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City of Ashland, Wisconsin

601 Main Street West Ashland, WI 54806 www.coawi.org

PLAN COMMISSION MEETING NOTICE

August 3, 2021 at 6:30PM via Go To Meetings

The meeting can be joined using a computer, smartphone or tablet at <https://global.gotomeeting.com/join/567655741>. The meeting can also be joined by phone at 1 866 899 4679 using Access Code: 567-655-741

AGENDA

1. Call to Order and Roll Call
2. Approval of the Agenda
3. Consent Agenda
 - a. Approval of minutes from the July 20, 2021 Plan Commission meeting
4. Public Comment (non-agenda items)
5. Action Items:
 - a. Public Hearing and vote on a request to purchase a piece of City-owned land, parcel #201-01412-0000. Applicant: Robert Forster
 - b. Site Plan review and vote for an expansion to the Lakeview Dental building located at 615 Lake Shore Drive West, parcel #201-00711-0000. Applicant: Brad Allen on behalf of Lakeview Dental Clinic
6. Announcement/Reports/Comments/Questions
7. Adjournment

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information or speak about a subject, over which they have decision-making responsibility. Any governmental body at the above stated meeting will take no action other than the governmental body specifically referred to above in this notice. The City of Ashland does not discriminate on the basis of sex, race, creed, color, national origin, sexual orientation, age or disability in employment or provision of services, programs or activities. NOTE: Upon reasonable notice, the City of Ashland will accommodate the needs of disabled individuals through auxiliary aids or services. For additional information or to request this service, contact Megan McBride at (715) 682-7041.

City of Ashland – Plan Commission Meeting Minutes

A meeting of the Ashland Plan Commission was held on **Tuesday, July 20, 2021 at 6:30 p.m.** via GoToMeeting.

Committee Members Present: Mayor Lewis, Ana Tochtermann, David Mettill, Eric Lindell, John Beirl, Katie Gellatly

Committee Members Absent: Laurie Gregor

Staff Present: Megan McBride

Applicants Present: Michael Tuttle (on behalf of Copper Cup), Amber Ericksen (on behalf of El Tarasco, LLC)

Mayor Lewis opened the meeting at 6:30 p.m.

Agenda

1) Consent Agenda

- a) Approval of minutes from the June 22, 2021 Plan Commission meeting

Motion to approve the minutes from the June 22, 2021 Plan Commission meeting by Eric Lindell, seconded by John Beirl. Passed unanimously.

2) Public Comment (non-agenda items)

None.

3) Action Items

- a. Review and Vote on a Request by James and Jacqueline Ogilvie to Vacate Two (2) Portions of Undeveloped Right-of-Way known as: That part of platted but not open 5th Avenue East adjacent to Lots 1 through 12 Block 379 and Lots 13 through 24 of Block 380 of Ellis Division, and also that part of platted but not open 5th Avenue East adjacent to Lot 7 of Block 17 of Superior Addition to the City of Ashland Wisconsin; and That part of platted but not open alleyway adjacent to Lots 5 through 12 and 16 through 24 of Block 380 of Ellis Division to the City of Ashland Wisconsin.

Megan McBride provided an overview of the process for vacation of undeveloped City right-of-way, which the Plan Commission is responsible for reviewing and providing a recommendation to the City Council based on the criteria outlined in the staff report. The applicant offered to provide a private access easement associated with the right-of-way vacation, so any impacted property owners would continue to be able to utilize this area of right-of-way if the vacation is approved. The purpose of the vacation request is to allow the Ogilvie's to make improvements to the right-of-way in order to access the garden in the back corner of their property with vehicles and gardening equipment. A public hearing will be held by the City Council on this matter, and the Public Works and

Planning Department did not have any concerns regarding the request given the offer to provide an access easement.

Motion to recommend approval of the requested right-of-way vacation with conditions recommended in the staff report by Eric Lindell, seconded by John Beirl. Passed unanimously.

- b. Review and Vote on a Site Plan for construction of a new drive-thru food/beverage based use at 100 Stuntz Avenue, zoned City Center (CC) and Gateway-Overlay (GTWY-O). Applicant: Copper Cup

Megan McBride provided an overview of the staff recommendation for approval with conditions identified in staff report.

Michael Tuttle, representing Copper Cup, provided additional information about the Copper Cup business, and the proposed site plan for construction of a new location in Ashland. He explained that they are anticipating having between 16 and 20 employees for their Ashland location.

Eric Lindell asked if staff have concerns about traffic safety, and specifically traffic overflowing onto Stuntz Avenue if there is a long line.

Megan McBride explained that the site has been designed to provide maximum efficiency in traffic flow and control to prevent this from happening. Site elements that will facilitate this include the two-window drive-thru, 3 designated parking spaces for order ahead/to-go orders, and the drive-thru being wide enough for vehicles to pass on the right. This should keep traffic moving efficiently through the site to prevent a line from accumulating, and the ingress/egress locations on Stuntz Avenue rather than U.S. Highway 2 will further promote safety and ease of customers entering and leaving the new business.

John Beirl asked what the anticipated timeline for construction would be.

Michael Tuttle said that they would like to get started on construction yet this building season if possible, with a hopeful opening date by Halloween. If this is not feasible, then construction would commence as soon as possible in the spring of 2022.

Katie Gellatly asked if customers will be able to walk up given the current site layout, or if there will be future plans for a designated walk-up window.

Michael Tuttle explained that the current intent is to have the site be drive-thru only given the site constraints, proximity to U.S. Highway 2, and limited pedestrian infrastructure located nearby to provide safe and efficient site access. The northern side of the building could potentially be converted into a walk-up window in the future, perhaps in conjunction with a Bay City Creek pedestrian trail and/or the redevelopment of the Oredock Upland north of U.S. Highway 2.

Motion to approve proposed site plan for construction of a new drive-thru coffee shop (Copper Cup) with conditions recommended in the staff report by Eric Lindell. Seconded by David Mettillie. Passed unanimously.

- c. Review and Vote on a Site Plan for construction of a new food based use at 22100 Lake Shore Drive East, zoned Regional Commercial (RC) and Gateway-Overlay (GTWY-O). Applicant: El Tarasco, LLC

Megan McBride summarized the recommendation for approval with conditions as identified in the staff report.

John Beirl asked what the anticipated development timeline would be.

Megan McBride explained that the timeline for construction would be as soon as possible, with receiving the Grant Agreement from Wisconsin Economic Development Corporation for an Idle Sites grant to support the project as one of the last items needed before the City-owned property can be subdivided and transferred to the developer.

Ana Tochtermann asked for a summary of green infrastructure included in the site plan to address this Development Agreement requirement.

Megan McBride identified the native plantings and landscape islands within and surrounding the parking area, the large stormwater retention pond on the southern portion of the site, and the exceedance of City landscape standards for number of trees to be installed on site are all stormwater management best practices proposed for the site.

Motion to approve proposed site plan for construction of a new restaurant (El Tarasco) with conditions recommended in the staff report by Eric Lindell. Seconded by Ana Tochtermann. Passed unanimously.

2. Announcements/Reports/Comments/Questions

- a. Schedule workshop to review waterfront zoning and code standards

Megan McBride informed the Commission that the consultants from GRAEF who have been working with the city to draft recommended changes in uses and zoning districts within the City to better align with Comprehensive Plan and Waterfront Development Plan goals. The consultants would like to hold a workshop with the Plan Commission in August, and will include it as part of an existing Plan Commission meeting if possible. If not, Megan will send out a poll to Plan Commissioners to determine the date and time to host this workshop.

3. Adjournment

Motion to adjourn by John Beirl. Seconded by David Mettillie. Passed unanimously.

Meeting was adjourned at 7:38 pm. Minutes done by Megan McBride.

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City of Ashland, Wisconsin

601 Main Street West Ashland, WI 54806 www.coawi.org

DEPARTMENT OF
PLANNING &
DEVELOPMENT

601 Main Street West
Ashland, WI 54806

STAFF REPORT

Plan Commission – August 3, 2021

Agenda Item # 5a: Public Hearing Vote on an Offer to Purchase City-owned property

Applicant: Robert Forster

Parcel No: 201-01412-0000

Staff Contacts: Megan McBride

Background

Robert Forster is requesting to purchase parcel #201-01412-0000 from the City for the purpose of combining with parcel #201-01413-0000 into a single developable parcel. The Forster's purchased parcel 201-01413-0000 through the most recent Ashland County land auction, and would like to purchase the City-owned property which separates their property from Main Street East to provide right-of-way frontage and site access. Their initial intent is to utilize the property for more passive recreation and enjoyment when they visit Ashland, and will be planning to construct a small home on the site in the future per development standards of the City Center zoning district.

Review Criteria for Offer to Purchase and Sale of Land:

1. Consistency with the Comprehensive Plan:

The Comprehensive Plan calls for careful disposition of vacant land. This means making financially sound decisions with the land that we own, and ensuring that the highest and best use for the land is achieved. Based on the size and irregularity of this parcel and its location between private property and Main Street East, incorporating this land into the adjacent parcel to put it back on the tax roll and create a developable lot is consistent with the recommendations of the Comprehensive Plan.

2. Consistency with the Unified Development Ordinance (U.D.O.):

A. Zoning District: City Center (CC)

The addition of the requested land for purchase (201-01412-0000) to parcel 201-01413-0000 will not impact consistency with standards for the City Center (CC) district. It will make the land already owned by Robert Forster developable for a small home according to the standards of the CC district, and provide direct site access to their property.

B. Compatibility of Proposed Development with Existing Development.

The piece of land requested for purchase by the applicant is currently vacant with no plans for development by the City. Incorporation into the adjacent parcel to create a developable lot would be compatible with existing uses and facilitate future use of the property which otherwise would not be possible.

STAFF RECOMMENDATION ON CONSISTENCY WITH THE UDO:

Combining the proposed parcel for purchase (201-01412-0000) with the adjacent parcel 201-01413-0000 would be in conformance with the requirements for this district as listed in the UDO, and would make the lot developable per the definitions and development standards identified in the UDO.

3. Consideration of Highest and Best Use:

Considering all factors as listed above, staff sees this as the highest and best use of the property. The small size and irregular shape of the parcel make it such that the City has no current or future use for it, and combination with the adjacent parcel to provide site access and create a new developable property on Main Street East would be the highest and best use for this parcel.

4. Additional Factors, including Compliance with other City Ordinances and State Statutes:

- A. The applicant shall apply with Ashland County for combination of parcels 201-01413-0000 and 201-01412-0000 into a single tax parcel.
- B. The City of Ashland's sale of land shall comply with Ordinance. 478: *An Ordinance to Establish the Process for Land Acquisitions and Sales.*

Staff Recommendation:

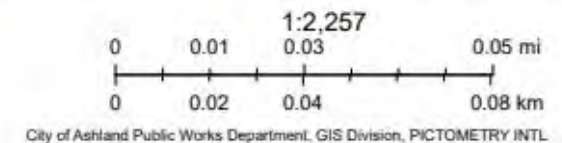
City staff recommends the APPROVAL of the Offer to Purchase parcel 201-01412-0000 by Robert Forster, contingent on the following items:

- 1) The property to be purchased shall be surveyed to identify the specific area of land being acquired prior to final sale.
- 2) The property shall be combined with parcel # 201-01413-0000 into a single parcel.

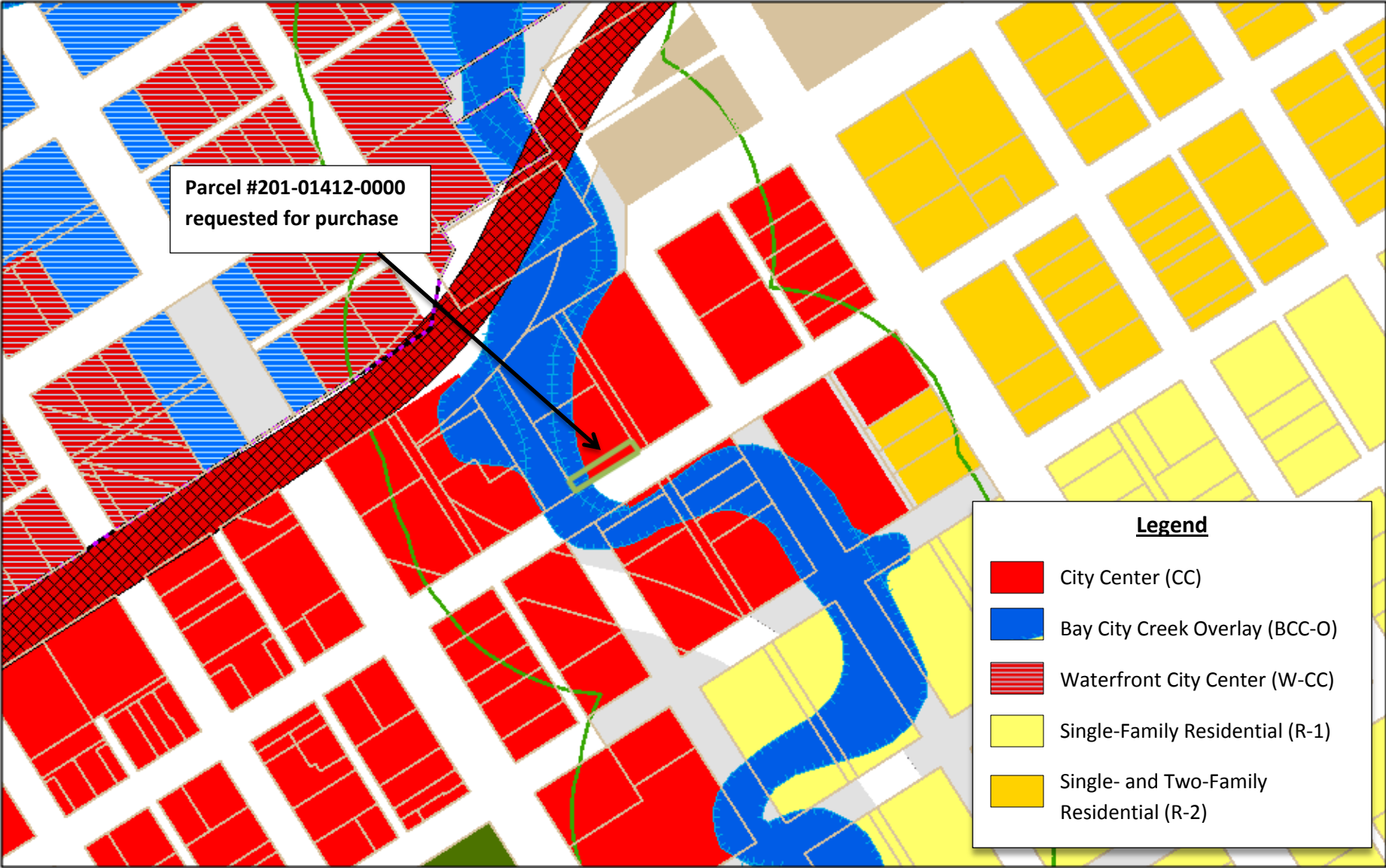
As a Public Hearing is scheduled, the Plan Commission should hear all input from the public prior to making a decision. The required Class 1 Public Hearing notice and all required public notices were issued for this item.

Approvals are based on background information provided by the applicant and known conditions. Deviations from this information may be considered a change in the application and reconsideration and possible revision to the approvals may be made by the Plan Commission and Common Council.

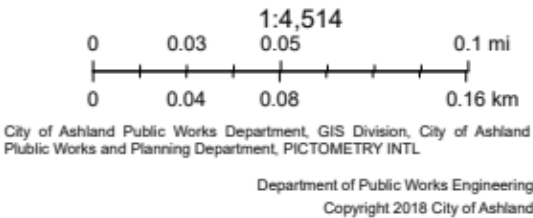
Aerial Map of Parcel 201-01412-0000 Requested for Purchase



Zoning Map of Parcel 201-01412-0000 Requested for Purchase



7/30/2021, 2:42:59 PM





STAFF REPORT

Plan Commission – August 3, 2021

Agenda Item # 5b: Site Plan review for expansion of Lakeview Dental Clinic

Applicant: Brad Allen on behalf of Lakeview Dental Clinic

Parcel No: 201-00711-0000

Zoning District: Waterfront-Commercial (W-C), Gateway-Overlay (GTWY-O), Waterfront-Overlay (W-O)

Staff Contact: Megan McBride

Background

Lakeview Dental Clinic is requesting Site Plan review and approval for expansion of their existing clinic, and reconfiguration of their site access and parking area. This project would include a 1,158 sq ft addition to the west side of the existing building, for a total final building area of 3,286sq ft. This would benefit the clinic's overall operations by providing a state-of-the-art sterilization center and upgraded lab facilities, as well as bringing in more ergonomic equipment to better serve their clients. Additional site improvements which would benefit clinic operations and clients include repaving and striping of the parking area, reduction in the number of driveway accesses to the property from 4 to 1, and greatly increasing the landscaping provided along U.S. Highway 2. The expansion is anticipated to result in an additional 2 to 3 jobs at the clinic, and the total estimated project cost is approximately \$950,000.

