffer. Native waterfront vegetation ~~should~~shall be established in the buffer area to stabilize the soils and to protect water quality. Selective removal of dying, diseased, invasive vegetation, and weeds is permitted; however, replacement with native waterfront vegetation is ~~encouraged~~required. *For a list of recommended native plants, please refer to the Wisconsin Department of Natural Resources document entitled Wisconsin Native Plants: Recommendations for Landscaping and Native Community Restoration.*

6. Sustainable Waterfront Development & Landscape Incentives. In order to encourage sustainable development practices within the Waterfront Overlay District, all new development may incorporate any of the following sustainability options in return for a reduction in other requirements, as specified below:

a. Onsite stormwater management through green infrastructure

(1) Pervious pavement

(2) Vegetated bioswale

b. Native landscape plantings

c. Shoreline restoration using native plants

5.7. Building design. Building design shall be consistent with the design standards specified in *Section 6.2: General Building and Site Design Standards and Guidelines*. In addition, the following guidelines shall apply to the maximum extent practical:

- a. Architectural style or theme. New buildings shall relate to City adopted or approved plans that specify an architectural style or theme for the waterfront. If an approved plan does not exist, but a particular neighborhood in the waterfront has a desirable existing architectural theme or style as determined by the applicable approval authority, then the new buildings in the neighborhood should be compatible with the existing theme.
- b. Materials. Construction shall be of quality finish materials including, but not limited to, brick, stone, stucco, wood, and architectural concrete. Composite boards manufactured from wood or other products, such as hardboard or hardplank, may be used when the board product is less than six (6) inches wide. Where horizontal siding is used, it must be shiplap or clapboard siding composed of boards with a reveal of three (3) to six (6) inches, or vinyl or aluminum siding that is in a clapboard or shiplap pattern where the boards in the pattern are six (6) inches or less in width. Unfinished concrete or masonry units, corrugated metal, plywood, and sheet pressboard are not allowed.
- c. Colors. Predominate exterior colors should be neutral or earth tone, but bright colors may provide a compatible accent.
- d. Screening. Service areas, refuse collection areas, storage areas, parking areas, and loading areas shall be located away from or screened from public view, including views from Lake Superior.

6.8. Views.

- a. Views of Lake Superior. New structures and plantings shall not be located in a manner that restricts views of Lake Superior from north-south avenues and from public trails. All new landscape screening shall consist of at least 50% native plants.
- b. Views of Lake Superior from Structure. Where views of Lake Superior are possible from within the structure, the structure design shall maximize views of Lake Superior for employees and customers, considering orientation and window coverage.
- c. Views from Lake Superior. Views of the proposed development from Lake Superior shall be considered. Landscape screening shall be provided to screen objectionable views (such as refuse collection areas and storage areas) from the perspective of those viewing the development from Lake Superior. All new landscape screening shall consist of at least 50% native plants.

7.9. Parking, access, and circulation. Parking, access, and circulation shall be as specified in [Section 6.3: Parking and Loading](#) of this Ordinance. In addition, the following guidelines shall apply:

- a. Location of parking. Parking between the principal building and the public right-of-way or between the principal building and Lake Superior is shall be prohibited unless no other practical alternatives exist or unless proper buffering and landscaping measures are used pursuant to [Section 6.4: Landscaping, Buffers, and Screening](#).
- b. Connection to public trail or sidewalk. Pedestrian systems that provide public access to the waterfront should be provided where feasible. The quality of the pedestrian system should be enhanced by means of appropriate landscaping, lighting, graphics, and furnishings. Internal pedestrian systems should coordinate with adopted City plans for public trails, bikeways, walks, and other movement systems associated with the waterfront.

8.10. Landscaping and grading. Landscaping shall be consistent with the landscaping standards specified in [Section 6.4: Landscaping, Buffers, and Screening](#) and the grading standards specified in [Section 6.1, H.: Grading, Filling, and/or Excavation](#). In addition, the following standards and guidelines shall apply:

~~Landscaping and grading should provide continuity and harmony between development parcels;~~

- a. All new landscaping must consist of at least 50% native landscaping materials to fulfill the landscape standards in the Waterfront Overlay District. For a list of recommended native plants, please refer to the Wisconsin Department of Natural Resources document entitled Wisconsin Native Plants: Recommendations for Landscaping and Native Community Restoration.
- b. Landscaping and grading should provide continuity and harmony between development parcels.

~~Landscaping and grading should provide continuity and harmony between development parcels;~~

- c. The modification of existing grades should consider the scenic quality of the waterfront area and storm water management best management practices.

9.11. Signs. Signs shall be consistent with the standards specified in [Section 6.6: Signs](#). In addition, the following guidelines shall apply:

- a. Signs should enhance the Waterfront Overlay District's visual appeal and its sense of place;

- b. Signs should not block views of Lake Superior;
- c. Other than small identification or directional signs, signs should not be placed so that they are visible from Lake Superior;
- d. Wall signs should be designed to fit within the architectural space intended for signage;
- e. Signs seen in relation to other signs should be compatible in location, shape, style, graphics, size, material, illumination, and color, while allowing individual expression and identification. When viewed as a whole, signs in the district should be seen as having been coordinated. A cluttered, haphazard appearance should be avoided.

12. Utilities. All utilities (including, but not limited to, telephone, electrical, and cable) shall be installed underground, where feasible. Utility components required to be above ground (including, but not limited to, transformers and meters) shall be screened by landscaping or decorative wall and/or be located away from public view.

13. Prohibited Uses. The following uses are not permitted in the Waterfront Overlay District. Where there is any discrepancy between restrictions that appear on this list and the allowable uses in the base zoning district, the prohibited uses listed here shall take precedent.

a. Adult entertainment

b. Gas filling station

c. Parking as a principal use

d. Vehicle sales and/or rental

e. Vehicle repair and/or service

f. Storage of hazardous waste materials (as principal or accessory use)

g. etc [Will likely be impacted by changes in permitted/conditional uses and



STAFF REPORT

Plan Commission – December 3, 2021

Agenda Item # 5d: Site Plan review for construction of a new garage with 2 Accessory Dwelling Units (ADU's)

Applicant: Anthony Jennings

Property Address: 315 Turner Rd

Parcel No: 201-04765-0400

Zoning District: Residential Estate (RE)

Staff Contact: Megan McBride and Jaclynn Findlay

Background

Anthony Jennings is requesting review and approval of the proposed site plan to construct a new garage with two (2) Accessory Dwelling Units (ADU's) on parcel #201-04765-0400. This site is located at 315 Turner Road, and is the current office of Anthony Jennings & Crew Real Estate (second floor) and formally the Platter restaurant (first floor). The garage will be 60' x 28' (1,680 sq ft) in size, which includes three garage stalls on the first level and two ADU's, one on the first level and one on the second level. They will also be paving and striping the existing parking lot to provide 34 stalls, including two (2) ADA spaces. To assist with stormwater management and beautification, a rain garden has also been proposed as part of this project.

The proposed building design was unanimously approved for a Certificate of Appropriateness by the Historic Preservation Commission on November 22, 2021.

Standards for Review

The City of Ashland's Unified Development Ordinance, Section 781 Section 3.20 Site Plan Approval (all subsections thereof), creates the legal framework to regulate, administer, and enforce the site plan review process for the City of Ashland.

Site Plan Review

The following criteria were used to review the submitted site plan:

1. Consistency with Comprehensive Plan.

The proposed development is consistent with the goals and principles established in the Comprehensive Plan. The Comp Plan encourages the City to diversify and upgrade its existing housing stock through infill housing. ADUs provide a more dispersed and incremental way of offering additional housing options, without relying on sprawl development. The proposed

development is also consistent with the Comp Plan principles of sustainability as ADUs promote efficiency in land use and the city's existing infrastructure, a broader range of accessible and more affordable housing, and increase the diversity of housing options in Ashland.

2. Project Compatibility.

The addition of the proposed garage with two ADU's would be compatible with the existing uses on the site, the Residential Estate (RE) zoning district, the intent of the City's recently amended ADU ordinance standards which were developed as a central focus of our Health in All Policies project. The subject parcel is approximately 3.2 acres in size, well exceeding the ½ acre minimum lot size in the RE zoning district. This makes the property compatible for the development of up to 2 ADU's, which will provide 2 additional housing units in the City without creating an inappropriate density for the site or surrounding area. The proposed design has been deemed compatible with the existing historic structure on the property by the City's Historic Preservation Commission, which unanimously voted to grant a Certificate of Appropriateness for the proposed design on November 22, 2021.

3. Site Design

a. Site Organization.

The new building is located to facilitate optimal shared utilities, driveways, parking areas and pedestrian access as the existing mixed use commercial building onsite. This promotes maximum efficiency in use of the site, and will facilitate creation of 2 additional residential units as well as improvements to the site. Paving and striping the site will also promote better site organization than the currently unstriped parking area that has served the commercial uses on site.

b. Location of Buildings.

The location of the proposed development is appropriately located in accordance with the Residential Estate (RE) zoning district's setback requirements from the parcel lines, the street, and the appropriate spacing from the principle structure.

c. Drives, Parking, and Circulation.

• Driveway.

The proposed development includes no changes to the driveway ingress, egress.

• Parking.

Based on the Gross Floor Area of the existing principle structure, a maximum of 47 off-street parking spaces would be permitted. Therefore, the proposed number of 34 spaces meets UDO standards for the Residential Estate zoning district.

- Pedestrian Access.** The proposed building is ADA accessible, and shall meet all pedestrian accessibility requirements related to sidewalk access and connectivity to the parking area.

a. Grading / Drainage / Stormwater.

- Erosion Control/Grading** – The proposed building would not be large enough in size to require an erosion control plan.
- Stormwater/Drainage** – The proposed building is not large enough in size for the Public Works Department to anticipate significant alterations to site drainage or stormwater management. Utilities plans will be needed prior to issuance of a

Right-of-Way permit by the PW Department for connection to City utilities, and increased demand on City

b. Utility Services.

The site is served by City utilities, and will require approval through the Public Works Department for connection to existing utility service for the 2 new residential units.

c. Fire Prevention.

The City requires a Knox Box on all new construction and development projects if the business is not open 24-7. Following final design of the plans, the applicant shall provide a CD copy of the final Building Floor Plan Layout and Utility Plan (in a .dxf format), for the Fire Department's pre-fire planning of the structure's layout. Such information shall be provided to the Fire Department prior to the issuance of the Occupancy Permit.

d. Views.

The proposed development will not have a detrimental impact on any scenic vistas or view sheds.

e. Environmental Issues.

There are no environmental issues which require additional consideration associated with this project.

f. Landscaping/Screening.

Addition of the proposed accessory structure would not require additional landscaping because it is under the 2,000 sq ft disturbance threshold. However, the parking area is over twenty (20) spaces and is therefore required to incorporate at least ten (10) percent of the total interior parking area landscaped with plantings. Landscaping plans identifying species shall be submitted to the Planning Department prior to issuance of a building permit.

g. Signs.

No signage is proposed.

h. Lighting.

All exterior lighting must be full cutoff, and specs for any new exterior lighting fixtures shall be submitted to the Planning and Development office prior to issuance of a Building Permit.

4. Building Design.

The proposed accessory structure design is compatible and complementary with the existing principle structure, and meets all design standards identified in the UDO. The ADU shall have a poured concrete frost wall foundation, with LP Smartside horizontal siding and LP Smartside shake siding on the dormers. The shingles and color scheme of the proposed development will match those of the principle structure. The proposed building design was unanimously approved for a Certificate of Appropriateness by the Historic Preservation Commission on November 22, 2021.

5. Principles of Sustainability

Site features of this renovation/expansion that address principles of sustainability laid out in the UDO include:

- Encouraging infill development to help reduce sprawl
- Provide a range of housing options that meet the diverse needs of the community

Review Recommendation

Staff recommends APPROVAL of the proposed site plan for the proposed construction of a new garage with 2 Accessory Dwelling Units (ADUs) at 315 Turner Rd (parcel #201-04765-0400), subject to the following conditions:

- The parking area is over twenty (20) spaces and is therefore required to incorporate at least ten (10) percent of the total interior parking area landscaped with plantings. Landscaping plans identifying species shall be submitted to the Planning Department prior to issuance of a building permit.

THE PLATTER

PROJECT NUMBER: 19-3418

OWNER:	ANTHONY JENNINGS & CREW REAL ESTATE, LLC 315 TURNER ROAD ASHLAND, WI 54806
ARCHITECT:	C&S DESIGN & ENGINEERING, INC. 2023 6th STREET WEST ASHLAND, WI 54806 P: 715-682-0330
STRUCTURAL ENGINEER:	C&S DESIGN & ENGINEERING, INC. 2023 6th STREET WEST ASHLAND, WI 54806 P: 715-682-0330
CONSULTANT:	N/A
PLUMBING DESIGNER:	N/A
HVAC ENGINEER:	N/A
ELECTRICAL ENGINEER:	N/A

	KEY NOTE
	ROOF SLOPE & DIRECTION
	WINDOW TAG
	DOOR TAG
	SLOPE OF SLAB
	INTERIOR ELEVATION TAG
	STEP/ELEVATION CHANGE
	ELEVATION MARKER
	WALL TYPE (SEE PLAN OR LEGEND FOR ADD. INFO)
	ROOF SLOPE
	GRID LINE
	BUILDING ELEVATION
	BUILDING SECTION
	WALL SECTION
	DETAIL/ENLARGED PLAN CALLOUT
	DETAIL CALLOUT

PROJECT NAME:	THE PLATTER - NEW GARAGE		
PROJECT ADDRESS:	315 TURNER ROAD ASHLAND, WI 54806		
OWNER:	ANTHONY JENNINGS & CREW REAL ESTATE, LLC		
PARCEL NUMBERS:	201-04765-040		
LEGAL DESCRIPTION:	LOTS 2 - CERTIFIED SURVEY 710 PT. CITY OF ASHLAND, ASHLAND COUNTY, WISCONSIN NE 1/4 SW 1/4 SECTION 6, T47N R4W, LAND CONTRACT		
LAND AREA:	3.6 ACRES		
ZONING DISTRICT:	G2 - COMMERCIAL		
GOVERNING CODES:	2015 INTL BUILDING CODE 2015 INTL ENERGY CONSERVATION CODE 2015 INTL EXISTING BUILDING CODE 2015 INTL FUEL GAS CODE 2015 INTL MECHANICAL CODE ANSI A117-1:2009 ACCESSIBILITY CODE		
OCCUPANCY GROUP:	B, S-2		
CONST TYPE:	VB		
BLD GROSS AREA:	B = 9,770 SF S-2 = 4,922 SF TOTAL = 14,692 SF		
PROJECT NET AREA:	B = 9,770 SF S-2 = 4,922 SF TOTAL = 14,692 SF		
BLD VOLUME:	OVER 50,000 CF YES ☒ NO ☐		
# OF STORIES:	1 STORY + MECHANICAL MEZZANINE		
ALLOWABLE AREA:	9,000 SF / STORY		
ALLOWED STORIES:	1 STORY		
OCC. SEPARATION:	SEPARATED USES		
REQ SEPARATION:	(B) / (S-2) = 2 HR		
SPRINKLER:	YES ☐ NO ☒		
FIRE ALARM SYS:	YES ☐ NO ☒		
OCCUPANT LOAD:	(B) = 100 GROSS SF / OCC 9,770 / 100 = 98 OCCUPANTS S-2 = 300 GROSS SF / OCC 4,922 / 300 = 17 OCCUPANTS 115 TOTAL OCCUPANTS		
EXITS REQD:	(B) = 2 EXITS FOR OCC LOAD > 49 (S-2) = 1 EXIT FOR OCC LOAD < 29		
EXIT TRAVEL MAX:	(PER IBC TABLE 1016.1) = 70 FEET		
PLUMBING FIXTURES:	B = 146 OCCUPANTS (13 MALE/FEMALE) S-2 = 26 OCCUPANTS (13 MALE/FEMALE) TOTAL = 86 MALE/86 FEMALE		
W.C. =	1 PER x FEMALE, 1 PER x MALE = 2 FEMALE & 2 MALE		
LAV. =	1 PER 100 FEMALE / MALE = 1 FEMALE & 1 MALE		
D.F. =	1 PER 500 OCC = 1 TOTAL		
PARKING:	N/A		
STRUCTURAL LOADS:			
BALANCED SNOW LOAD:	41.6 psf		
UNBALANCED SNOW LOAD:	79.7 psf		
ROOF LOAD (DESIGN USE):	80 psf		
FLOOR LIVE LOAD:	125 psf		
WIND LOAD (HORIZONTAL):	21 psf		
WIND LOAD (UPLIFT INTERIOR):	20 psf		
WIND LOAD (UPLIFT AT EAVES):	28 psf		
WIND EXPOSURE:	C FULLY EXPOSED		
SNOW EXPOSURE FACTOR Ce:	0.9		
SNOW IMPORTANCE FACTOR I:	1.0		
WIND FACTOR Cf:	1.0		
SOIL BEARING CAPACITY:	2,000 PSF (CLAY SAND FILL)		
CONCRETE COMP. STRENGTH:	4,000 PSI @ 28 DAYS		
REINFORCING STEEL:	60,000 PSI TENSILE (GRADE 60)		

1. THE CONTRACTORS ARE TO KEEP A SET OF STATE APPROVED PLANS AT THE JOB SITE AT ALL TIMES.

2. A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE CLIENT AND CONTRACTOR IMMEDIATELY AFTER COMMENCEMENT OF WORK.

3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE STATE BUILDING, PLUMBING, ELECTRICAL, AND HVAC CODE CURRENTLY IN EFFECT.

4. ALL STATE AND LOCAL BUILDING PERMITS WILL BE OBTAINED BY THE CONTRACTOR AND MUST BE POSTED AT THE JOB SITE BY THE CONTRACTOR, U.N.O.

5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE COMMENCING CONSTRUCTION. IF ANY DISCREPANCIES OR ANY QUESTIONS REGARDING THESE, OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.

6. THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE DESIGN PROFESSIONAL FROM ANY CLAIM OR SUIT WHATSOEVER ARISING FROM, OR ALLEGED TO HAVE ARISEN FROM, THE CONTRACTORS PERFORMANCE OR THE FAILURE OF THE CONTRACTOR TO OBTAIN THE NECESSARY PERMITS IN THE INTENT OF THE CONTRACT DOCUMENTS.

7. THE WORK UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC. FOR GENERAL CONSTRUCTION AND ALL MECHANICAL AND ELECTRICAL WORK AND EQUIPMENT TO BE REQUIRED FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.

8. ALL PRODUCTS AND MANUFACTURERS OF MATERIALS/FINISHES SET PER ARCHITECTURAL DRAWINGS OR SPECIFICATIONS. SUBSTITUTIONS OF EQUAL QUALITY AND PERFORMANCE PERMITTED AS APPROVED BY DESIGN PROFESSIONAL IN CHARGE.

9. ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS AND AS PER CODES AND STANDARDS IN EFFECT AT THE TIME OF INSTALLATION.

10. THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE.

11. THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER, OR CHARGE OF, AND WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL FOLLOW ALL ORDINANCES, REGULATIONS, AND SEQUENCE OF WORK PROCEDURES IN REGARDS TO THE MANNER IN WHICH THE STRUCTURE IS BUILT.

12. ALL PROPERTY LINES ARE ASSUMED UNLESS A CERTIFIED SURVEY MAP HAS BEEN PROVIDED FOR THE PROPERTY.

13. ALL EXISTING BACKS ARE MEASURED FROM THE EAVE LINE OF THE BUILDING.

14. THE CONTRACTOR IS TO HAVE ALL THE UTILITY LINES VERIFIED BY THE APPROPRIATE UTILITY LOCATING SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE A LOCATE BEFORE ANY EXCAVATION OR GROUND PENETRATION.

15. THE CONTRACTOR SHALL BE AWARE OF ALL PRIVATE UTILITIES LOCATIONS SUCH AS WATER, SEWER, AND GAS.

16. ALL DAMAGE TO EXISTING DRIVEWAYS, ROADWAYS, STREETS, CONCRETE SIDEWALKS, LAWNS, ETC. MUST BE RESTORED TO ORIGINAL CONDITION THEY WERE BEFORE SLOPE REMOVAL COMMENCED.

17. PROVIDE A MINIMUM OF 2% DRAINAGE SLOPE AWAY FROM THE ENTIRE PERIMETER OF THE BUILDING FOR THE FIRST 20 FEET, U.N.O.

18. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTING BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEATHING, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.

19. THE GENERAL CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK, JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THAT THEY MEET WITH NEAT, STRAIGHT JOINTS AND SEAMS OR OVERLAPS. INSTALLED EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PRACTICES AND CODES. THE CONTRACTOR SHALL BE AWARE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.

20. ALL EXISTING BUILDING DIMENSIONS MUST BE FIELD VERIFIED. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR(S) TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES.

21. ALL DIMENSIONS TO FACE OF STUD OR CONCRETE WALLS, U.N.O.

22. SEE SITE PLAN FOR NOTES AND DIMENSIONS NOT SHOWN.

23. ALL ELEVATIONS, INTERIOR FINISHES, AND FINISH SCHEDULE FOR MATERIALS NOT CALLED OUT.

24. IF APPLICABLE, THE FIRE RATINGS OF WALLS AND CEILINGS MUST BE MAINTAINED BEHIND ALL INSTALLED FIXTURES (BATH UNITS, VANITIES, CEILING FANS, ELECTRICAL BOXES, EXHAUST FANS).

25. THE CONTRACTOR SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT-INS AND FINISHES.

26. THE CONTRACTOR SHALL PROVIDE ALL OPERATING AND MAINTENANCE DATA AND ALL MANUFACTURERS, INSTALLERS AND APPLICATORS GUARANTEES, BONDS, WARRANTIES AND SERVICE INSTRUCTIONS.

27. CONFIRM WINDOW OR DOOR NUMBER WITH MFR. AND SITE CONDITIONS. ALL OPERABLE WINDOWS AND DOORS SHALL HAVE A FIELD VERIFIABLE NUMBER.

28. CONTRACTOR TO VERIFY R.O. REQUIREMENTS FOR WINDOWS & EXTERIOR DOORS WITH WINDOW MANUFACTURER PRIOR TO ORDERING.

29. REFERENCE ELEVATIONS AND/OR DRAWING SECTIONS FOR WINDOW OPERATIONS.

30. REFER TO ENGINEERED TRUSS DRAWINGS, IF APPLICABLE, FOR PLACEMENT OF TRUSS COMPONENTS. CONTRACTOR IS TO FIELD VERIFY ALL TRUSS DIMENSIONS BEFORE PROCEEDING ON OF TRUSSES.

31. ALL PIPING INSTALLATIONS SHALL COMPLY WITH NFPA 54 - 2015, NATIONAL FUEL GAS CODE.

ATS	TITLE SHEET
C100	SITE PLAN
A100	FOUNDATION
A101	FIRST FLOOR
A102	SECOND FLOOR
A200	ELEVATIONS
A300	CROSS SECTION
P100	PLUMBING
M100	MECHANICAL
E100	ELECTRICAL



ABOVE FINISH FLOOR	A.F.F.	CONTRACTOR	CONTR.	FIRE EXTINGUISHER	F.E.	JANITOR	JAN.	OVERFLOW DRAIN	O.F.D.	STEEL	STL
ACCUFLOIL CEILING TILE	ACT.	CONTROL JOINT	C.J.	FIRE EXTINGUISHING CABINET	F.E.C.	JOINT	JT.			STORAGE	STOR.
ADDITIONAL	ADJ.	COURSES	CF	FIRE RATED	FR.	JOIST	JST.	PAINT	PT.	STREET	ST
ADJUSTABLE	ADJ.	CUBIC FOOT(AGE)	CF	FIXTURE	FIX			PAINTED	PTD.	STRUCTURAL	STRUCT.
ALIGN WITH BELOW	A.W.B.			FLASHING	FLSH	LAMINATED	LAM.	PANEL	PNL.	SUSPEND (ED)	SUSP. (D)
ALTERNATE	ALT.	DETAIL	DET.	FLOOR	FLR.	LAVATORY	LAV.	PARTITION	PTN.		
ALUMINUM	ALUM.	DIAMETER	DIA.	FLOORING	FLRG	LEVEL	LVL.	PERFORATED	PERF.	TELEPHONE	TEL.
ALUMINUM DISABILITIES ACT APPROXIMATELY	ADA	DIMENSION	DIM.	FLOOR PLAN	F.P.	LIGHTING	LGT.	PLASTIC LAMINATE	PLAM.	THEOPHASTIC POLYOLEFIN	TPO
	DISP.	DISPENSER	DISP.	FOOTING	FTG.	LINE	LN.	PLATE	PLT.	THICKNESS	THK.
	DR	DOOR	DR	FOUNDATION	FDNT.	LINOLEUM	LINO.	POLYVINYL CHLORIDE	PVC	TOP OF	T.O.
BASEMENT	BSMT.	DOWN	DN.	FLUORESCENT	FLUR	LONG LEG HORIZONTAL	LLH	POUNDS PER SQUARE INCH	PSI	TOP OF CONCRETE	T.O.C.
BEAM	BM.	DOWNSPOUT	DS			LONG LEG VERTICAL	LLV	PRESERVATIVE TREATED	P.P.T.	TOP OF FOOTING	T.O.F.
BELOW	BLW.	DRAWING(S)	DWG. (S)	GALVANIZED	GALV.	LOW POINT	L.P.	PROPERTY	PROP.	TOP OF RAIL	T.O.R.
BETIMINOUS	BIT.	DRINKING FOUNTAIN	D.F.	GAUGE	GA.			QUANTITY	QTY.	TOP OF STEEL	T.O.S.
BLOCK	BLK.			GENERAL CONTRACTOR	G.C.			QUARRY TILE	QTY.	TOP OF WALL	T.O.W.
BLOCKING	BLKG.	EACH	EA	GLASS	GL.	MANUFACTURER	M.F.			TREATED	T.
BOARD	BD.	ELECTRICAL	ELEC.	GYPNUM	GYP	MASONRY OPENING	M.O.			TRAY	TRT
BOTTOM	BOT.	ELEVATION	ELEV.	GYPNUM WALLBOARD	GWB.	MATERIAL	MAT.	RADIUS	R.	TRENCH DRAIN	T.D.
BOTTOM OF	B.O.	ELEV.	ELEV.			MAXIMUM	MAX.	REINFORCING	REINF.		TYP.
BRICK COURSE	B.C.	ENCLOSURE	ENCL.	HANDICAP ACCESSIBLE	H.C.	MECHANICAL	MECH.	REQUIRED	REQD.		
BUILDING	BLDG.	EQUAL	EQ.	HARDWARE	HDW.	MEMBRANE	MEMB.	RESILIENT FLOORING	RSL.	UNDERWRITERS	U.L.
BUILT-UP ROOFING	BLUR.	EQUIPMENT	EQUIP.	HEATER	HTR.	METAL	MTL.	REVISION	REV.	LABORATORIES	
		EXHAUST	EXH.	HEATING, VENTING, AND AIR CONDITIONING	H.V.A.C.	MINIMUM	MIN.			UNLESS NOTED OTHERWISE	U.N.O.
CARPET	CPT.	EXISTING	EXIST.			MISCELLANEOUS	MISC.	RISER	R.		
CAST-IN-PLACE	C.I.P.	EXPANSION	EXP.	HEIGHT	HGT.	MOUNTED	MTD.	ROOF DRAIN	R.D.	VENYER PLASTER	V.P.
CATCH BASIN	C.B.	EXPANSION JOINT	E.J.	HIGH POINT	H.P.	NON-COMBUSTIBLE	NC.	ROOM	RM.	VERIFY I.F.	V.I.F.
CEILING	C.C.	EXPOSED	EXP.	HOLLOW CORE	H.C.	NOT APPLICABLE	N.A.	ROUGH OPENING	R.O.	VERTICAL	VERT.
CEMENT	CEM.	EXTERIOR	EXT.	HOLLOW METAL	H.M.	NOT IN CONTRACT	N.I.C.	RUBBER	RUB.	VINYL COMPOSITION TILE	VCT
CENTER LINE	CL.	FACE OF	F.O.	HORIZONTAL	HORIZ	NOT TO SCALE	N.T.S.			VINYL WALL COVERING	VWC.
CERAMIC TILE	C.T.	FACE OF CONCRETE	F.O.C.	HOUR	HR.	NUMBER	N.	SECTION	SEC.		
CLEARANCE	CLR.	FACE OF FINISH	F.O.F.					SHEET	SHT.	WATER CLOSET	W.C.
CLOSET	CLO.	FACE OF FINISH	F.O.F.	INCANDESCENT	INCAN.	OCCUPANT / OCCUPANCY	OCC.	SIMILAR	SIM.	WATERPROOFING	W.P.
COLUMN	CLO.	FACE OF MASONRY	F.O.M.	INCH	IN.	ON CENTER	O.C.	SOLID CORE	S.C.	WELDED WIRE FABRIC	W.W.F.
CONCRETE	CONC.	FEET	FT.	INCLUDING	INCL.	OPENING	O.P.	SPECIFICATIONS	S.P.	WIDE FLANGE	W.F.
CONCRETE MASONRY UNIT	CMU	FINISH	FIN	INSIDE DIAMETER	I.D.	OPPOSITE	O.P.	SQUARE	SO.	WINDOW	WW.
CONSTRUCTION	CONSTR.	FINISH FLOOR ELEVATION	F.F.E.	INSULATION	INS.	OPPOSITE HAND	O.H.	SQUARE FOOT(AGE)	SF	WOOD	WO.
CONTINUOUS	CONT.	FINISH GRADE	F.F.G.	INTERIOR	INT.	OUTSIDE DIAMETER	O.D.	STAINLESS STEEL	SS	WITHOUT	WO.
		FINISH SURFACE	F.F.S.					STANDARD	STD.	WOOD	WO.