The proposed site plan complies with all applicable Unified Development Ordinance (UDO) standards, and would generate a variety of benefits for the Lakeview Dental Clinic, their clients, and the larger community.

Standards for Review

The City of Ashland's Unified Development Ordinance, Section 781 Section 3.20 Site Plan Approval (all subsections thereof), creates the legal framework to regulate, administer, and enforce the site plan review process for the City of Ashland.

Site Plan Review

The following criteria were used to review the submitted site plan:

1. Consistency with Comprehensive Plan.

The proposed development is consistent with the goals and principles established in the Comprehensive Plan. The Comp Plan encourages the City to support investment in retaining and expanding existing businesses as core to future economic development. This nearly \$1

million investment by an existing Ashland business to expand their practice and hire additional staff would further these Comp Plan recommendations, while also beautifying this highly visible, near-downtown corridor along U.S. Highway 2.

2. Project Compatibility.

The proposed dental clinic expansion and associated site improvements are compatible with the intent of this commercial corridor, and the Gateway-Overlay district. The project will include a reduction of access drives from U.S. Highway 2 from 4 down to 1, which will greatly improve the compatibility and traffic safety related to its Highway 2 location. Additionally, the parking area improvements and proposed landscaping will also beautify the site and provide screening of the parking area as intended in the Gateway-Overlay district. The erosion control measures proposed, along with landscaping additions, are also consistent with goals and requirements of the Waterfront-Overlay district.

3. Site Design

a. Site Organization.

The organization of buildings, driveways, parking areas, landscaping, and other site features has been arranged to achieve a functional, safe, and harmonious site relationship. The reconfiguration of the parking area and reduction in number of driveways will facilitate better traffic flow and overall site organization, as well as safer ingress/egress from the highway. The proposed landscaping will further enhance the aesthetics of the new façade/entrance, and screening will beautify the highly visible U.S. Highway 2 corridor.

b. Location of Buildings.

The building expansion to the west is most appropriate based on the site layout and existing building's location near the eastern property line. The proposed building expansion is still under the allowable building coverage ratio in the Waterfront-Commercial (W-C), Gateway-Overlay (GTWY-O), and Waterfront-Overlay (W-O) zoning districts.

c. Drives, Parking, and Circulation.

Dimensions for all proposed parking and driveway areas conform to UDO standards.

- **Driveway.**

The proposed site plan includes reduction in the number of access driveways to the parking area from 4 to 1, several of which were pre-existing from the . This will improve traffic safety to and from the site, and the proposed driveway reconfiguration has been reviewed and approved by the Public Works Department. The areas where driveways are removed shall have the sidewalk, curbing and brick pavers restored to match the surrounding area.

- **Parking.**

The proposed paving and striping of the parking area conforms to UDO requirements related to any new development. The total number of parking spaces which could be provided based on the building size and staff would be 30, so the proposed 29 parking spaces comply with UDO standards. The existing pavement area will not be significantly altered related to this project, but will be repaved and striped. Two ADA parking space have been identified, with ADA compliant building access.

- Pedestrian Access.

All proposed sidewalks comply with City and ADA requirements. The proposed parking lot and building access changes will improve ADA accessibility to the building. Along U.S. Highway 2, all areas where an existing driveway is being removed shall have the sidewalk and surrounding brickwork restored to match the surrounding right-of-way design. A bike rack shall be provided, as is required for all new development (including expansion of an existing building or business).

- a. Grading / Drainage / Stormwater.

- Erosion Control/Grading – Silt fencing, erosion control blanket and rip rap will all be utilized for erosion control during construction as identified on site plan. The proposed erosion control measures meet City standards and have been approved by the Planning and Public Works Departments.
- Stormwater/Drainage – Based on the area of land being disturbed (0.414 acres) for this development, review and permit issuance from the Wisconsin Department of Natural Resources (WDNR) will not be required. The proposed site changes are not anticipated to have significant impacts on the site drainage and stormwater management demands, and the proposed stormwater management plan has been reviewed and approved by the Planning and Public Works Departments.

- b. Utility Services.

There will be no changes to utility services for the site, and the proposed expansion will not represent a significant increase in demand on City utility services.

- c. Fire Prevention.

The City requires a Knox Box on all new construction and development projects if the business is not open 24-7. Following final design of the plans, the applicant shall provide a CD copy of the final Building Floor Plan Layout and Utility Plan (in a .dxf format), for the Fire Department's pre-fire planning of the structure's layout. Such information shall be provided to the Fire Department prior to the issuance of the Occupancy Permit.

- d. Views.

The proposed development will not have a detrimental impact on any scenic vistas or view sheds. Trees located north of the building currently block views of Lake Superior, and the building expansion will not impact view sheds in any way. The developer also plans to do some tree and brush cutting on the northern side of their property, which would enhance lake views through the project.

- e. Environmental Issues.

There are no environmental issues which require additional consideration associated with this project.

- f. Landscaping/Screening.

The proposed landscaping plan conforms to Unified Development Ordinance requirements and recommendations related to parking area landscaping, screening of parking areas, and increased landscaping requirements related to the building expansion. The inclusion of additional landscaping and screening will enhance the visual

appeal of this U.S. Highway 2 corridor, and is compatible with the intent of the Gateway-Overlay zoning district.

g. Signs.

The clinic's existing signage shall be re-installed on the front building façade. Any new signage or alterations to existing signage would require a Sign Permit through the Planning & Development Department.

h. Lighting.

All exterior lighting must be full cutoff, and specs for any new exterior lighting fixtures must be submitted to the Planning and Development office prior to issuance of a Building Permit.

4. Building Design.

The proposed building addition design is compatible and complementary with the existing structure, and meets all design standards identified in the UDO for the Waterfront-Commercial (W-C) district as well as Gateway-Overlay (GTWY-O) and Waterfront-Overlay (W-O) districts. The design of the building addition shall match the existing structure in terms of materials, color scheme, and style. Existing shingles on the roof will be replaced, and existing concrete masonry work (CMU) shall be cleaned and painted to create a cohesive final product which is compatible with its location.

5. Principles of Sustainability

Site features of this renovation/expansion that address principles of sustainability laid out in the UDO include:

- Changing out the old lighting in the building to L.E.D.
- Upgrading the furnaces with a more energy efficient system

Review Recommendation

Staff recommends APPROVAL of the proposed site plan for the proposed expansion of the Lakeview Dental Clinic building located at 615 Lake Shore Drive West (parcel 201-00711-0000), subject to the following conditions:

- Bike parking shall be provided on site
- Full specs of any exterior lighting shall be provided to the Planning and Development Department for review and approval prior to issuance of a Building Permit to ensure compliance with City's full cutoff requirements
- A full landscaping plan with plant species identified shall be provided to the Planning and Development Department for review and approval
- Applicant shall include a Knox box if one is not already present on site
- Applicant shall provide as-built plans to the Planning and Development Department prior to issuance of a Final Occupancy Permit



4941 Kirschling Court, Stevens Point, WI 54481
1497 6th Street - Suite C, Green Bay, WI 54304
1261 W Main Street - Suite 102, Sun Prairie, WI 53590

June 28, 2021

City of Ashland
Denise Oliphant
601 Main Street W
Ashland, WI 54806

Cover Letter (Lakeview Dental– Ashland, WI)

Dear Denise Oliphant,

My client, Keller INC. would like to begin the review/approval process for a proposed new development within the City of Ashland. The proposed project will consist of the redevelopment of an existing lot for a new Lakeview Dental office.

The proposed building will be a 3,286 square feet. The proposed building will add on to the existing building, and all utilities for the current building will be maintained. The proposed parking lot will consist of 29 total parking stalls, including two handicap accessible stalls in accordance with the Americans with Disabilities Act. Currently, the lot has four driveways. The current four driveways will be removed, and one new driveway will be placed with the new sidewalk, curbing, and brick pavers being matched into the existing landscape. A concrete dumpster pad will be located on the North corner of the parking lot. Due to the area of disturbance being less than one acre (0.414 acres) no storm water management practices are required, and the water runoff for the site will flow to the Northwest (similar to its current flow path).

Please review the attached site plans for a preliminary overview of the proposed development. If you have any questions, feel free to contact me. Thank you for your time and consideration.

Sincerely,

James Lundberg, P.E.
Director of Engineering
Point of Beginning, Inc.

ASHLAND,

PROJECT INFORMATION

WISCONSIN

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB
SAFETY DURING CONSTRUCTION.

3,286 S.F

LOCATION MAP



T1.0

"ISSUED FOR CONSTRUCTION"

UNPLATTED LANDS
BY OTHERS

LOT 1
CSM #665

TOTAL AREA
43,902 Sq. Feet
1.008 Acres

VAUGHN AND HUMBIRD'S
DIVISION

GENERAL NOTES:

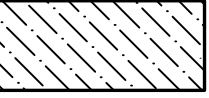
1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR
2. ALL DEMOLITION MATERIALS SHALL BE REMOVED FRO
3. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONT
4. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTIN
5. COORDINATE WITH THE OWNER AND LOCAL UTILITY C
6. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCU
7. STRIP TOPSOIL WITHIN THE PROJECT LIMITS IN ACCO
8. IF STRIPPED TOPSOIL IS STOCKPILED ON SITE, SILT
9. PRIOR TO PERFORMING WORK WITHIN PUBLIC RIGHT
10. MAINTAIN TRAFFIC CIRCULATION TO ALL RETAIL AND

KEYNOTES:

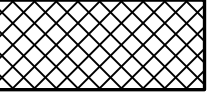
1. SAWCUT EXISTING CONCRETE CURBING
2. REMOVE EXISTING CONCRETE CURBING
3. SAWCUT EXISTING CONCRETE WALK
4. MAINTAIN EXISTING CONCRETE WALK
5. MAINTAIN EXISTING CONCRETE CURBING
6. MAINTAIN EXISTING WATER SERVICE
7. MAINTAIN EXISTING WATER VALVES
8. MAINTAIN EXISTING SANITARY SEWER
9. MAINTAIN EXISTING BUILDING
10. MAINTAIN EXISTING RETAINING WALL
11. MAINTAIN EXISTING LANDSCAPE AREA:
12. MAINTAIN MONITORING WELL

PAVEMENT HATCH PATTE

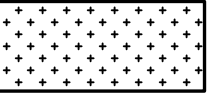
BITUMINOUS REMOVAL



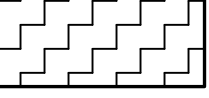
CONCRETE REMOVAL



GRAVEL REMOVAL



BRICK PAVER REMOVAL



CIVIL SHEET INDEX:

- C1.0 DEMOLITION PLAN
- C2.0 LAYOUT PLAN
- C3.0 GRADING PLAN
- C4.0 EROSION CONTROL PLAN
- C5.0 DETAILS

BENCHMARK:

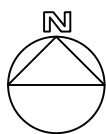
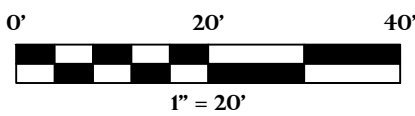
ELEVATIONS ARE REFERENCED TO NAVD 88
DATUM.

BENCHMARK #1

BURY BOLT ON HYDRANT
LOCATED ON THE NORTHWEST SIDE OF
THE INTERSECTION OF LAKE SHORE DRIVE
WEST AND CHAPPLE AVENUE.
ELEVATION = 643.73

BENCHMARK #2

CUT SQUARE IN TOP OF RETAINING WALL
LOCATED ON THE SOUTH SIDE OF LAKE
SHORE DRIVE WEST, APPROXIMATELY 135
FEET NORTHEAST OF THE INTERSECTION
OF LAKE SHORE DRIVE WEST AND
CHAPPLE AVENUE.
ELEVATION = 642.28



UNPLATTED LANDS
BY OTHERS

LOT 1
CSM #665

TOTAL AREA
43,902 Sq. Feet
1.008 Acres

SNOW STORAGE

PROPOSED BUILDING
3286 SQ
FFE = 641.5

VAUGHN AND HUMBIRD'S
DIVISION

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
BURY BOLT ON HYDRANT
LOCATED ON THE NORTHWEST SIDE OF
THE INTERSECTION OF LAKE SHORE DRIVE
WEST AND CHAPPLE AVENUE.
ELEVATION = 643.73

BENCHMARK #2
CUT SQUARE IN TOP OF RETAINING WALL
LOCATED ON THE SOUTH SIDE OF LAKE
SHORE DRIVE WEST, APPROXIMATELY 135
FEET NORTHEAST OF THE INTERSECTION
OF LAKE SHORE DRIVE WEST AND
CHAPPLE AVENUE.
ELEVATION = 642.28

GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR
2. GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE F
3. ALL REQUIRED EROSION CONTROL MEASURES SHALL
LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RE:
4. SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTI
5. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUM
OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THI
BASE BID CONTRACT.
6. VERIFY THE LOCATION OF ALL EXISTING UTILITIES PR
7. BIDDERS SHALL VISIT THE SITE AND REVIEW EXISTIN I
8. PRIOR TO STARTING WORK, VERIFY WITH THE LOCAL
BEEN ACQUIRED.
9. COORDINATE CONSTRUCTION IN THE RIGHT OF WAY V
10. PROVIDE PROPER BARRICADES, SIGNS, AND TRAFFIC
ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUI
11. SIDEWALK JOINTS SHALL BE INSTALLED AS INDICATED
12. ALL CONCRETE SAWCUTS SHALL BE AT AN EXISTING
13. ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED,
ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

KEYNOTES:

1. THICKENED EDGE WALK
2. 18" CONCRETE CURB &
GUTTER
3. 18" CONCRETE CURB &
GUTTER (REJECT)
4. HANDICAP RAMP
5. PARKING LOT STRIPING
6. DIRECTIONAL ARROW
7. HANDICAP PARKING STALL
8. HANDICAP PARKING SIGN
9. ADA ACCESS ROUTE
10. MONUMENT SIGN (BY
OWNER)
11. DUMPSTER ENCLOSURE
(10'x15' CONCRETE PAD)
(SEE ARCHITECTURAL
PLANS)
12. LIGHT POLE (COORDINATE
W/ LIGHTING
PLAN/ELECTRICIAN)
13. CONCRETE DRIVE APRON
14. MATCH EXISTING
CONCRETE CURB
15. 4" GALVINIZED BOLLARDS

PAVEMENT HATCH PATTE

- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT
- CONCRETE SIDEWALK
- REINFORCED CONCRETE
- REPLACE/MATCH EXISTING
BRICK PAVERS

UNPLATTED LANDS
BY OTHERS



ND PROPER
OTHERS

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1

BURY BOLT ON HYDRANT
LOCATED ON THE NORTHWEST SIDE OF
THE INTERSECTION OF LAKE SHORE DRIVE
WEST AND CHAPPLE AVENUE.
ELEVATION = 643.73

BENCHMARK #2

CUT SQUARE IN TOP OF RETAINING WALL
LOCATED ON THE SOUTH SIDE OF LAKE
SHORE DRIVE WEST, APPROXIMATELY 135
FEET NORTHEAST OF THE INTERSECTION
OF LAKE SHORE DRIVE WEST AND
CHAPPLE AVENUE.
ELEVATION = 642.28

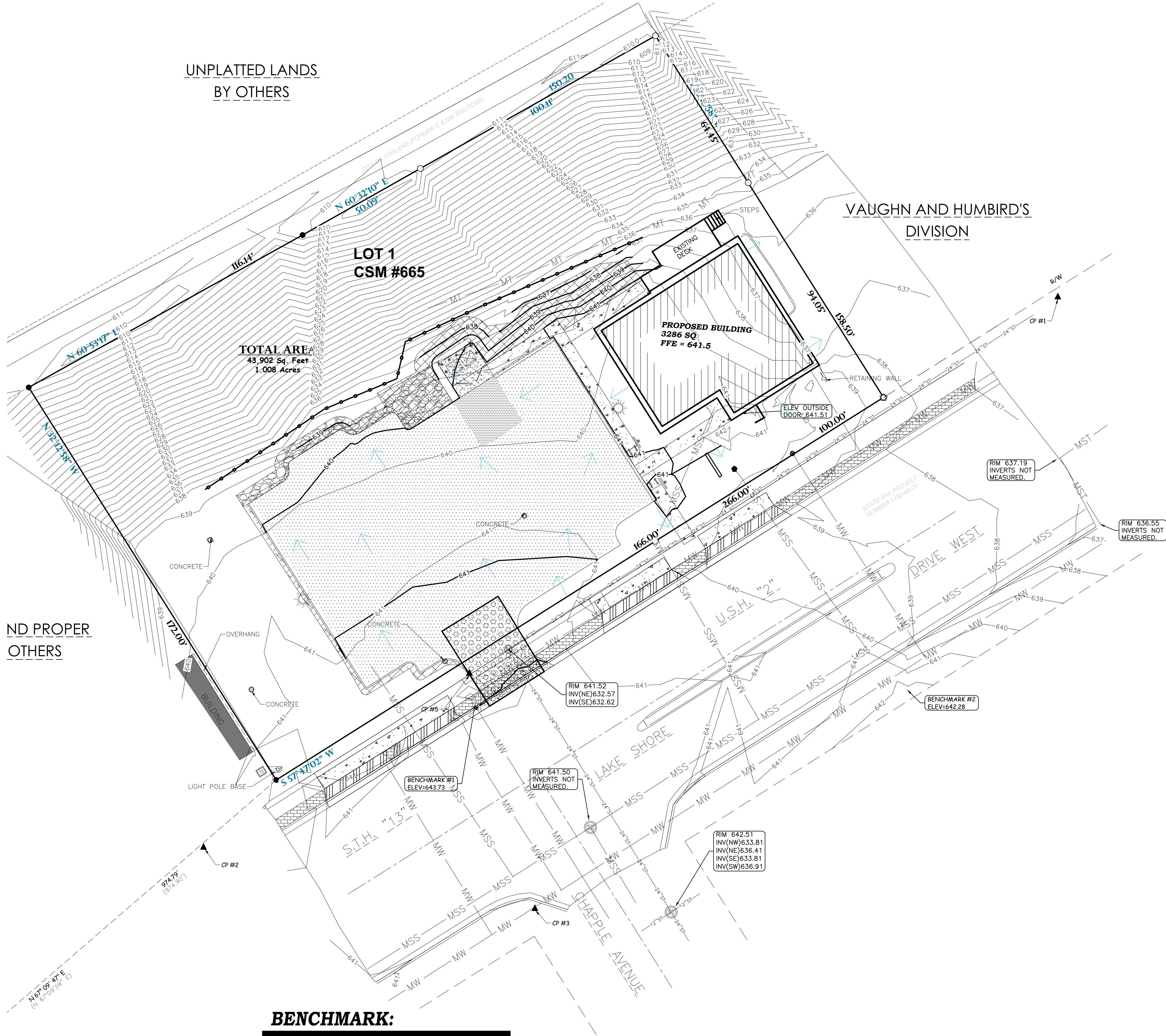
GENERAL NOTES:

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR
2. THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'
3. GRADE, LINE, AND LEVEL SHALL BE REVIEWED IN TH
4. INSTALL AND MAINTAIN ALL REQUIRED EROSION CONT AND DEPARTMENT OF NATURAL RESOURCES REGULAT
5. 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL PLANTING BED AREAS.
6. SEE SHEET C4.0 FOR ALL REQUIRED EROSION CONTI
7. ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUA ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SI CONTRACT.
8. COORDINATE ALL EARTHWORK ACTIVITIES WITH THE F OF GAS, CABLE, TELEPHONE AND ELECTRICAL (INCL SIGNAGE).
9. PROVIDE RIP RAP AT ALL CULVERT ENDWALL STRUCT
10. INSTALL WisDOT TYPE HR FILTER FABRIC BENEATH UI
11. EXCESS TOPSOIL SHALL BE REMOVED FROM SITE, UT WITH OWNER FOR LOCATION OF STOCKPILE IF THE C USE. SILT FENCE SHALL BE PLACED AROUND STOCKI
12. ALL TESTING AND INSPECTION SHALL BE DONE IN A
13. THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIC
14. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL
15. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTI
16. GRADES AT BUILDING EDGE SHALL BE 6" BELOW FIN OR UNLESS OTHERWISE NOTED.

GRADING LEGEND:

EXISTING CONTOUR	
PROPOSED CONTOUR	
PROPOSED SPOT ELEVATION	639.28
PROPOSED ENDWALL INVERT ELEVATION	INV=892.0
PROPOSED RIM ELEVATION	RIM=893.0
PROPOSED TOP OF CURB ELEVATION	TC=893.0
PROPOSED FLOW LINE ELEVATION	FL=893.0
PROPOSED MATCH ELEVATION (CONTRACTOR TO VERIFY)	892.0

UNPLATTED LANDS
BY OTHERS



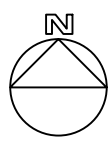
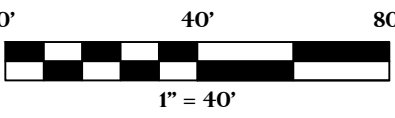
ND PROPER
OTHERS

BENCHMARK:

ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.

BENCHMARK #1
BURY BOLT ON HYDRANT
LOCATED ON THE NORTHWEST SIDE OF
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CHAPPLE AVENUE.
ELEVATION = 642.28



GENERAL NOTES:

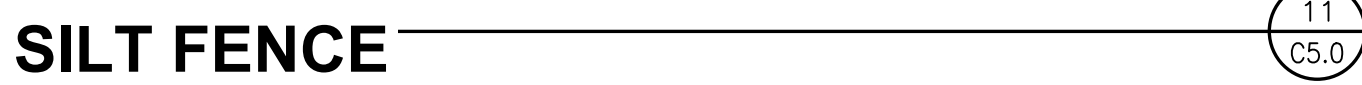
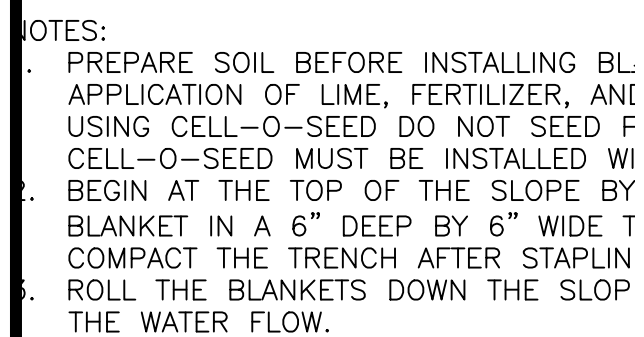
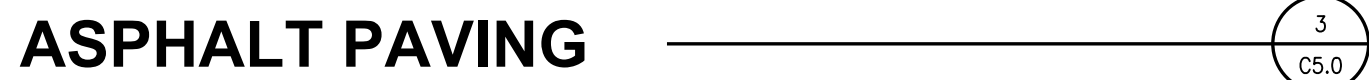
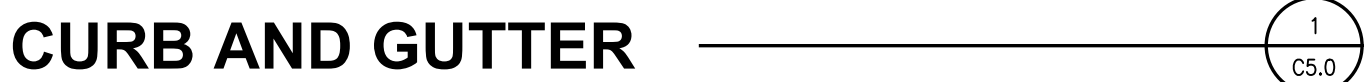
1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE
2. NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAY
3. INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR
4. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE
5. CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING
6. OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF
7. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION
8. WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION
9. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION
10. INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE
11. ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN
12. IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE
13. COORDINATE ALL EARTHWORK ACTIVITIES WITH THE RESPECTIVE
14. PROVIDE RIP RAP AT ALL CULVERT ENDWALL STRUCTURES
15. INSTALL WisDOT TYPE HR FILTER FABRIC BENEATH UNDER
16. IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STORM
17. SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STORAGE
18. THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITOR

EROSION CONTROL LEGEND:

EXISTING CONTOUR	888
PROPOSED CONTOUR	888
PROPOSED SILT FENCE	
EROSION CONTROL BLANKET	
ROCK CONSTRUCTION ENTRANCE	
RIP RAP	
STORM WATER OVERLAND FLOW DIRECTION	

EROSION CONTROL SEQUENCE:

1. INSTALL PERIMETER EROSION CONTROL
2. BEGIN DEMOLITION
3. BEGIN ROUGH GRADING AND UTILITY INSTALLATION
4. DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION
5. TEMPORARY STABILIZATION ACTIVITY SHALL COMMENCE WHEN
6. FINAL STABILIZATION ACTIVITY SHALL COMMENCE WHEN FINAL
7. IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANTI



SITE WORK

THE SITE WORK CONTRACTOR IS REQUIRED TO CONTACT DIGGER'S HOTLINE. ALL UTILITIES SHALL BE LOCATED PRIOR TO STARTING EXCAVATION.

ALL EXCAVATION AND BACK FILL FOR MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE MECHANICAL CONTRACTOR. THESE TRENCHES ARE TO BE FILLED IN 8" LIFTS AND COMPACTED TO 95% OF THE MODIFIED PROCTOR VALUE. ENSURE TRENCH ROUTE IS CLEAR OF UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO DIGGING.

THE EXCAVATION CONTRACTOR SHALL ADVISE THE GENERAL CONTRACTOR OF ANY SOIL CONDITIONS WHICH APPEAR OUT OF THE ORDINARY. THE SOIL BEARING CAPACITY IS LISTED ON THE COVER SHEET.

ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS AND AT SITE FILL AREAS SHALL BE REMOVED. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION.

ALL SUB GRADE FILL UNDER PAVED AREAS AND BUILDING AREAS SHALL BE CLEAN GRANULAR FILL CONFORMING TO GRADE 1 OR 2 OF SECTION 209 WDOT STANDARD. PLACE IN 8" MAXIMUM LIFTS AND COMPACT TO 95% OF THE MODIFIED PROCTOR VALUE. GRAVEL BASE BENEATH FLOOR SLABS SHALL BE 6 INCHES OF 3/4" CRUSHED STONE OR SAND COMPACTED TO THE ABOVE STANDARD. GRAVEL BASE BENEATH DRIVES, PARKING AREAS, AND APRONS SHALL BE 12" OF COMPACTED CRUSHED STONE. TYPAR SHALL BE INSTALLED WHENEVER THIS 12" BASE RESTS ON CLAY OR LOOSE SOILS. FILL SHALL NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACKFILL.

FOUNDATION TRENCHES MUST BE BACK FILLED UNIFORMLY ON EACH SIDE WITH SAND. PLACE FILL IN 8" LIFTS AND COMPACT TO 95% OF THE MODIFIED PROCTOR VALUE. THE EXTERIOR SIDE MAY BE FILLED WITH COMPACTED NON-STRUCTURAL FILL IF THERE WILL NEVER BE A PARKING LOT OR ADDITION ON THAT SIDE. WHEN IN DOUBT, BACK FILL WITH SAND.

THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AT A MINIMUM OF 2% SLOPE FOR 10'-0" AWAY FROM THE BUILDING, STARTING AT 5" BELOW THE FLOOR LINE OR AS INDICATED ON THE PLANS. PROVIDE 6" OF TOPSOIL AT ALL GRASS AND LANDSCAPED AREAS AND GRADE TO +/- 0.10 FEET.

SPLASH BLOCKS ARE TO BE PLACED AT ALL DOWN SPOUTS WHICH DISCHARGE AT GRADE AND AT SPRINKLER DRAIN VALVES.

IF A CURRENT GEOTECHNICAL REPORT OR PLANS BY A CIVIL CONSULTANT ARE AVAILABLE, ALL REQUIREMENTS OF THAT REPORT AND PLANS MUST BE FOLLOWED. WHEN THE STRUCTURAL/ARCHITECTURAL PLANS OR THE INFORMATION ABOVE CONFLICT WITH THE GEOTECHNICAL REPORT OR THE CIVIL PLANS, THE INFORMATION IN THE GEOTECHNICAL REPORT AND CIVIL PLANS SUPERCEDE.

CONCRETE

CONCRETE CONTRACTOR SHALL VERIFY SOIL CONDITIONS BEFORE PLACING FOUNDATIONS AND SLABS. NOTIFY THE GENERAL CONTRACTOR IF ANY SOIL CONDITIONS APPEAR OUT OF THE ORDINARY.

FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OR STRUCTURAL FILL. DO NOT PLACE FOOTINGS ON FROZEN GROUND.

DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94.

1) FOOTINGS AND WALLS SHALL HAVE STRENGTH EQUAL TO 3,000 PSI AT 28 DAYS.
2) SLABS ON GRADE SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS.
3) EXTERIOR CONCRETE SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS.
4) COLUMNS, BEAMS AND STRUCTURAL SLABS SHALL HAVE STRENGTH EQUAL TO 4,000 PSI AT 28 DAYS.
5) PRE CAST TOPPING SHALL HAVE STRENGTH EQUAL TO 4000 PSI AT 28 DAYS.
6) SLUMP SHALL NOT EXCEED 4".
7) ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH 4-7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT THE APPROVAL OF THE GENERAL CONTRACTOR. CALCIUM CHLORIDE SHALL NOT BE USED.
8) MAXIMUM AGGREGATE SIZE FOR FOOTING TO BE 1 1/2" AND MAXIMUM AGGREGATE SIZE FOR ALL OTHER WORK TO BE 3/4".

PLACE FLOOR SLABS WITH CONSTRUCTION JOINTS OR SAW JOINTS NOT EXCEEDING A MAXIMUM OF 156 SQUARE FEET OR AS INDICATED ON THE PLANS. SAW CUTTING TO BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED.

INTERIOR SLABS TO HAVE A TROWEL FINISH AND EXTERIOR SLABS TO HAVE A LIGHT BROOM FINISH. MAINTAIN FLOOR LEVEL AT WALLS AND PITCH SURFACES UNIFORMLY TO DRAINS. CONCRETE TO BE SEALED OR WET CURED FOR 7 DAYS. FLOORS TO RECEIVE TILE OR EPOXY TO BE WET CURED ONLY. EXTERIOR SLABS SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 1/2" FIBER EXPANSION JOINT.

DESIGN AND CONSTRUCTION OF CAST-IN-PLACE CONCRETE SHALL CONFORM TO ACI 318 AND CRSI STANDARDS.

ANCHOR BOLTS AND THREADED RODS TO BE ASTM F1554. MINIMUM GRADE A36.

FOOTING SCHEDULE

MARK	FOOTING SIZE (LxWxTHICKNESS)	FOOTING REINFORCING	TOP OF FOOTING	DETAIL	GROUT	ANCHOR BOLTS
F-1	3'-0" x 3'-0" x 12"	#5 BARS AT 12" O.C. EACH WAY (BOTTOM)	94'-4"	5/S1.0	-	(4) 1/2"

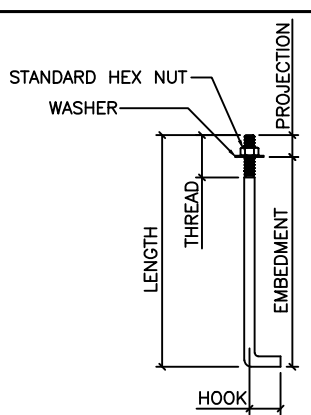
NOTES: 1. FOOTING DIMENSIONS ON AN EXTERIOR WALL INCLUDE THE WIDTH OF THE STRIP FOOTING.
2. PIER DIMENSIONS INCLUDE THE WIDTH OF THE ADJACENT FOUNDATION WALL.

TYPICAL ANCHOR BOLT STANDARDS

ANCHOR BOLTS (NO GROUT)						DIAGRAM
SIZE	EMBEDMENT	PROJECTION	THREAD	LENGTH	HOOK	
1/2" DIA.	9"	3"	4"	12"	2"	
1/2" EXPANSION BOLTS				5"		
NOTES: 1. ALL ANCHOR BOLTS MUST BE ASTM F1554 GRADE 36 MINIMUM. 2. PROVIDE NUT AND WASHER AS SHOWN 3. PROVIDE HOLE CLEARANCE IN COLUMN BASE PLATES PER AISC 13TH EDITION.						