PROPOSED NEW GARAGE / APARTMENTS FOR:

THE PLATTER

315 TURNER ROAD, ASHLAND, WI 54806

TITLE PAGE

DESIGN & ENGINEERING
with framework design inc

2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

ENGINEERING

DESIGNED: **L.D.**

RAWN: T.L.P

SCALE: **AS NOTED**

DATE: **NOVEMBER 1, 2021**

19-3418

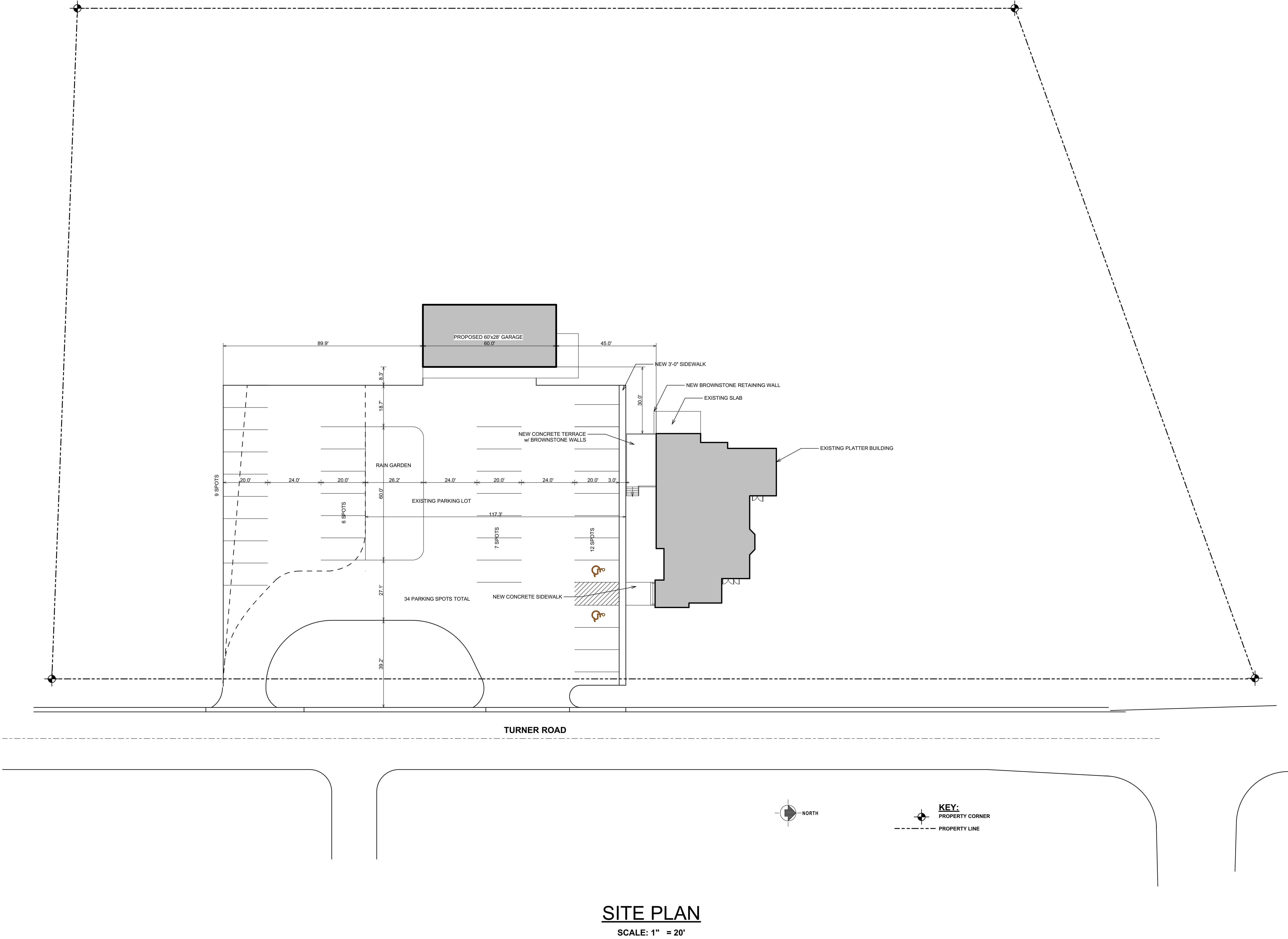
REVISIONS

VED

**NOT FOR
CONSTRUCTION
OR FINAL PRICING**

SHEET NO.

ATS



PROPOSED NEW GARAGE / APARTMENTS FOR:
THE PLATTER
315 TURNER ROAD, ASHLAND, WI 54806

SITE PLAN

DESIGN & ENGINEERING
with framework design inc
2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

DESIGNED: **L.D.**

DRAWN: **T.L.P.**

SCALE: **AS NOTED**

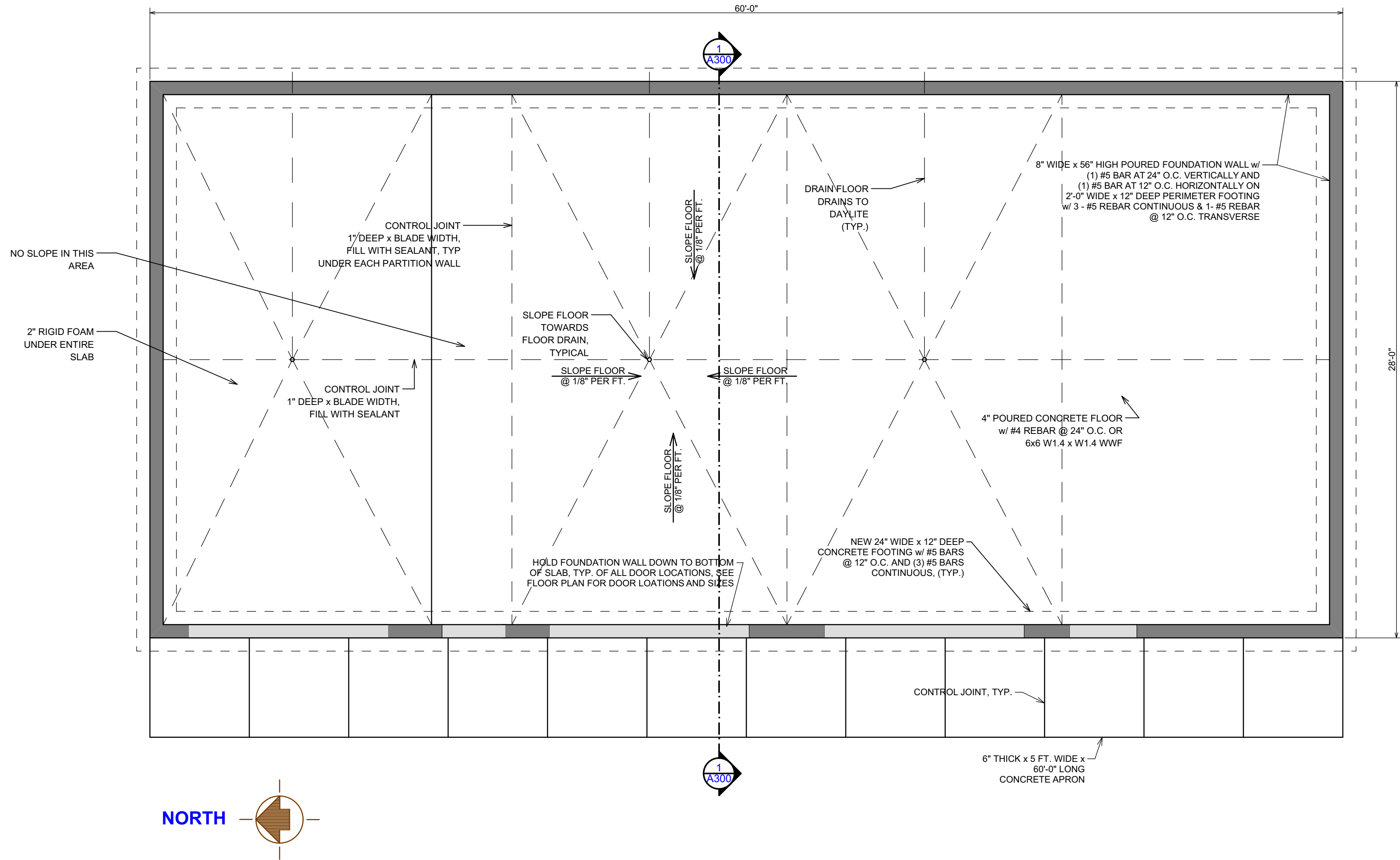
DATE: **NOVEMBER 1, 2021**

PROJECT NO. **19-3418**

REVISIONS:

APPROVED:
NOT FOR CONSTRUCTION OR FINAL PRICING

SHEET NO. **C100**



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

PROPOSED NEW GARAGE / APARTMENTS FOR:
THE PLATTER
315 TURNER ROAD, ASHLAND, WI 54806

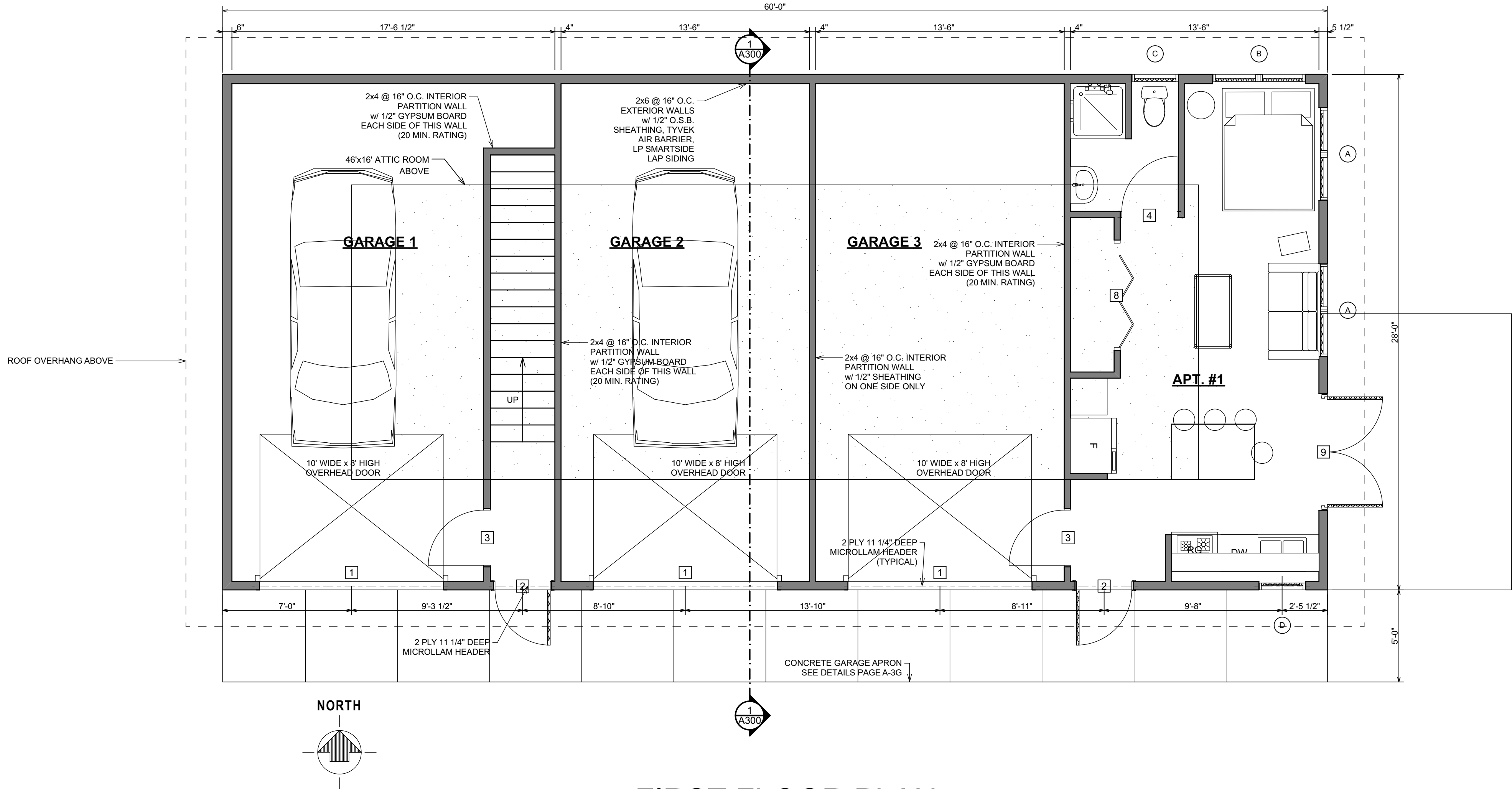
FOUNDATION



DESIGN &
ENGINEERING
with framework design inc

2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

DESIGNED:	L.D.
DRAWN:	T.L.P.
SCALE:	AS NOTED
DATE:	NOVEMBER 1, 2021
PROJECT NO.	19-3418
REVISIONS:	
APPROVED:	NOT FOR CONSTRUCTION OR FINAL PRICING
SHEET NO.	A100



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE							
SYMBOL	DOOR TYPE	SIZE		FRAME TYPE	DOOR HEADER	HARDWARE LOCK FUNCTION	REMARKS
		W	H				
1	STEEL OVERHEAD GARAGE DOOR	10'-0"	8'-0"		2 PLY 11 1/4" MICROLLAM		w/ OPERATOR AND INTERIOR WALL MOUNTED CONTROLS
2	HALF GLASS INSULATED STEEL	3'-0"	6'-8"	PREHUNG	2 PLY 11 1/4" MICROLLAM	KEYED ENTRY LOCKSET	w/ WEATHERSTRIPPING
3	INSULATED STEEL	3'-0"	6'-8"	PREHUNG	2 PLY 11 1/4" MICROLLAM	KEYED ENTRY LOCKSET	w/ WEATHERSTRIPPING, 20 MIN. FIRE RATING
4	WOOD PANEL	3'-0"	6'-8"	PREHUNG	2 PLY 2x6	PRIVACY	
5	WOOD PANEL POCKET DOOR	2'-8"	6'-8"	PREHUNG	2 PLY 2x6	PRIVACY	
6	BIFOLD	4'-0"	6'-8"	N/A	2 PLY 2x6		
7	BIFOLD	5'-0"	6'-8"	N/A	2 PLY 2x6		
8	BIFOLD	6'-0"	6'-8"	N/A	2 PLY 2x6		
9	FULL GLASS FRENCH DOOR	6'-0"	8'-0"	PREHUNG	2 PLY 2x10	KEYED ENTRY LOCKSET	w/ WEATHERSTRIPPING
1. CONTRACTOR SHALL VERIFY ALL SIZES WITH MANUFACTURER BEFORE ORDERING OR INSTALLING. 2. ALL DOORS SHALL BE PRE-FINISHED IN A COLOR SELECTED BY THE OWNER AND ARCHITECT.							

WINDOW SCHEDULE										
SYMBOL	QTY	TYPE	UNIT SIZE (WxH)	UNIT ROUGH OPENING (WxH)	WALL THICKNESS	MANUFACTURER	GLASS INSUL TYPE	HEADER HEIGHT	HEADER SIZE	COMMENTS
A	2	(2) DOUBLE HUNG WINDOW	5'-0" x 5'-0"		7 1/8"	MARVIN ULTIMATE	LOW E W/ ARGON	8'-0"	2 PLY 11 1/4" MICROLLAM	
B	1	DOUBLE HUNG WINDOW	2'-6" x 5'-0"		7 1/8"	MARVIN ULTIMATE	LOW E W/ ARGON	8'-0"	2 PLY 2x6	
C	1	(2) DOUBLE HUNG WINDOW	5'-0" x 3'-6"		7 1/8"	MARVIN ULTIMATE	LOW E W/ ARGON	8'-0"	2 PLY 11 1/4" MICROLLAM	
D	1	DOUBLE HUNG WINDOW	2'-6" x 3'-6"		7 1/8"	MARVIN ULTIMATE	LOW E W/ ARGON	8'-0"	2 PLY 2x12	
E	6	CASEMENT DOUBLE EGRESS WINDOW	(2) 2'-6" x 3'-7"		7 1/8"	MARVIN ULTIMATE	LOW E W/ ARGON	6'-8"	2 PLY 2x6	EACH SASH TO MEET EGRESS REQUIREMENTS
1. CONTRACTOR SHALL VERIFY ALL SIZES WITH MANUFACTURER BEFORE ORDERING OR INSTALLING. 2. ALL WINDOWS TO BE ALUMINUM CLAD MARVIN ULTIMATE, HAVE STANDARD PINE INTERIOR WOOD PRE-FINISHED IN COLOR SELECTED BY OWNER, EXTERIOR COLOR TO BE SELECTED BY OWNER										

PROPOSED NEW GARAGE / APARTMENTS FOR:

THE PLATTER

3415 TURNER ROAD, ASHLAND, WI 54806

FIRST FLOOR PLAN



DESIGNED: **L.D.**

DRAWN: **T.L.P.**

SCALE: **AS NOTED**

DATE: **NOVEMBER 1, 2021**

PROJECT NO.