The diagram illustrates the assembly of an anchor bolt. It shows a vertical bolt with a hook at the bottom. The components and dimensions are labeled as follows:

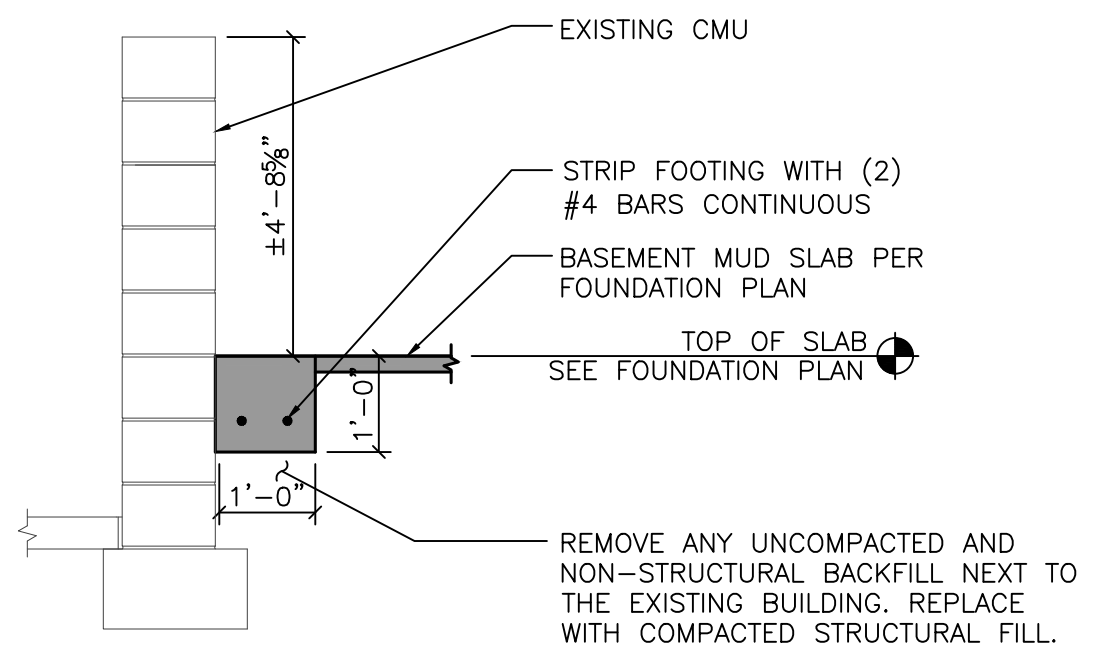
- PROJECTION**: The distance from the top of the bolt to the top of the washer.
- STANDARD HEX NUT**: The nut at the top of the bolt.
- WASHER**: The flat circular plate below the nut.
- THREAD**: The threaded portion of the bolt, indicated by a vertical line with diagonal hatching.
- LENGTH**: The total length of the bolt, from the top of the nut to the bottom of the hook.
- EMBEDMENT**: The distance from the bottom of the hook to the bottom of the bolt.
- HOOK**: The curved end of the bolt at the bottom.



REINFORCING STEEL

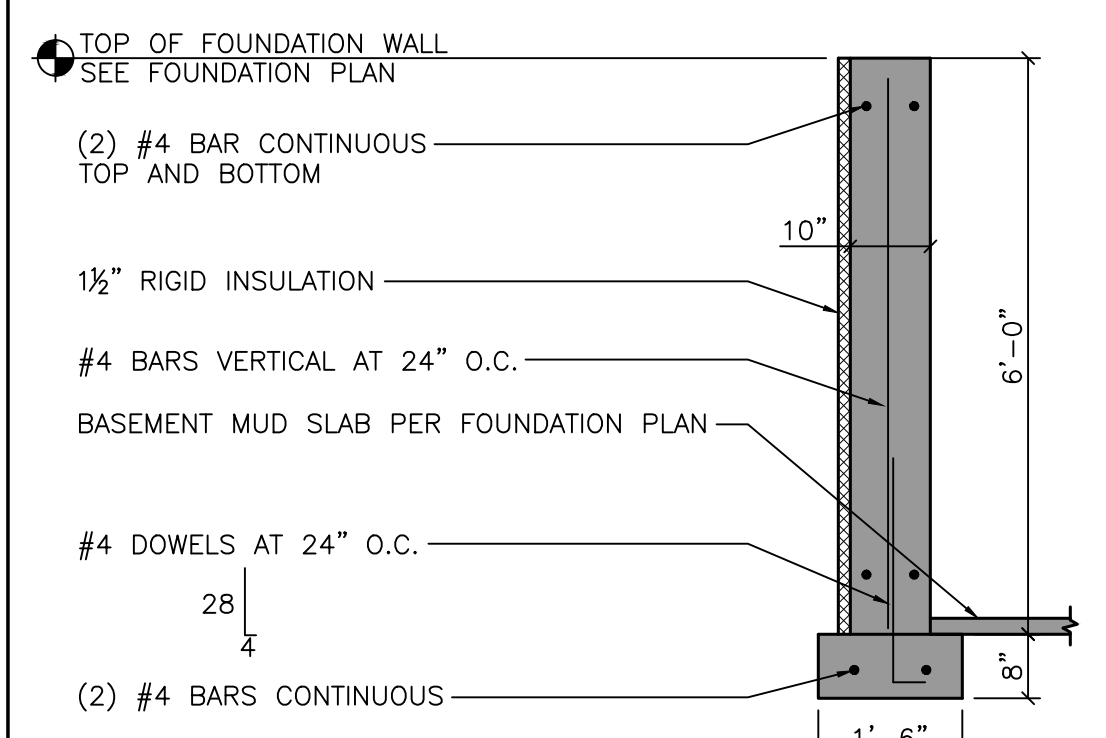
REINFORCING STEEL TO CONFORM TO ASTM-A615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-A185. LAP ALL HORIZONTAL REINFORCING AT SPICES AND ANGLES IN THE CORNERS 30 BAR DIAMETERS. WELDED WIRE FABRIC IS TO BE LAPPED 6" AND PLACED IN THE CENTER OF THE SLAB UNLESS INDICATED OTHERWISE. REINFORCING SHALL BE PLACED IN CONFORMANCE WITH CRSI "RECOMMENDED PRACTICES FOR PLACING BARS" AND ACI 318. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE, DIRT OR DEEP RUST WHEN PLACED. PROVIDE CONCRETE PROTECTION FOR REBARS PER ACI 318 SECTION 7.7.

June 11, 2021



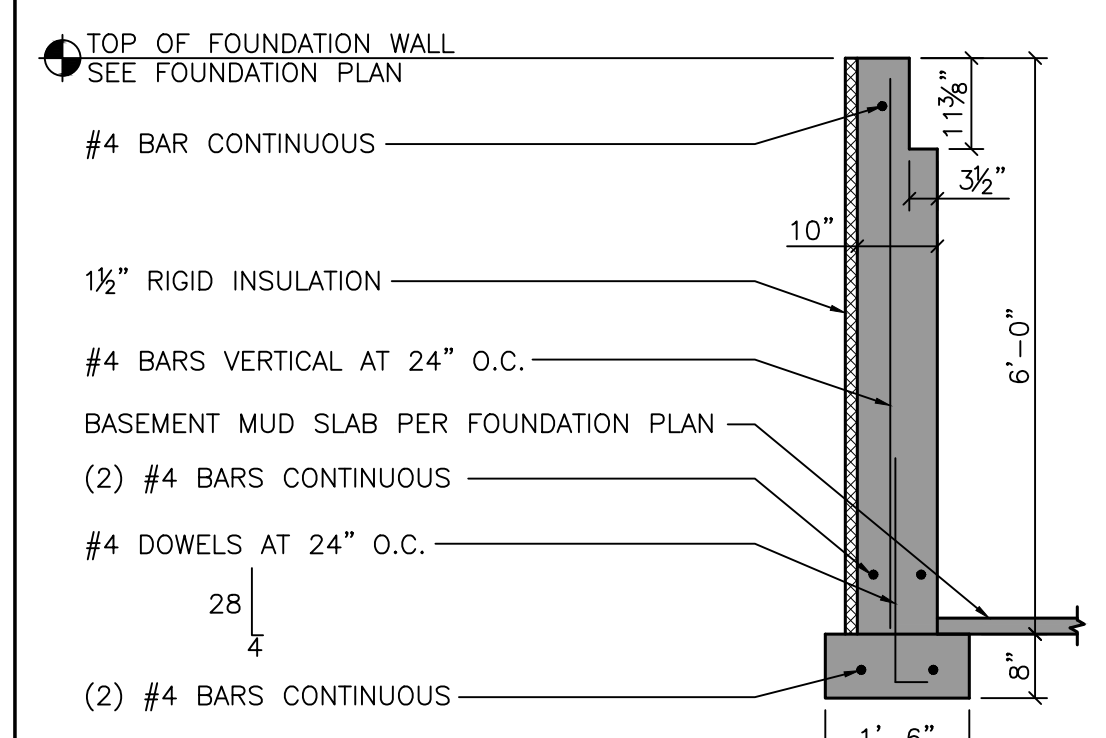
SLAB NEXT TO EXISTING FOUNDATION WALL
SCALE: NOT TO SCALE

6
S1.0



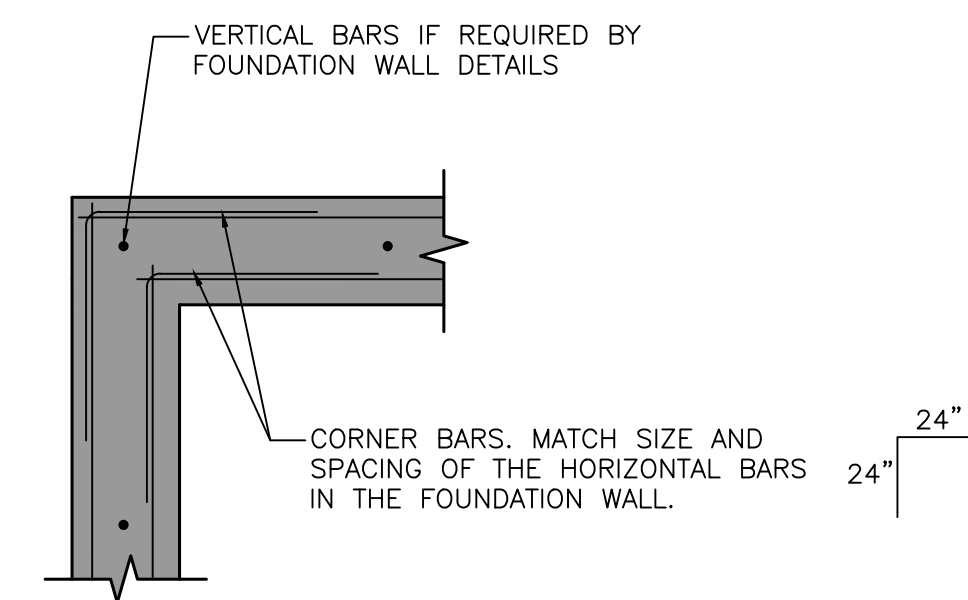
6'x10" FOUNDATION WALL
SCALE: 1/2"=1'-0"

4
S1.0



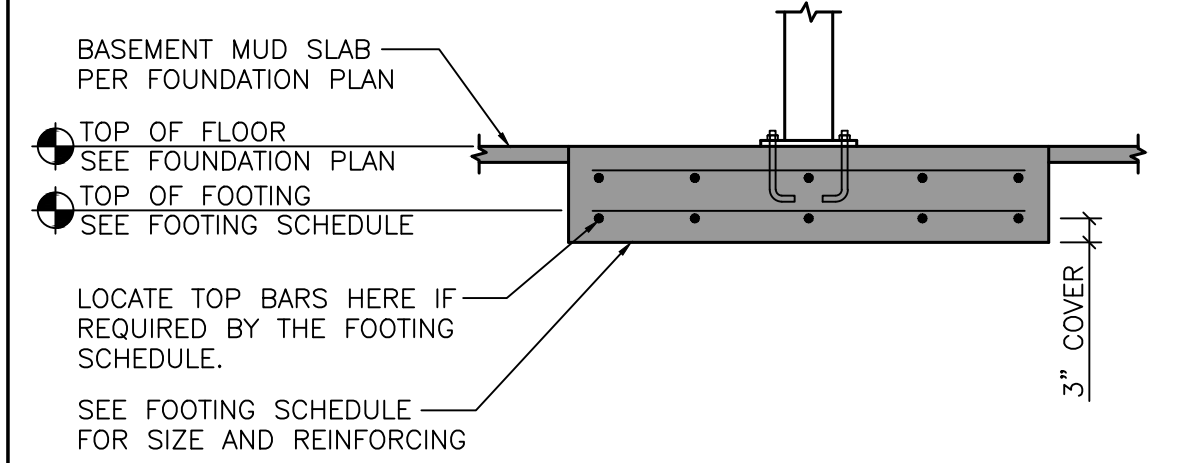
6'x10" FOUNDATION WALL
SCALE: 1/2"=1'-0"

1
S1.0



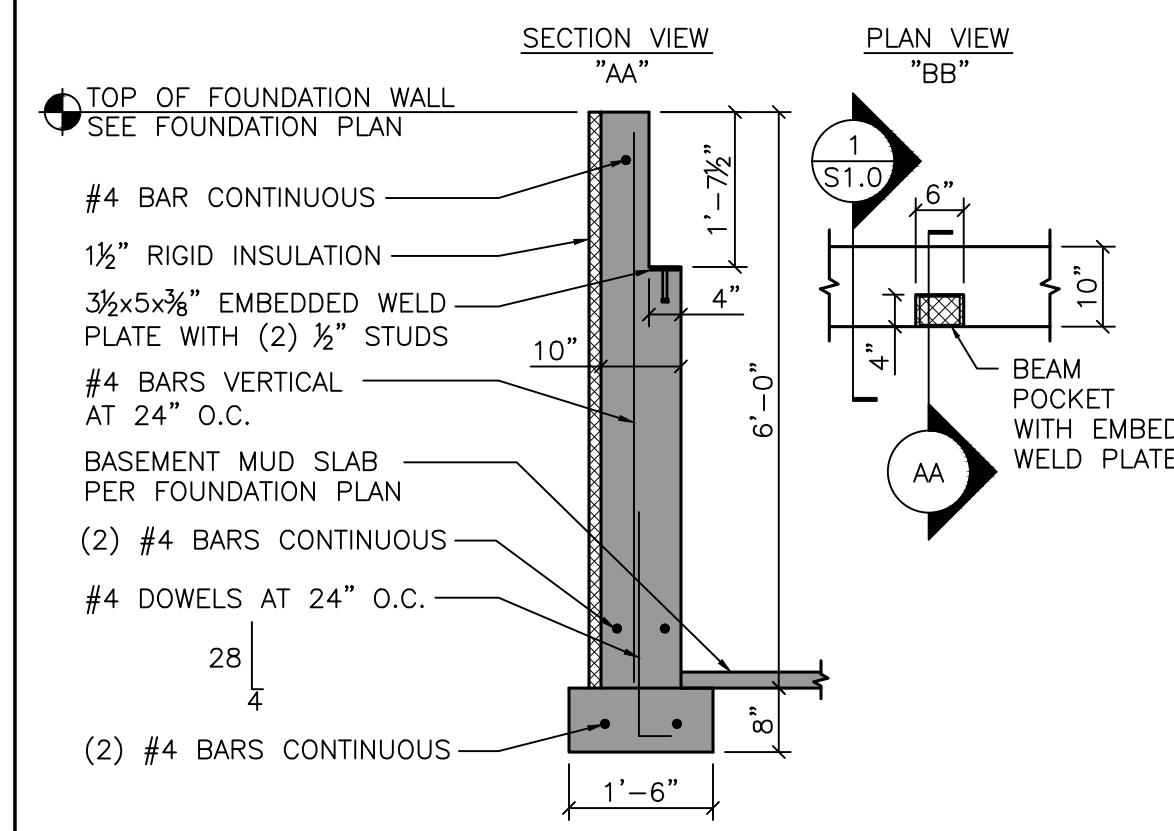
CORNER REINFORCING
SCALE: NOT TO SCALE

7
S1.0



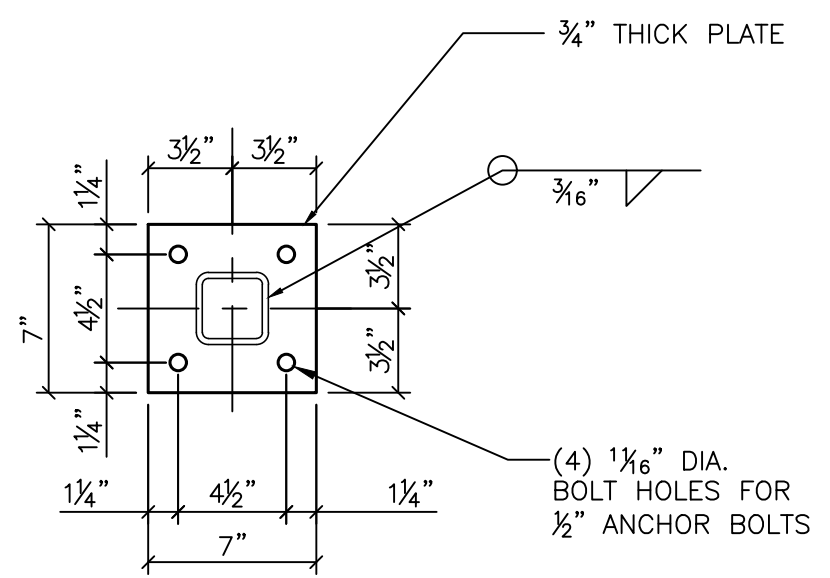
INTERIOR FOOTING WITHOUT PIER
SCALE: 1/2"=1'-0"

5
S1.0



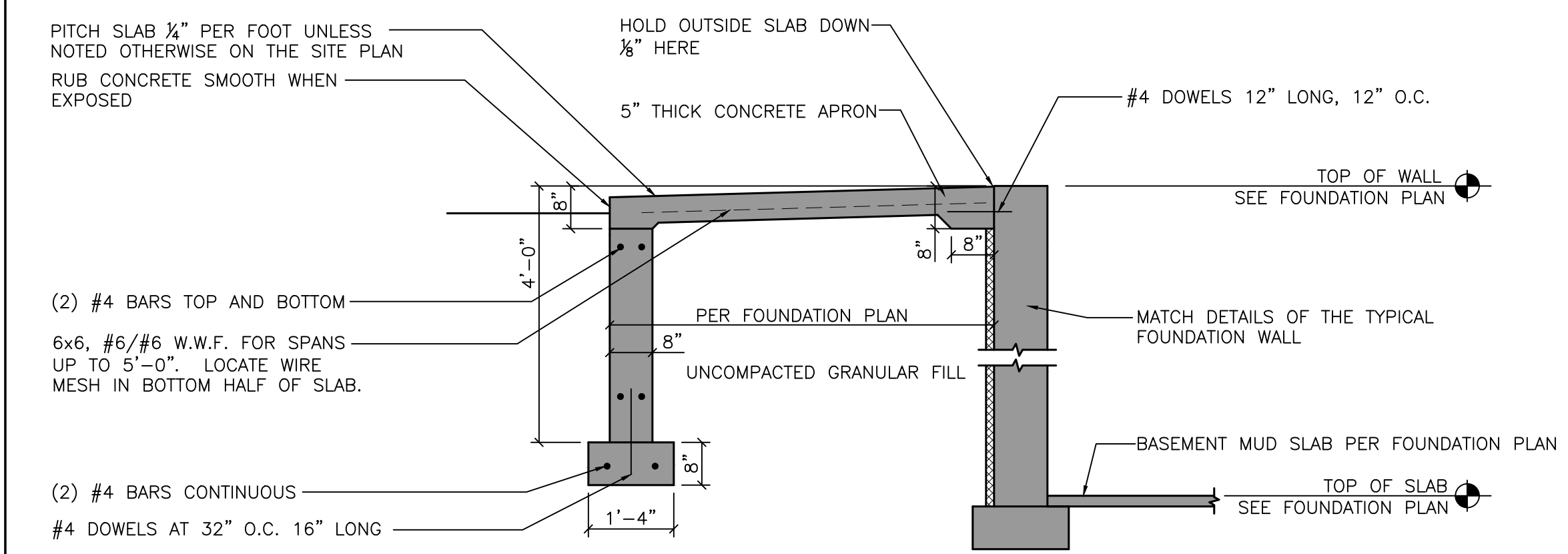
6'x10" FOUNDATION WALL WITH BEAM POCKET
SCALE: 1/2"=1'-0"

2
S1.0



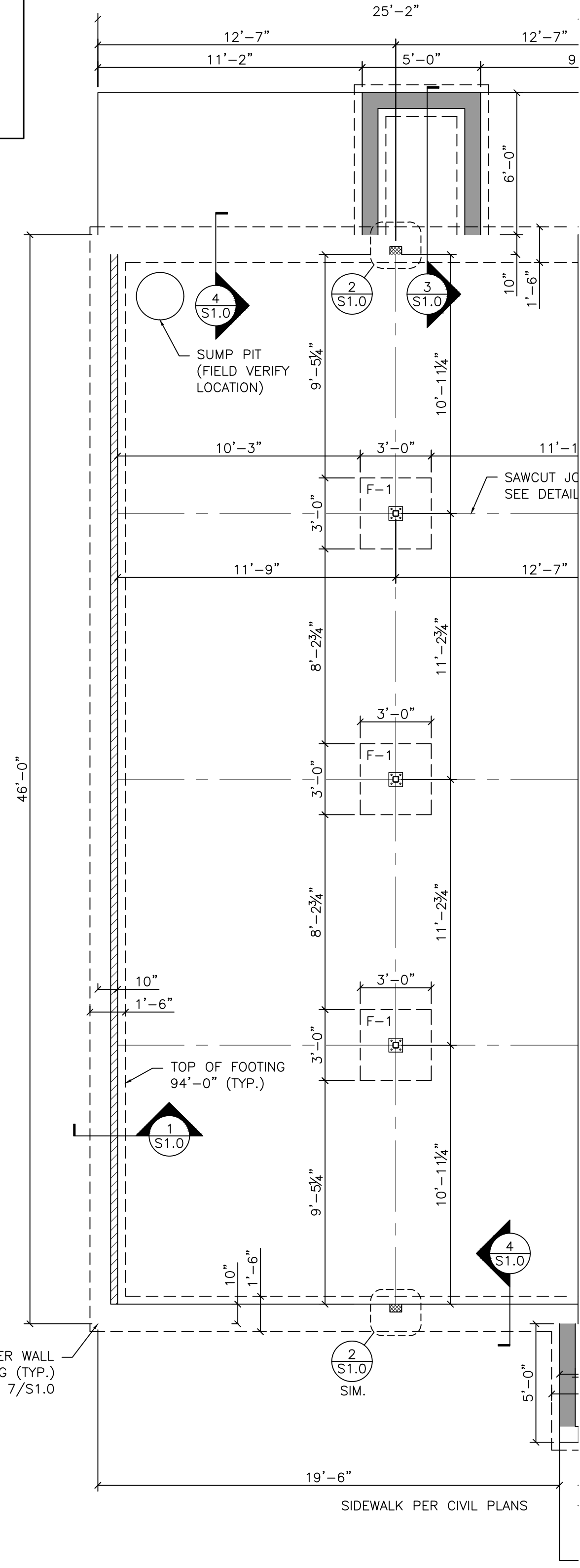
BASE PLATE (BP-1)
SCALE: 1/2"=1'-0"

8
S1.0



STOOP WITH UNCOMPACTED FILL
SCALE: 1/2"=1'-0"

3
S1.0

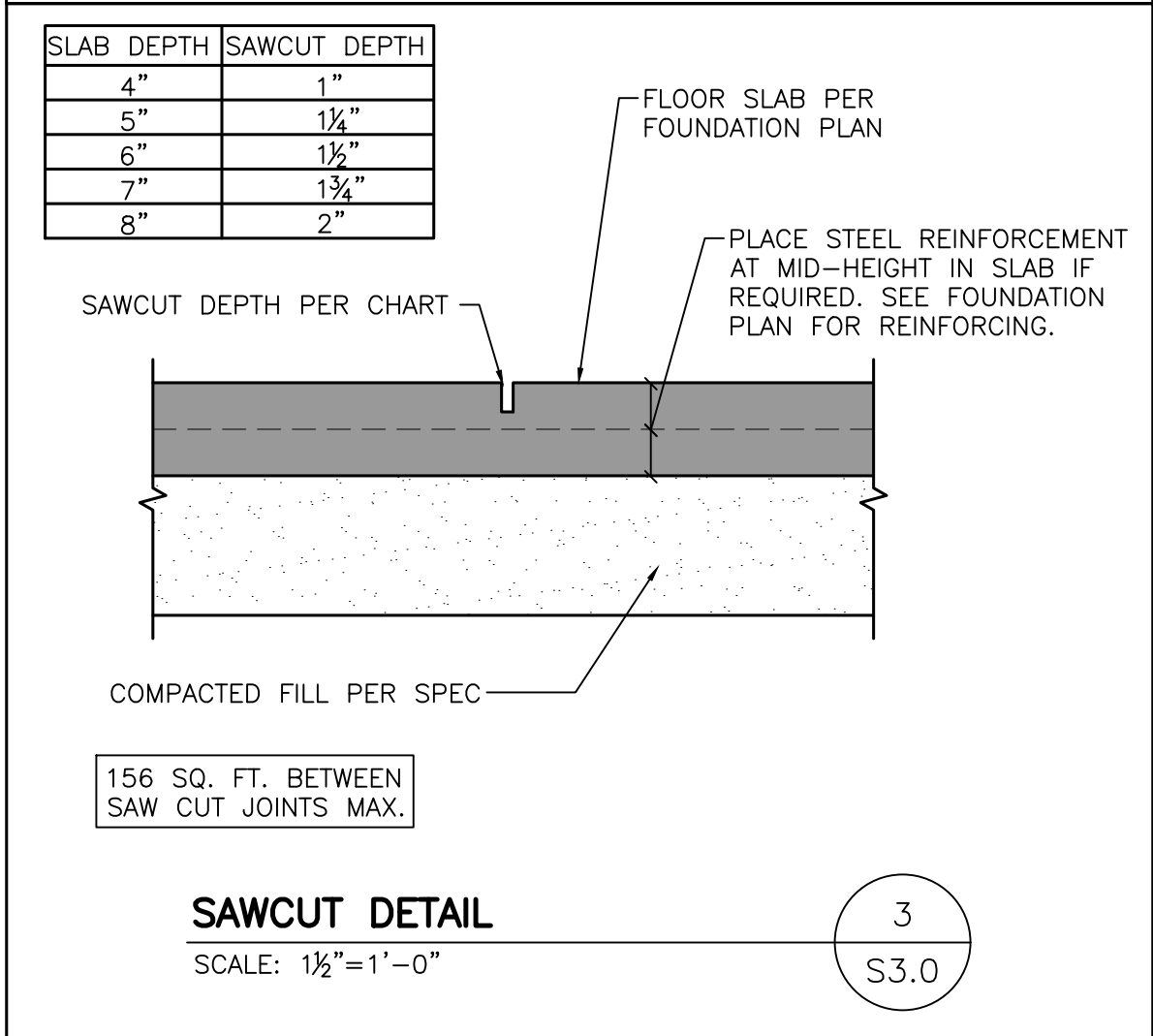
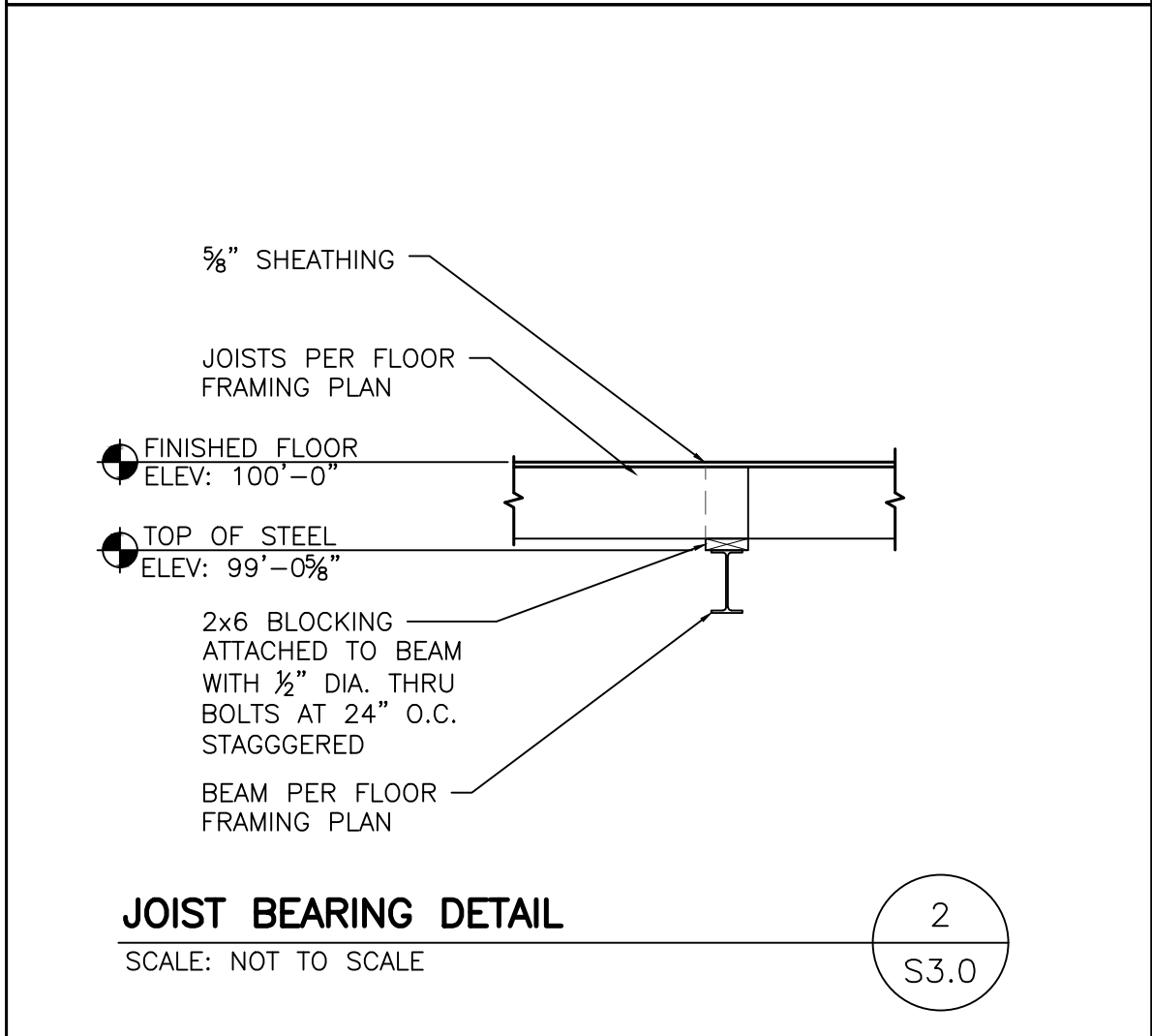
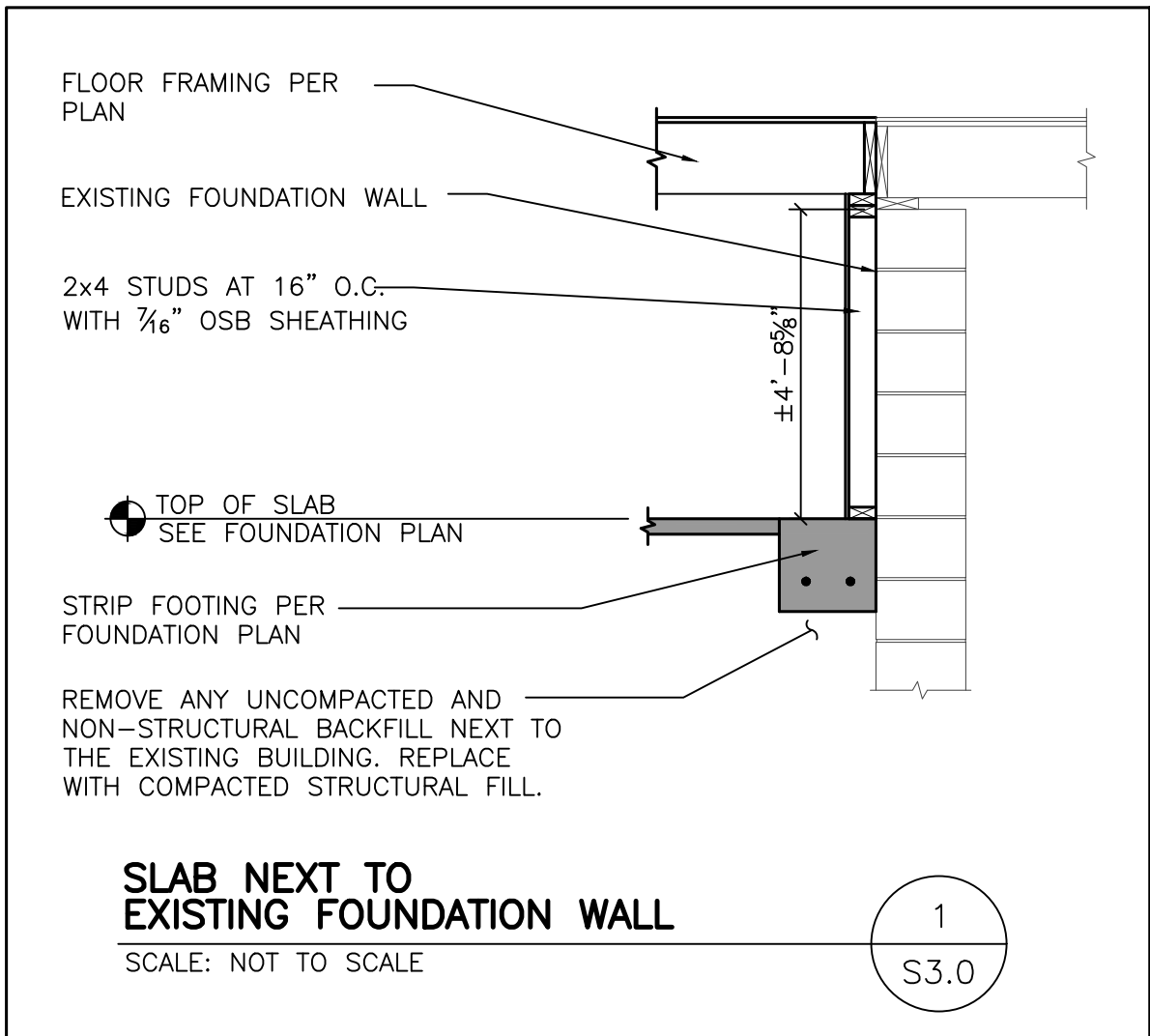