19-3418

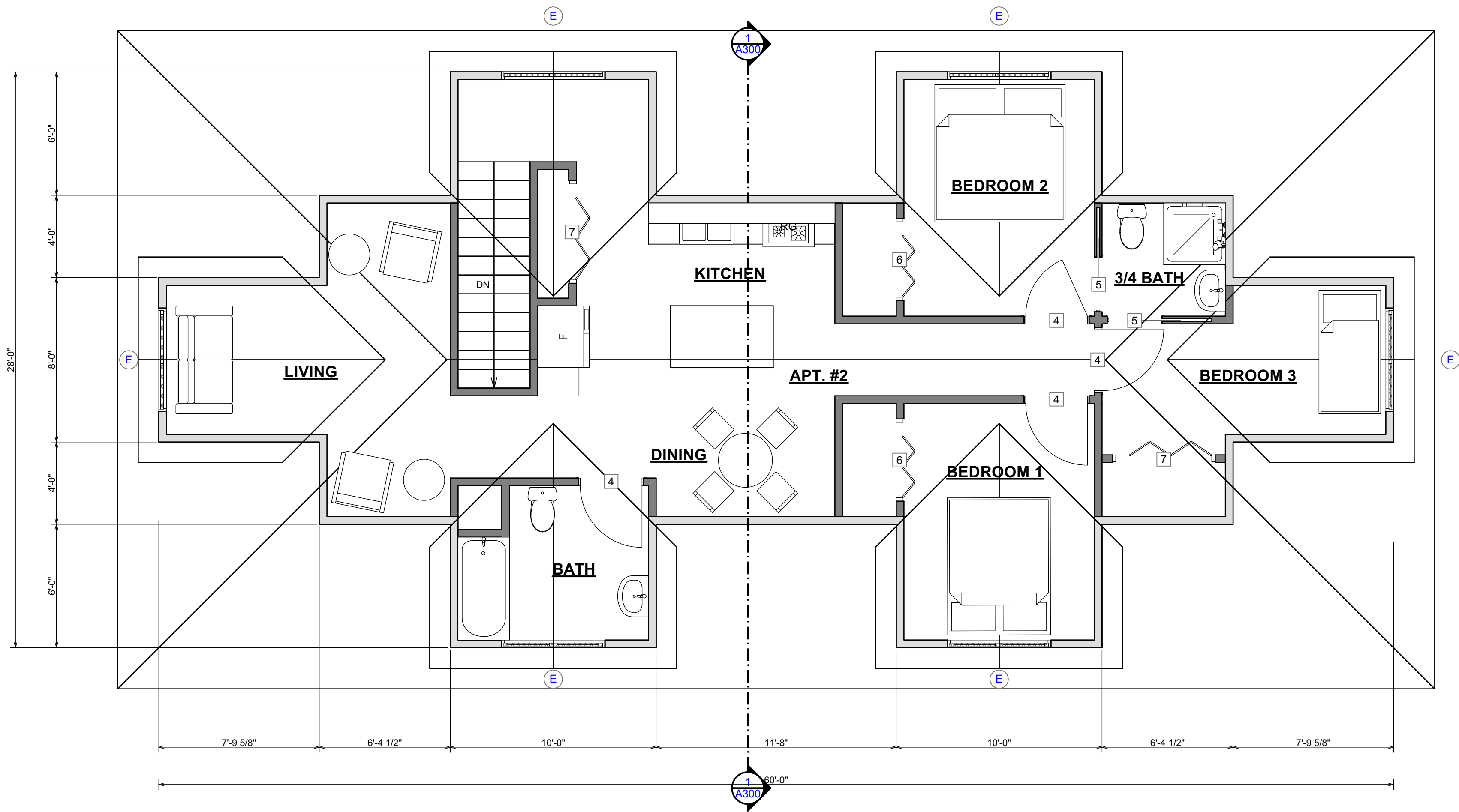
REVISIONS:

APPROVED:

NOT FOR CONSTRUCTION OR FINAL PRICING

SHEET NO.

A101



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROPOSED NEW GARAGE / APARTMENTS FOR:

THE PLATTER

315 TURNER ROAD, ASHLAND, WI 54806

SECOND FLOOR PLAN



DESIGNED: **L.D.**

DRAWN: **T.L.P.**

SCALE: **AS NOTED**

DATE: **NOVEMBER 1, 2021**

PROJECT NO. **19-3418**

REVISIONS:

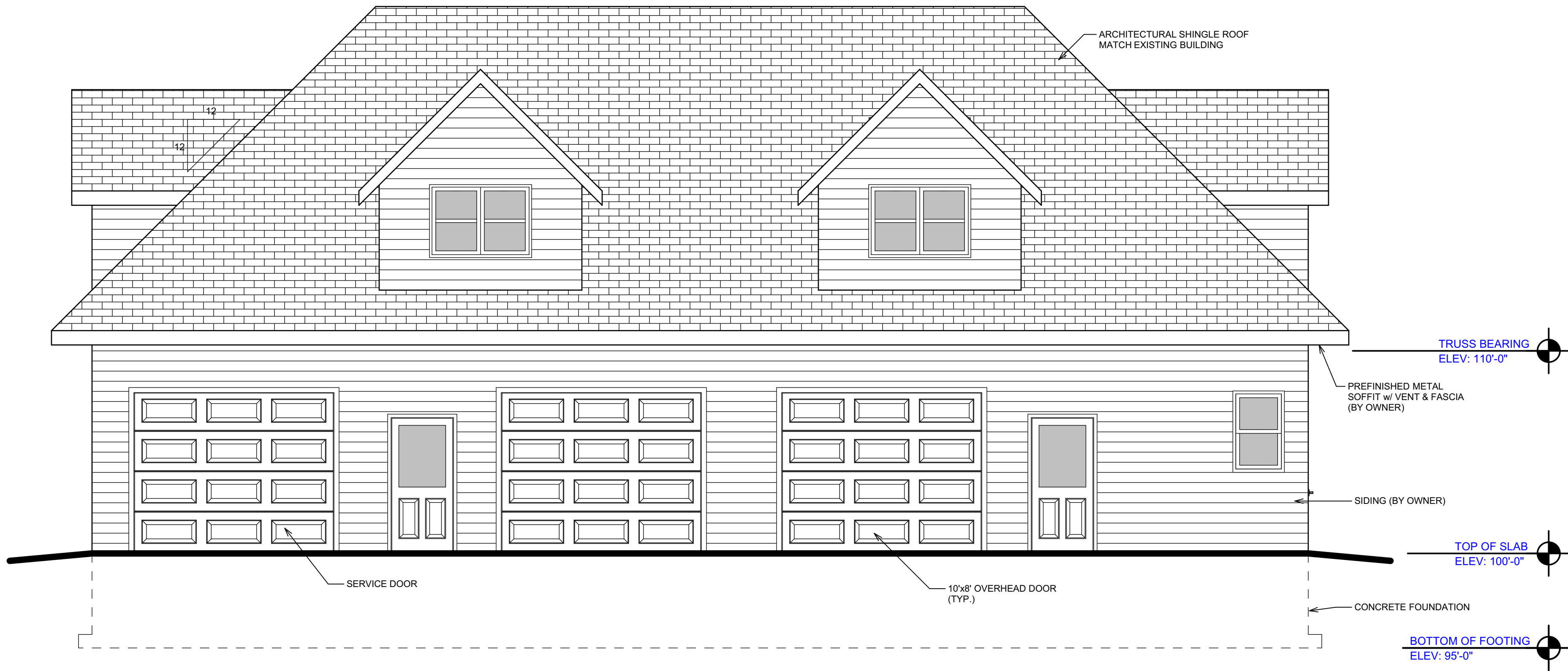
APPROVED:

**NOT FOR
CONSTRUCTION
OR FINAL PRICING**

SHEET NO.