TOP OF FOUNDATION WALL KEY

[Solid line]	TOP OF CONCRETE = 100'-0"
[Dashed line]	TOP OF CONCRETE = 99'-4"
[Dotted line]	TOP OF CONCRETE = 99'-0 3/4"
[Cross-hatched]	TOP OF CONCRETE = 98'-4 1/2"

FOUNDATION PLAN
SCALE: 1/4"=1'-0"

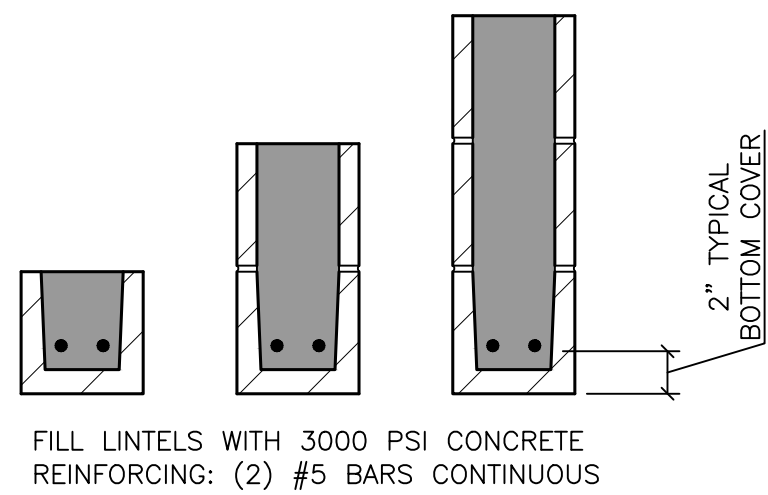




NAILING	
CONNECTION	(COMMO CONT)
BRIDGING TO TRUSSES, FACE NAIL EACH END TOP PLATE TO STUD, END NAIL STUD TO SOLE PLATE	
DOUBLED STUDS, FACE NAIL BUILT-UP CORNER STUDS DOUBLED TOP PLATES, TYPICAL FACE NAIL DOUBLED TOP PLATES, LAP SPLICES	
CONTINUOUS HEADER, TWO PIECES	
CONTINUOUS HEADER TO STUD, TOENAIL	
OSB ROOF SHEATHING	
EXTERIOR WALL SHEATHING	

NOTES: 1. USE THESE PATTERNS UNLESS NOTED OTHER
2. THESE PATTERNS COMPLY WITH IBC TABLE 23





MARK	LINTEL	BEARING (EACH SIDE)	BEARING HEIGHT	
L-1	(3) PLY 2x8	1½"	MATCH EXISTING	SINGLE KING STUDS
L-2	(3) PLY 2x10	3"	MATCH EXISTING	SINGLE KING STUDS
L-3	(2) PLY 2x10	1½"	FIELD VERIFY	-
L-4	(3) PLY 1½"x9¼" LVL (RIPPED DOWN)	8"	FIELD VERIFY	GROUT (1) CORE SO FASTEN LVL TO CMU

NOTE: 1. PROVIDE A BOND BEAM WITH (2) #5 BARS AT ALL MASONRY OPENINGS NOT LISTED IN THIS SCHEDULE. USE 8" DIA. BARS FOR ALL OTHER OPENINGS.
2. PROVIDE (1) #5 BAR IN GROUTED SOLID CORE AT EACH SIDE OF ALL MASONRY OPENINGS UNLESS NOTED OTHERWISE.
3. OTHER OPENINGS NOT LISTED IN THIS SCHEDULE REQUIRE NO SPECIAL STRUCTURAL HEADERS.

SCALE: 1" = 1'-0"

(2) PLY STUD. SEE NO

(2) PLY STUD. SEE NOTE

REMOVE EXISTING OVERHANG -
AT WEST WALL WHERE NEW
TRUSSES OCCUR

ADDITION / EXISTING

NEW 4'-0" WINDOW. SEE
ARCHITECTURAL PLANS FOR
LOCATION

$\pm 18'-0"$ (FIELD VERIFY)

WOOD TRUSSES

TRUSSES MUST BE INSTALLED PER TRUSS SUPPLIER SHOP DRAWINGS AND MUST MEET ALL REQUIREMENTS OF THE TRUSS SHOP DRAWINGS. WHERE THE TRUSS SHOP DRAWINGS CONFLICT WITH THE ROOF FRAMING PLAN, THE SHOP DRAWINGS SUPERCEDE.

WOOD TRUSSES SHALL BE DESIGNED FOR ALL LOADS AND REQUIREMENTS AS INDICATED ON THESE PLANS, AND AS OUTLINED BY IBC, CHAPTER 16. WOOD TRUSSES MUST MEET APPLICABLE REQUIREMENTS OF IBC, CHAPTER 23. TRUSS MANUFACTURER SHALL SPECIFY REQUIRED TRUSS BRACING AND HOLD DOWN CLIPS.

BUILDER MUST PROPERLY INSTALL ALL BRACING SPECIFIED BY THE TRUSS MANUFACTURER

NOTE:
STRAP DOWN ALL GIRDER TRUSSES WITH (1)
CS16 STRAP. USE 26 8d NAILS PER END OF
STRAP. ALSO USE (1) CS16 STRAP TO ATTACH
EACH GIRDER TRUSS SUPPORT POST TO THE
SILL PLATE. ADD TWO 1/2" DIA. EXPANSION
BOLTS THROUGH THE SILL PLATE AT THESE
LOCATIONS.

ATTIC DRAFTSTOP REQUIRED
MAXIMUM ATTIC
SPACE=3000 SQ. FT.

PROVIDE SIMPSON H-10A HOLD DOWN CLIPS ON ALL TRUSSES UNLESS OTHERWISE SPECIFIED BY THE TRUSS SUPPLIER.

PROVIDE SIMPSON H-10A-2 HOLD DOWN CLIPS ON ALL 2-PLY TRUSSES UNLESS OTHERWISE SPECIFIED BY THE TRUSS SUPPLIER.

ICE AND WATERSHIELD TO BE USED IN ALL VALLEYS AND AT EAVES.

TRUSS MANUFACTURER TO VERIFY WEIGHT
AND LOCATION OF HVAC UNITS WITH HVAC
CONTRACTOR

ROOF SHEATHING TO BE
PLACED IN AN ALTERNATING
PATTERN AS SHOWN

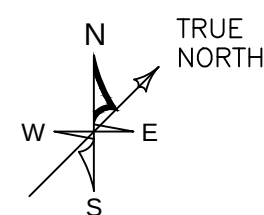
PROVIDE (2) STUDS UNDER
ALL 2 PLY TRUSS. PROVIDE
(3) STUDS UNDER ALL 3 PLY
AND GIRDER TRUSSES
UNLESS OTHERWISE NOTED

DEAD LOAD = 20 PSF
SNOW = 46.2 PSF
ROOF UPLIFT = -17.5 PSF (ZONE 1)
 -24.5 PSF (ZONE 2)
 -39.0 PSF (OVERHANGS)

HOLD DOWN	ANCHOR DIAMETER	MINIMUM EMBEDMENT
SIMPSON HDU2-SDS2.5	5/8"	11"
SIMPSON LTT19	1/2"	11"

- ▲ SIMPSON HDU2-SDS2.5 HOLD-DOWN, 2-PLY STUD (6) LOCATIONS
- SIMPSON LTT19 HOLD-DOWNS, 2-PLY STUD (4) LOCATIONS
- ⊗ 2-PLY STUD COLUMN, ATTACH COLUMN TO FOUNDATION WITH 16 GA. CLIP ANGLE EACH SIDE. ATTACH CLIP ANGLE TO FOUNDATION WITH ½" DIA. EXPANSION ANCHORS WITH 5" EMBEDMENT AND ATTACH TO STUDS WITH (5) 16d NAILS.

SCALE: $\frac{1}{4}"=1'-0"$





www.kellerbuilds.com

A PROPOSED ADDITION FOR,
LAKEVIEW DENTAL CENTER

6615 W. LAKESHORE DR.
54806
WISCONSIN
ASHLAND,

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REVISIONS

PROJECT MANAGER:

ARCHITECT:

DRAWN BY:

EXPEDITOR:

SUPERVISOR:

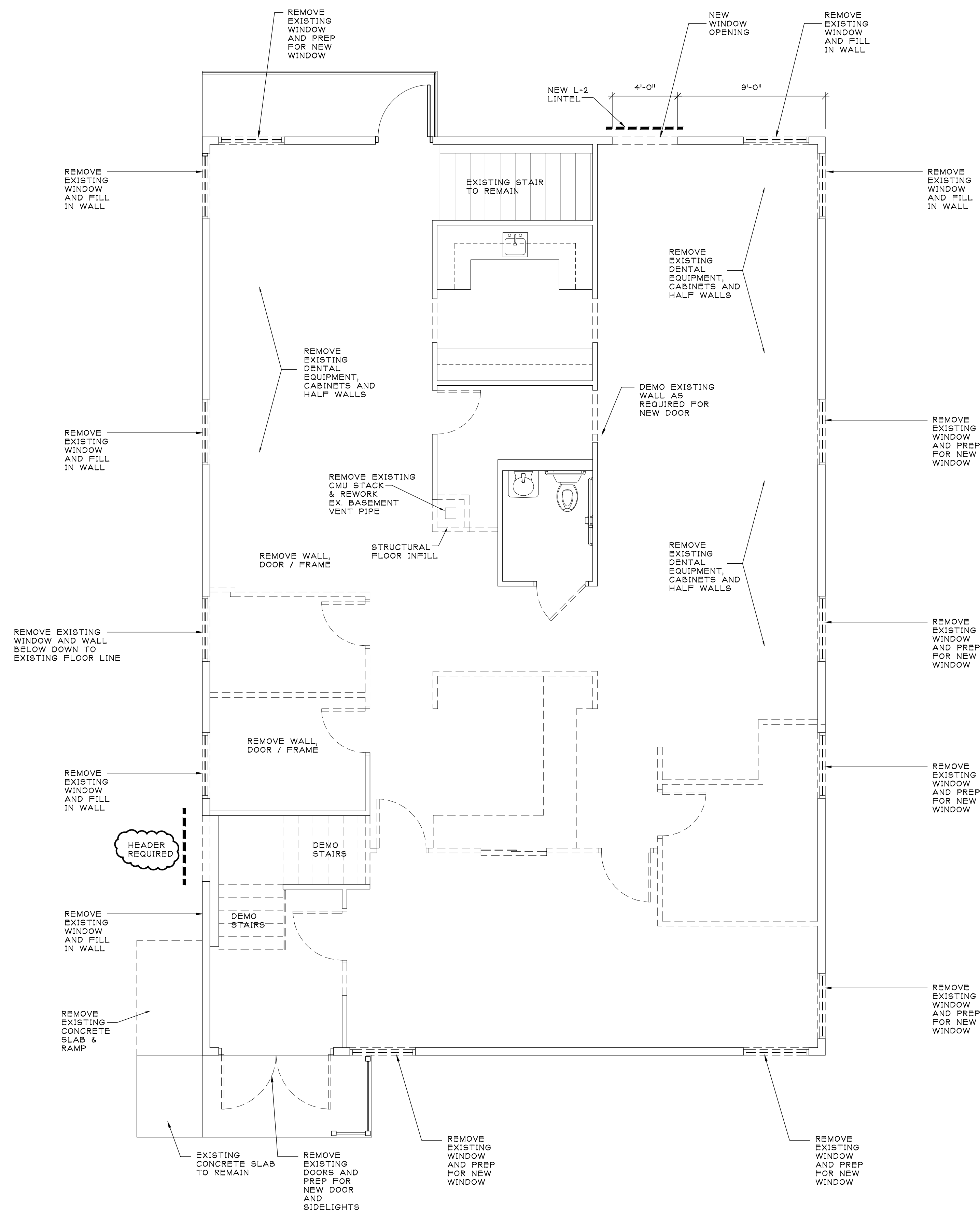
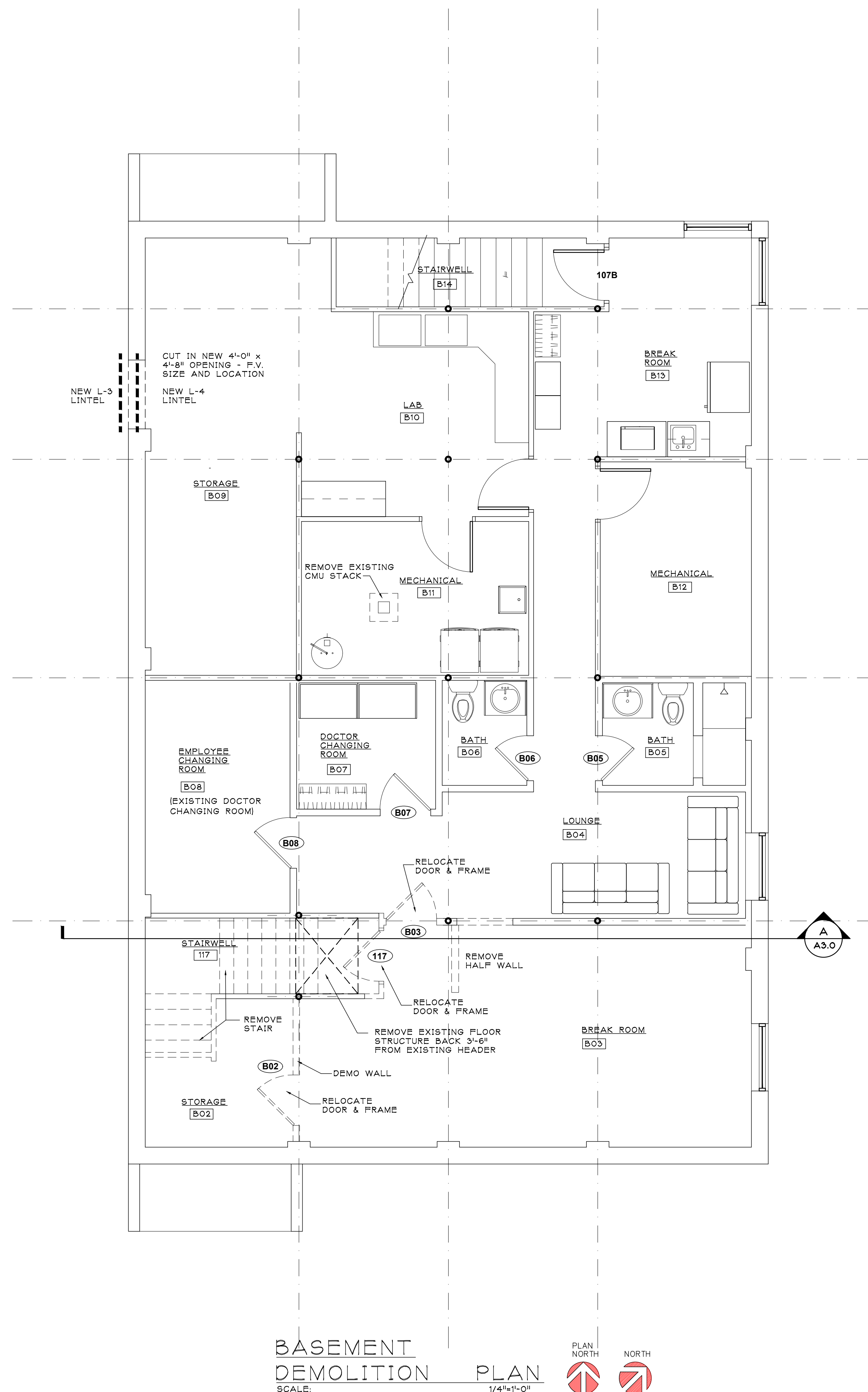
PRELIMINARY NO:

CONTRACT NO:

DATE: _____

SHEET:

D1.0



FIRST FLOOR
DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMO NOTES

REMOVE ALL EXISTING EXTERIOR
WALL SIDING, ROOF SHINGLES,
FASCIAS AND SOFFITS

REMOVE ALL EXISTING
FLOORING AND CEILINGS

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FAX 262.250.9740

LAKEVIEW DENTAL CENTER

54806

WISCONSIN

615 W. LAKESHORE DR.

ASHLAND.

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B. ALLEN

K. SPERL

S. BURTON

C. HOYER

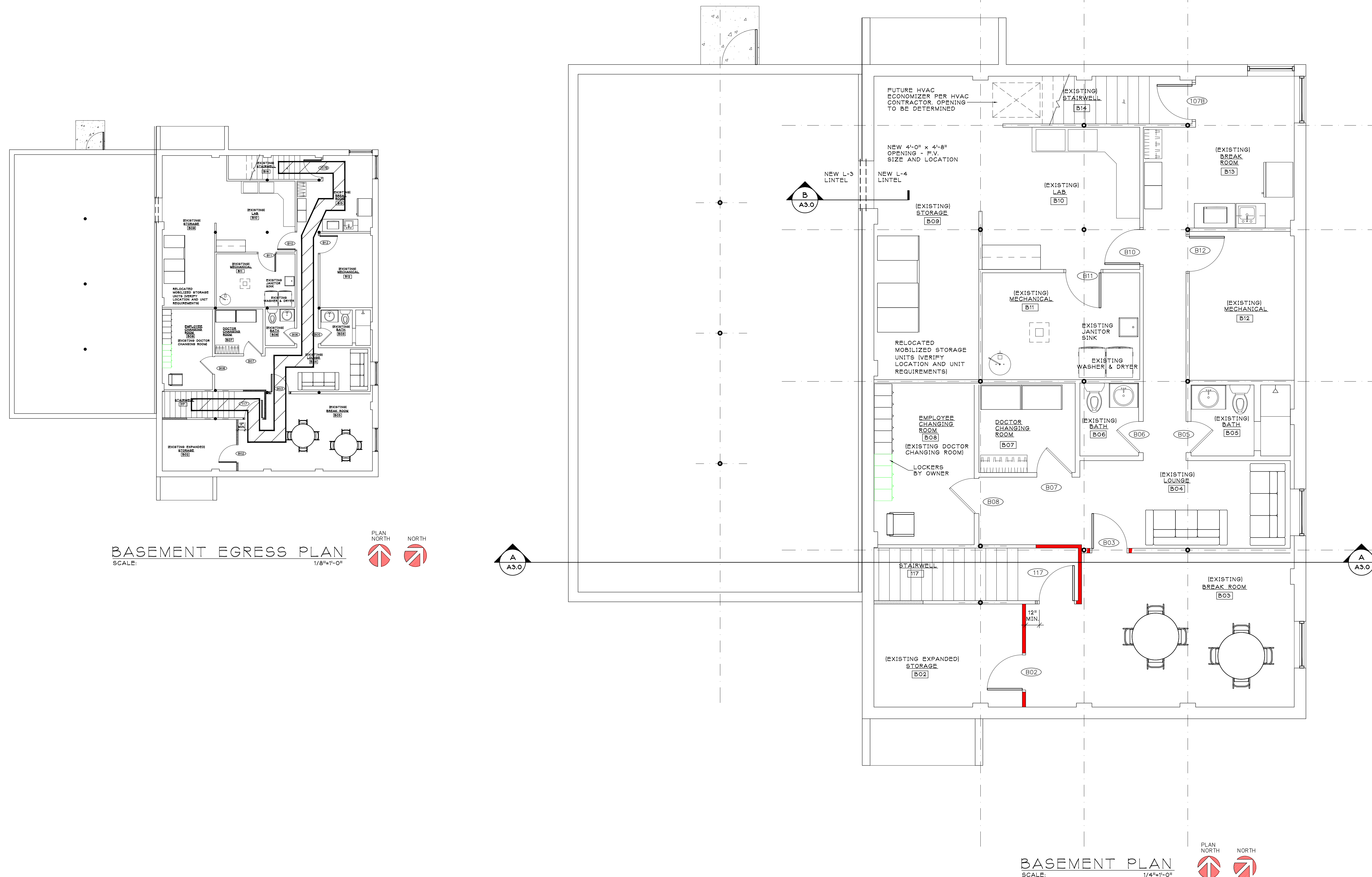
71763

JUNE 14, 2021

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1.800.236.2534
FAX 920.766.5004

MADISON
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Sun Prairie, WI 53590
PHONE 608.318.2336
FAX 608.318.2337

MILWAUKEE
W204 N11509
Goldendale Road
Germanstown, WI 53022
PHONE 262.250.9710
1.800.236.2534
FAX 262.250.9740

WAUSAU
5605 Lloc Avenue
Wausau, WI 54401
PHONE 715.849.3141
FAX 715.849.3161

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REVISIONS

PROJECT MANAGER:

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K. SPERL

DRAWN BY:

S. BURTON

EXPEDITOR:

C. HOYER

SUPERVISOR:

PRELIMINARY NO:

CONTRACT NO:

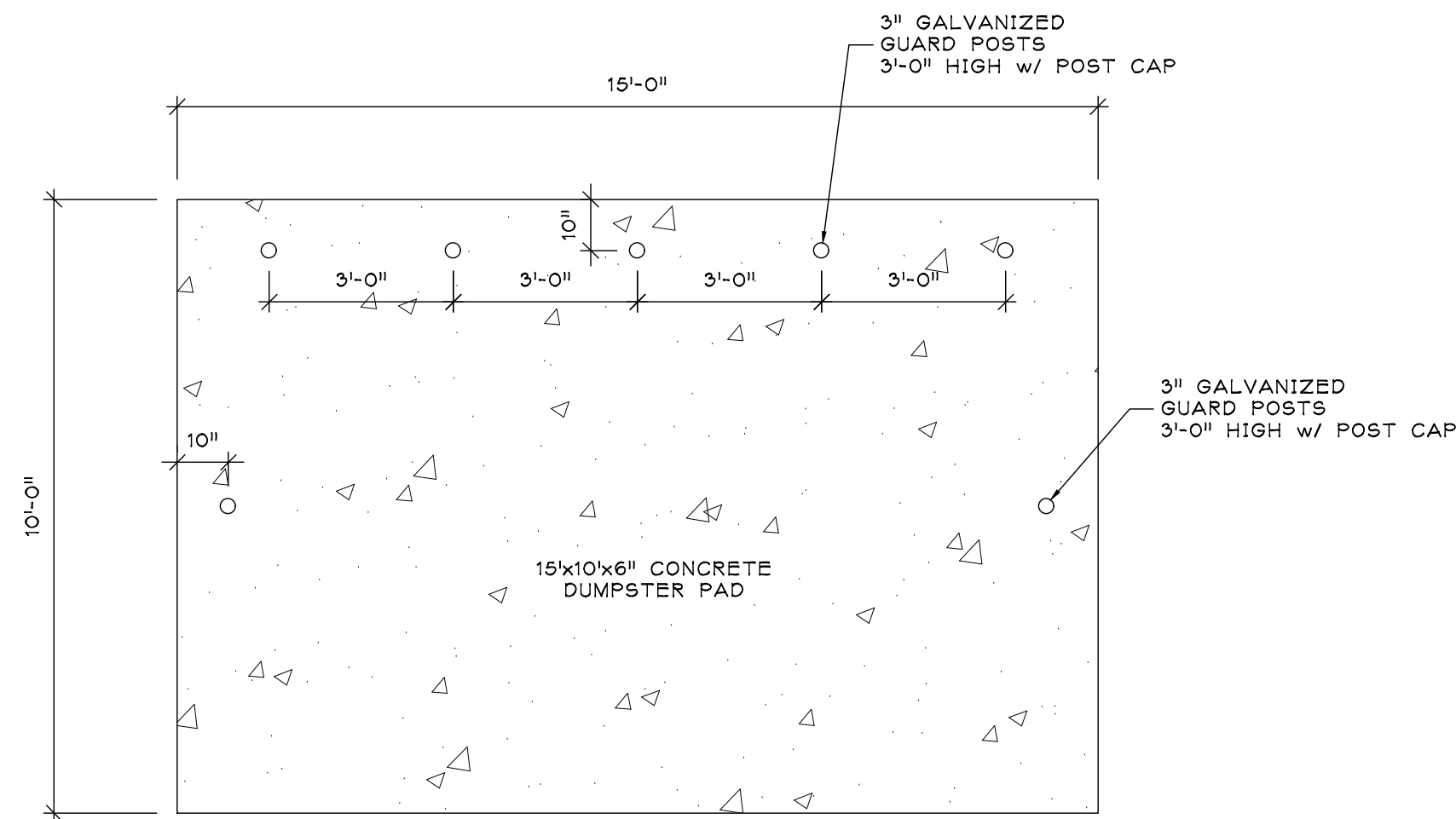
71763

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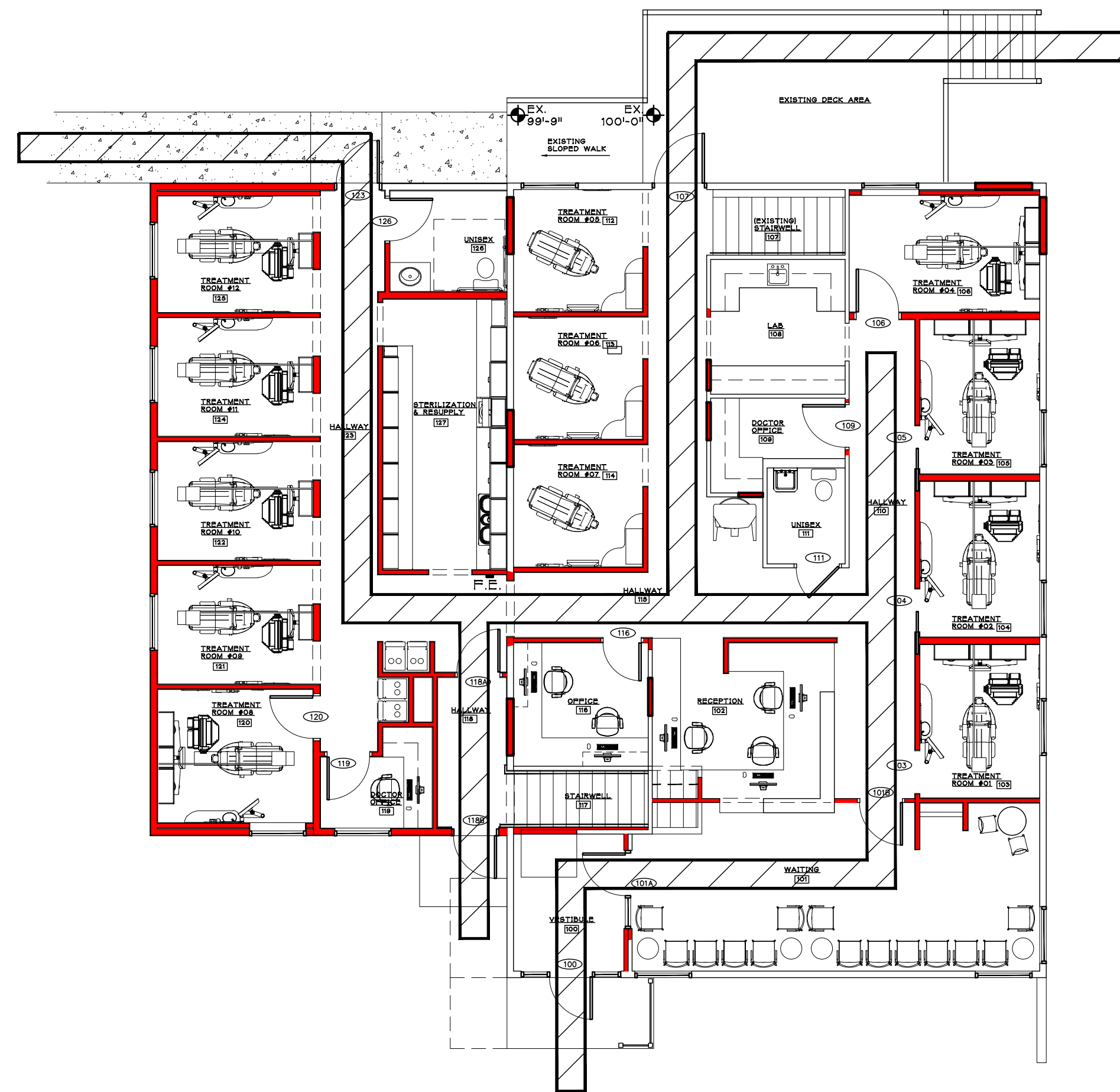
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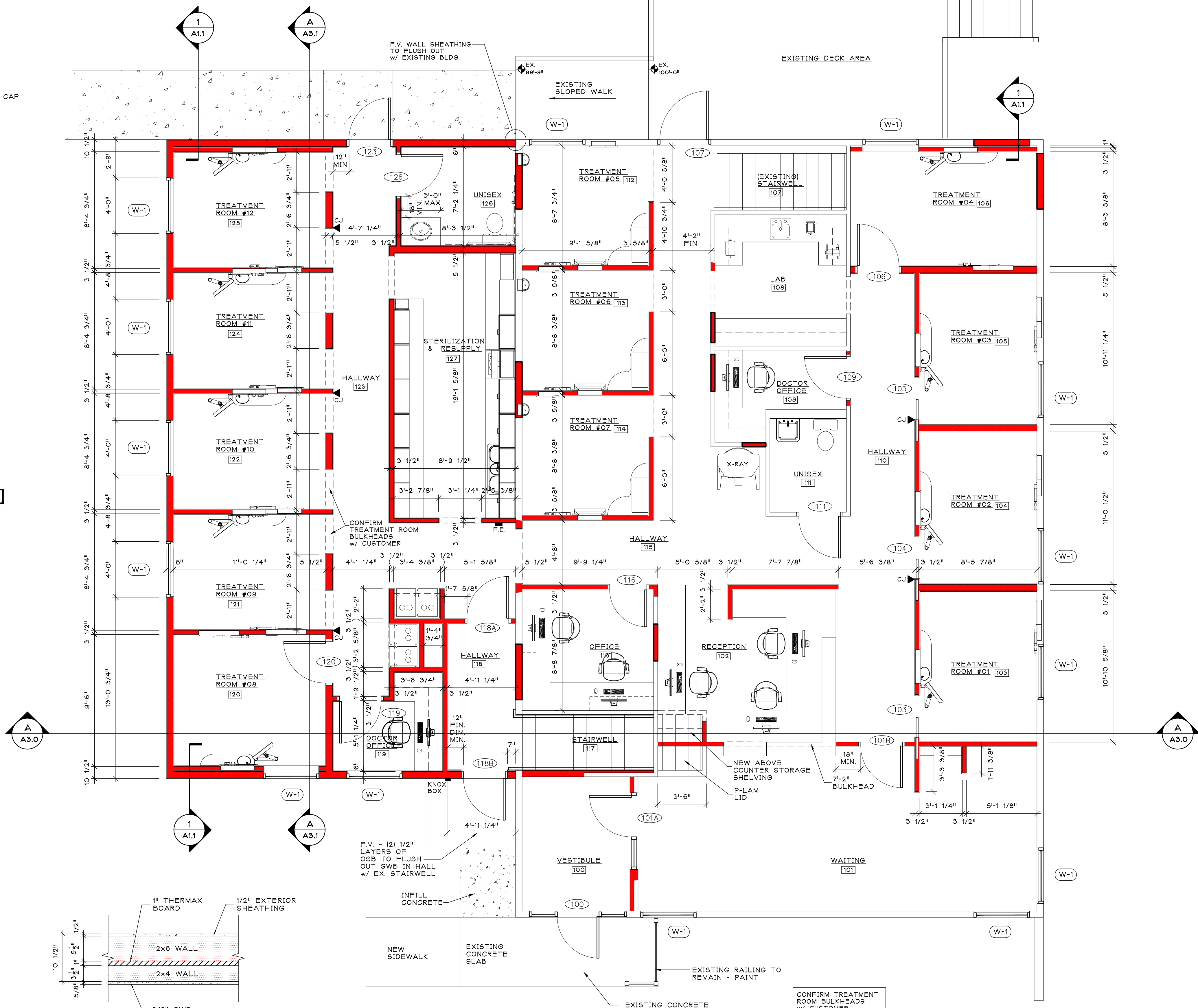
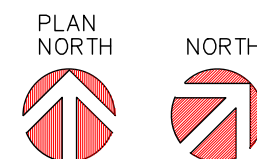
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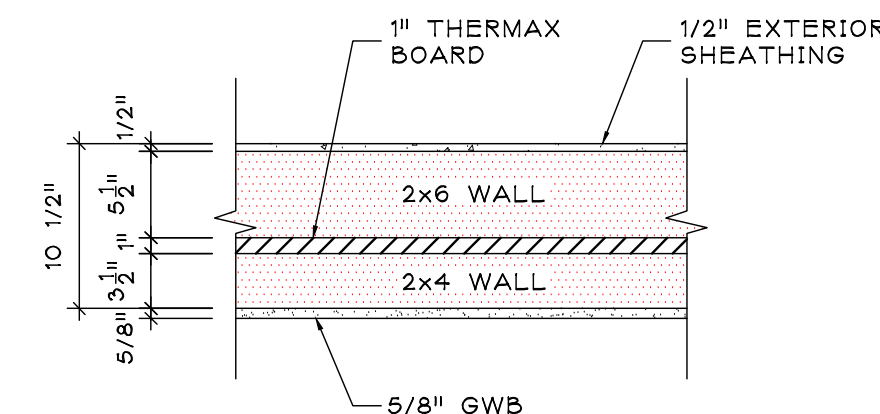
DUMPSTER PAD
SCALE: 1/4"=1'-0"