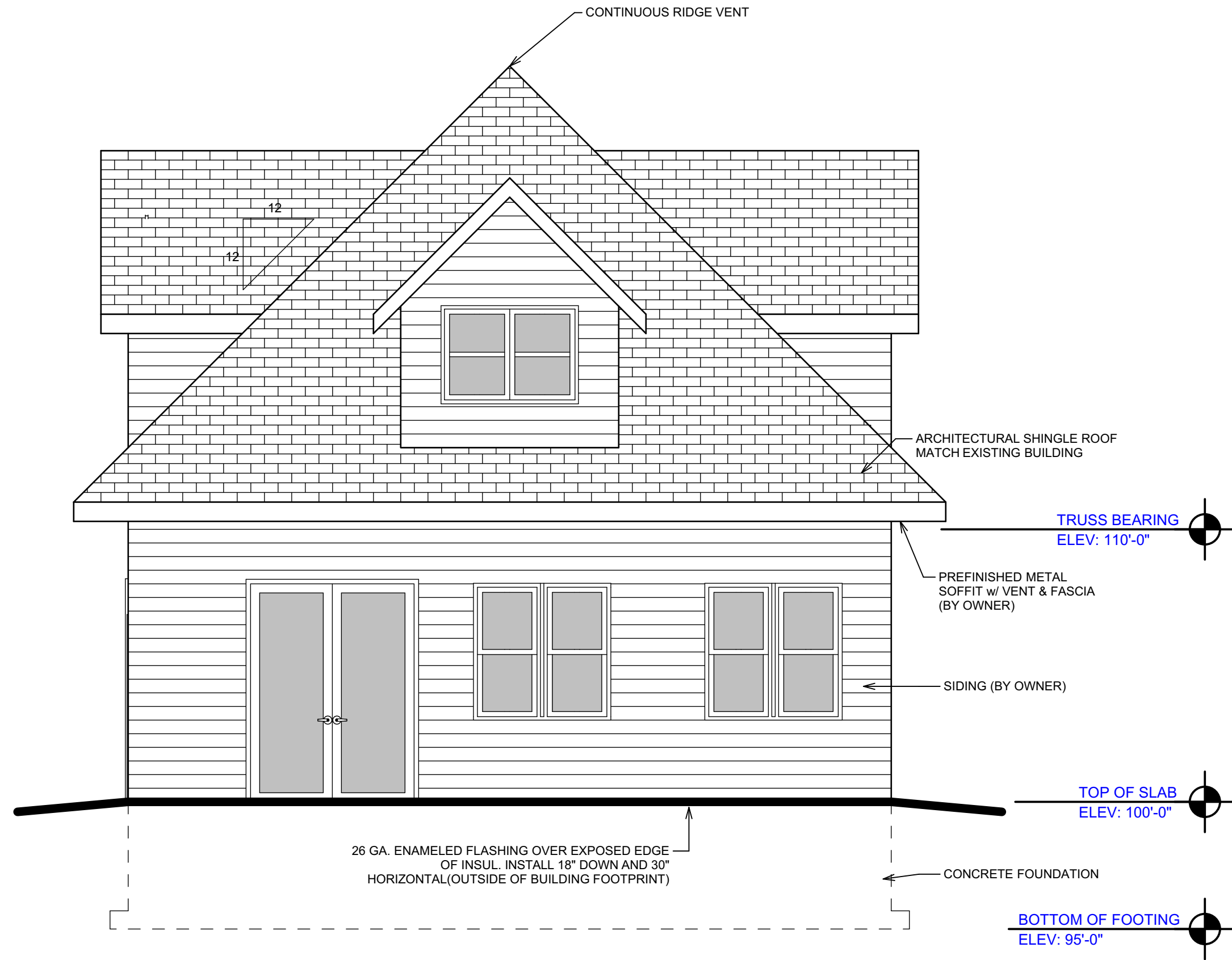
A102

© Copyright 2021 C&S Design & Engineering, Inc. All rights reserved. Any use without permission is expressly prohibited. Printed 10/27/2021 3:05 PM



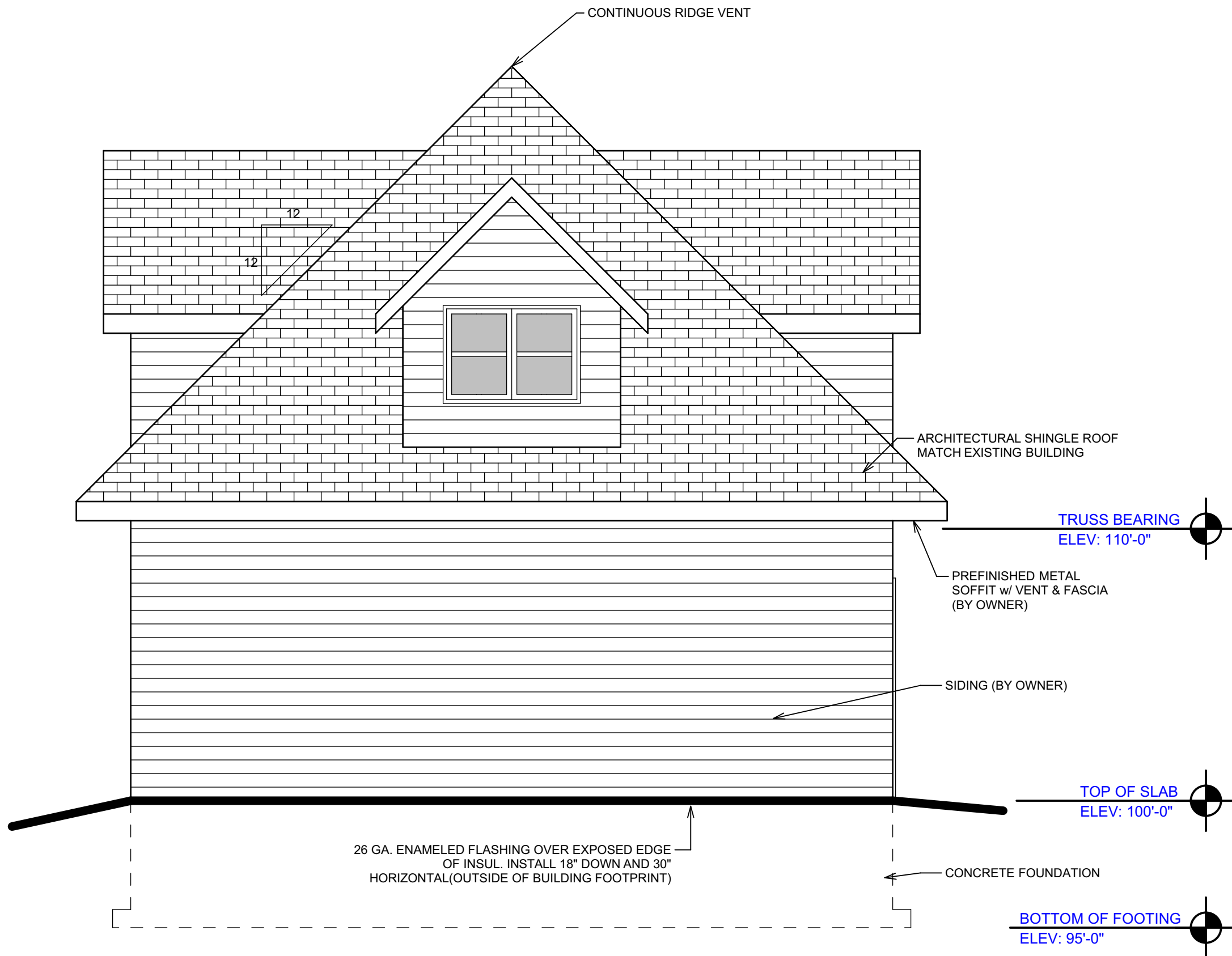
EAST ELEVATION

SCALE: 1/4" = 1'-0"



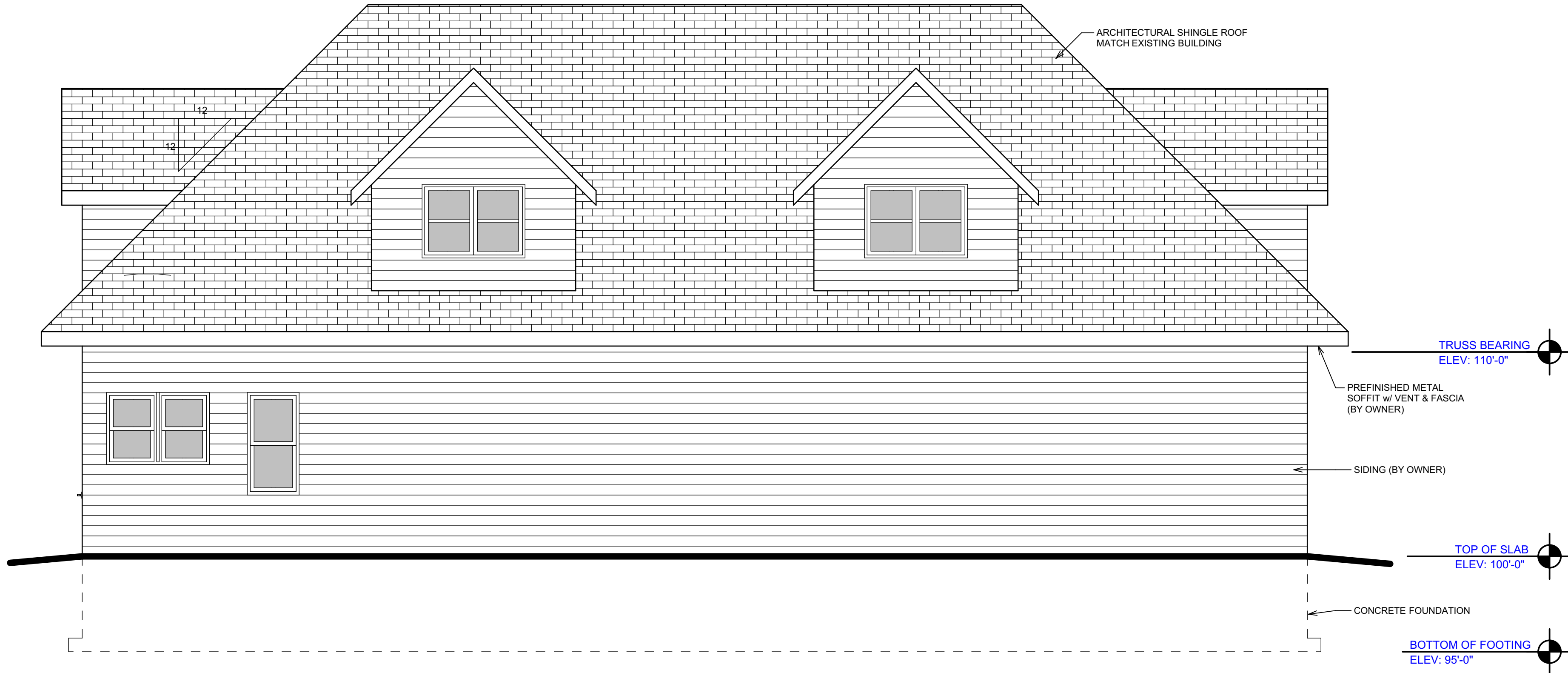
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED NEW GARAGE / APARTMENTS FOR:

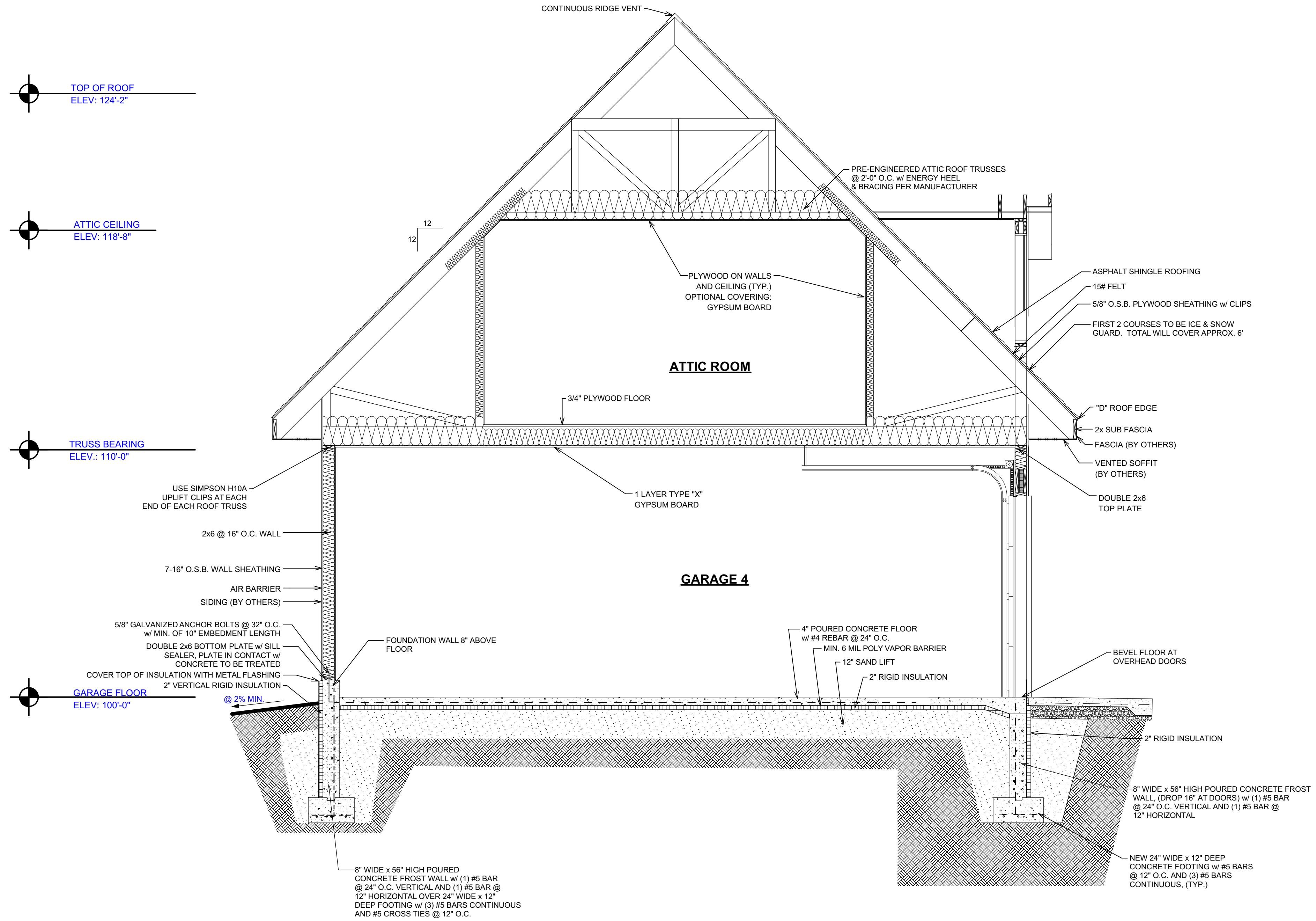
THE PLATTER

315 TURNER ROAD, ASHLAND, WI 54806

ELEVATIONS



DESIGNED:	L.D.
DRAWN:	T.L.P.
SCALE:	AS NOTED
DATE:	NOVEMBER 1, 2021
PROJECT NO.	19-3418
REVISIONS:	
APPROVED:	NOT FOR CONSTRUCTION OR FINAL PRICING
SHEET NO.	A200



CROSS SECTION
SCALE: 3/8" = 1'-0"

PROPOSED NEW GARAGE / APARTMENTS FOR:
THE PLATTER
315 TURNER ROAD, ASHLAND, WI 54806
CROSS SECTION

DESIGN & ENGINEERING
with framework design inc
2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

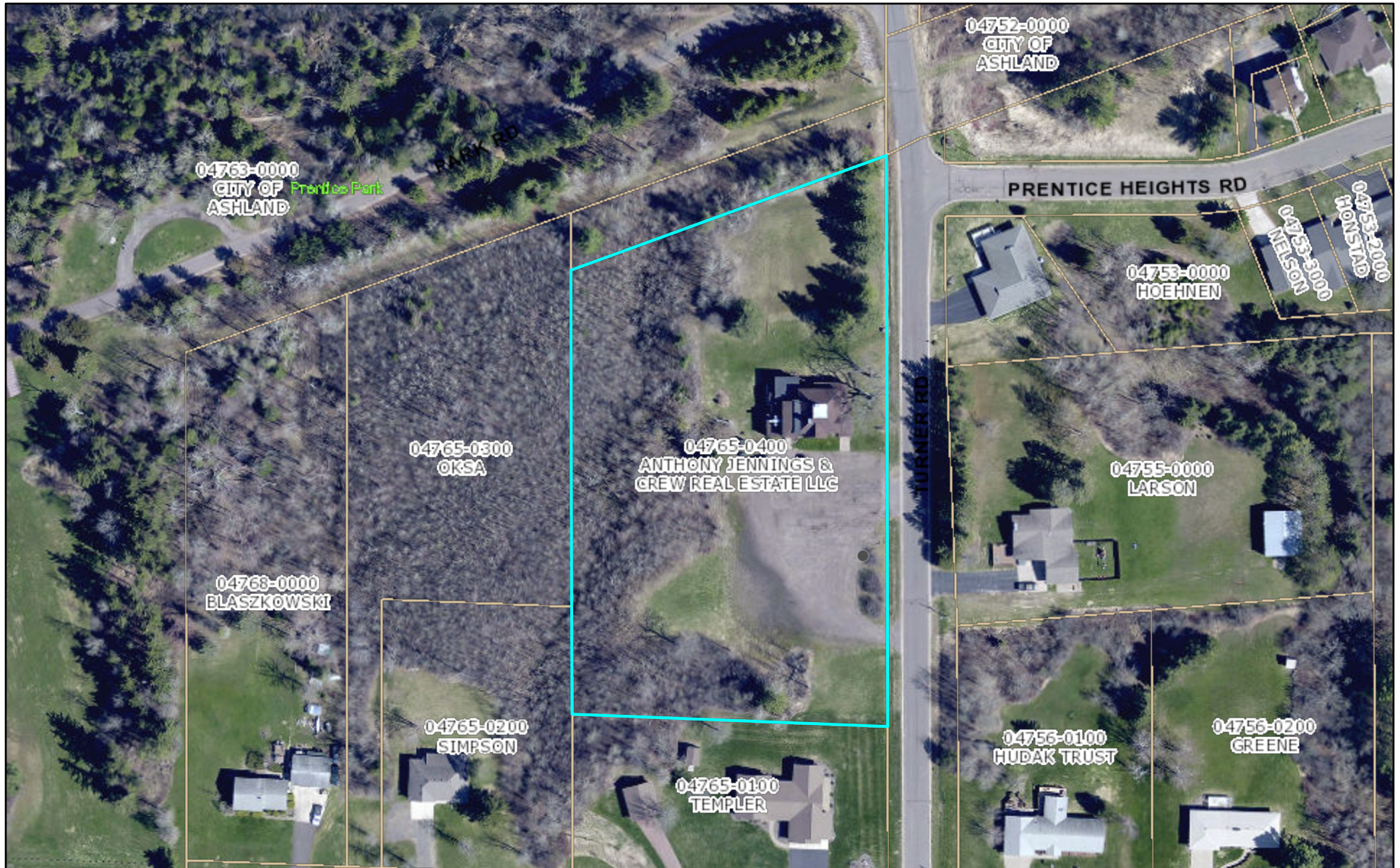
DESIGNED:	L.D.
DRAWN:	T.L.P.
SCALE:	AS NOTED
DATE:	NOVEMBER 1, 2021
PROJECT NO.	19-3418

REVISIONS:

APPROVED:
NOT FOR CONSTRUCTION OR FINAL PRICING

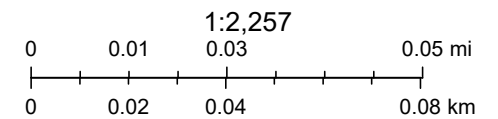
SHEET NO.
A300

315 Turner Rd Aerial Map



11/26/2021, 1:10:21 PM

Parcel Mapping
Parcel Labels



City of Ashland Public Works Department, GIS Division, PICTOMETRY INTL

Department of Public Works Engineering
Copyright 2018 City of Ashland

315 Turner Rd Zoning Map