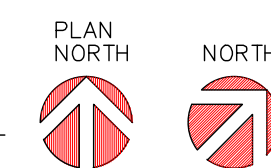
EGRESS PLAN
SCALE: 1/8"=1'-0"



EXT. PLUMBING WALL
SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



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615 W. LAKESHORE DR.
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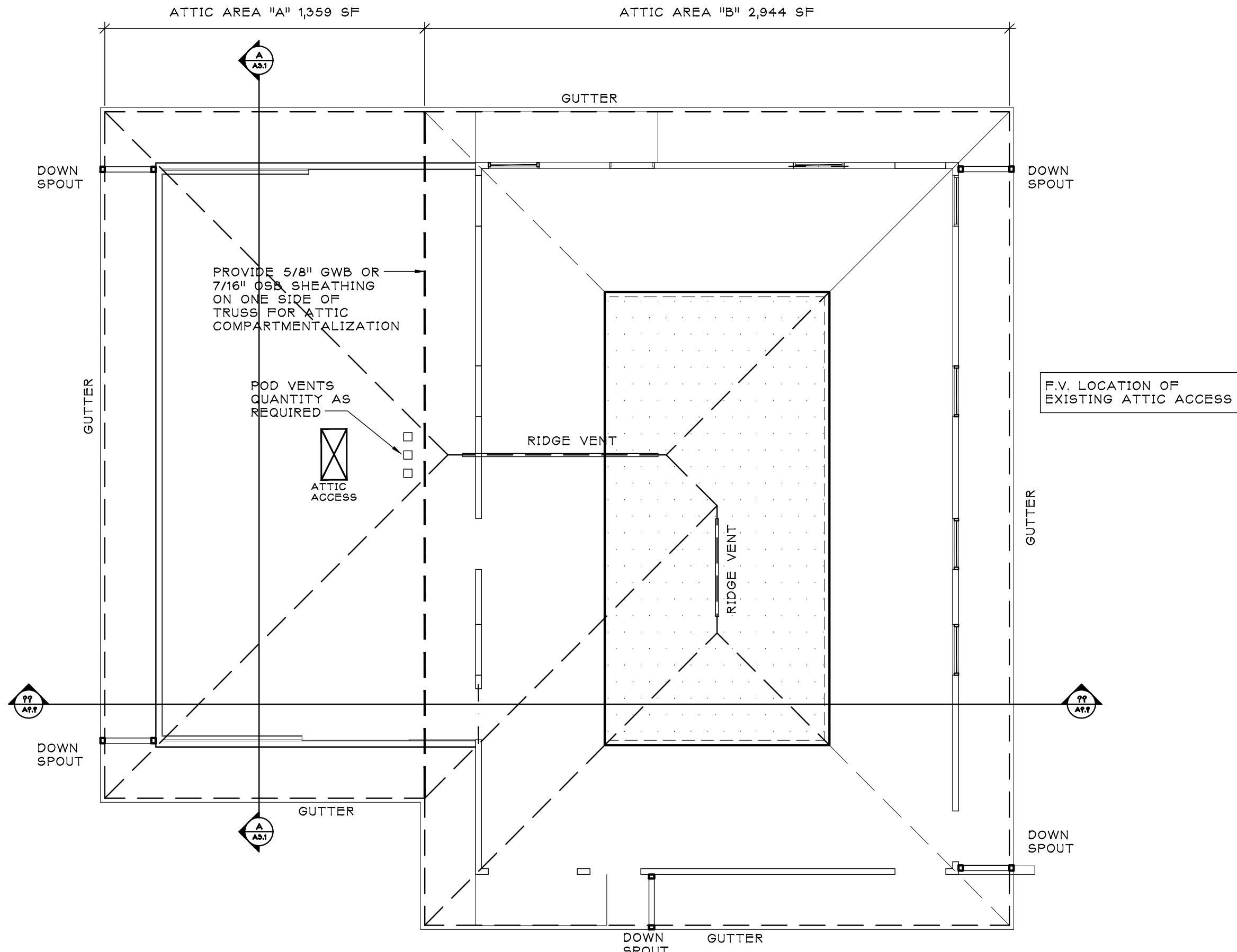
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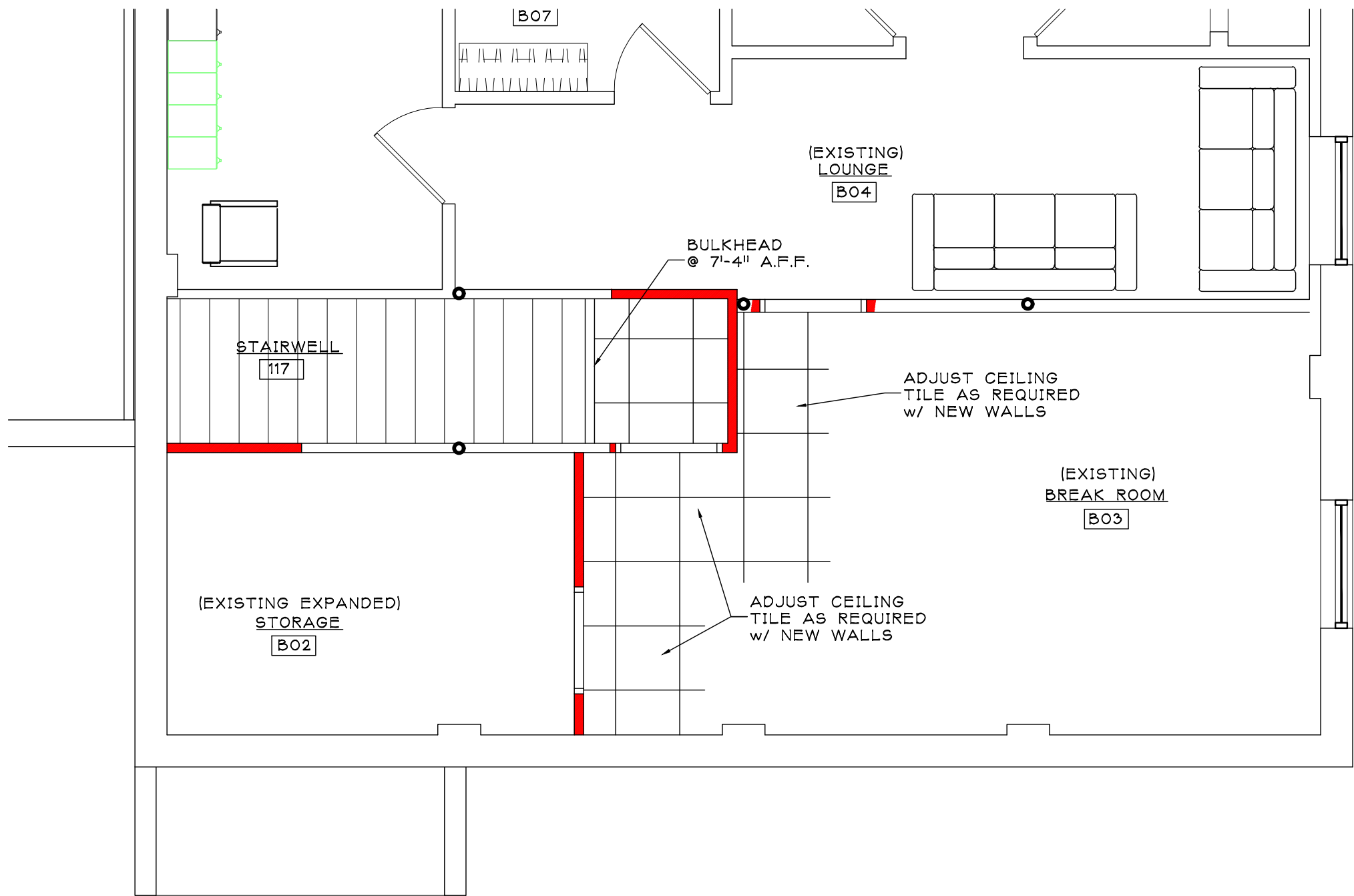
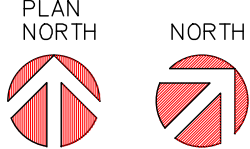
PROJECT MANAGER:	B. ALLEN
ARCHITECT:	K. SPERL
DRAWN BY:	S. BURTON
EXPEDITOR:	C. HOYER
SUPERVISOR:	----
PRELIMINARY NO:	----
CONTRACT NO:	71763
DATE:	JUNE 14, 2021
SHEET:	A1.3

1,359 SF ATTIC AREA, 5 SF NFA REQUIRED FOR VENTING OF THIS ATTIC SECTION. PROVIDE 2.5 SF MIN @ FULLY VENTED SOFFIT & 2.5 SF MIN @ TOP / RIDGE VENTING

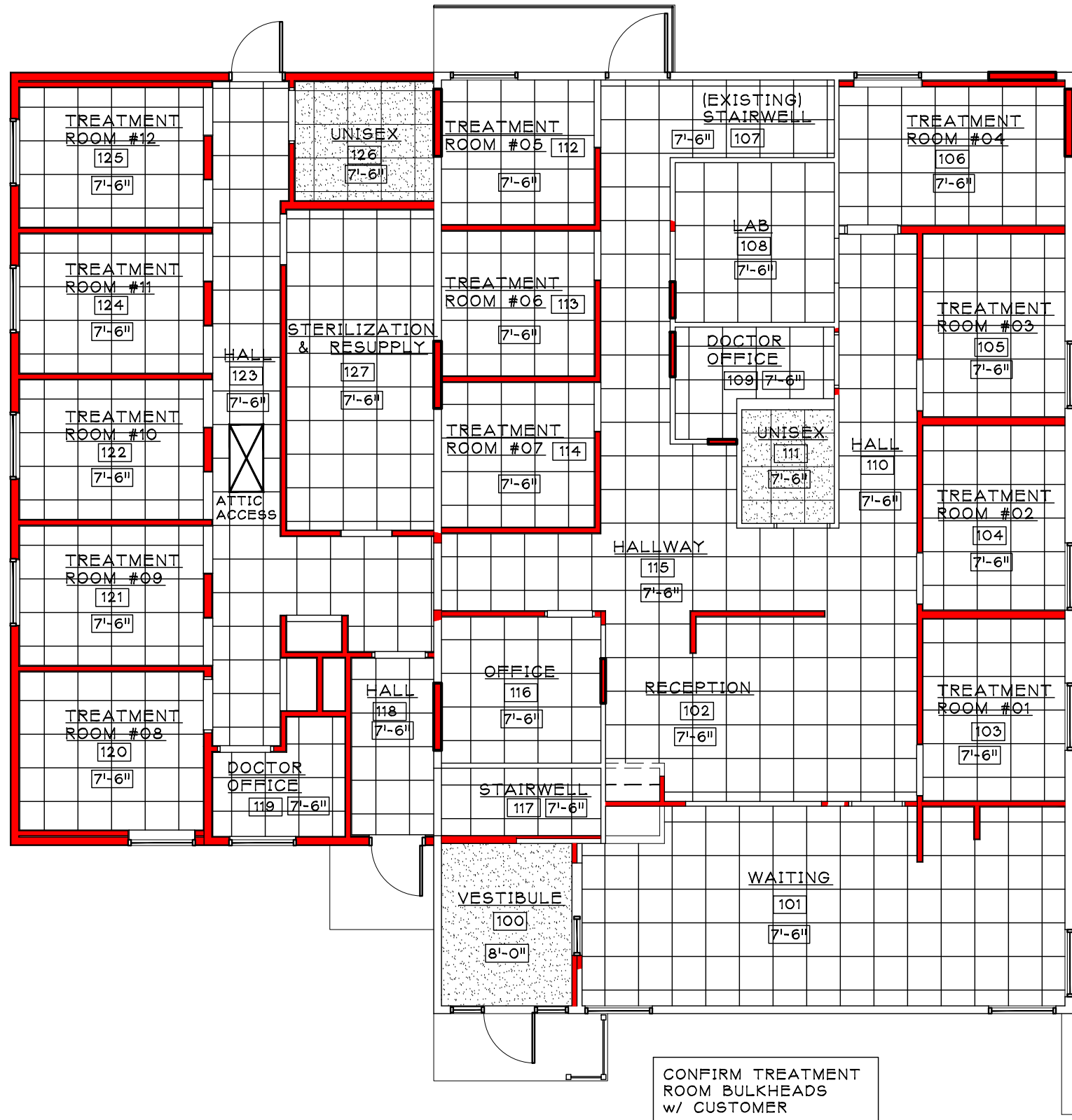
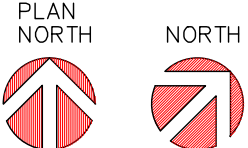
2,844 SF ATTIC AREA, 10 SF NFA REQUIRED FOR VENTING OF THIS ATTIC SECTION. PROVIDE 5 SF MIN @ FULLY VENTED SOFFIT & 5 SF MIN @ TOP / RIDGE VENTING



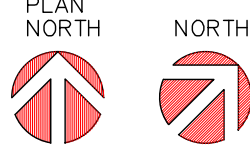
ROOF PLAN
SCALE: 1/8"=1'-0"



PARTIAL BASEMENT CLG. PLAN
SCALE: 1/4"=1'-0"



REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"



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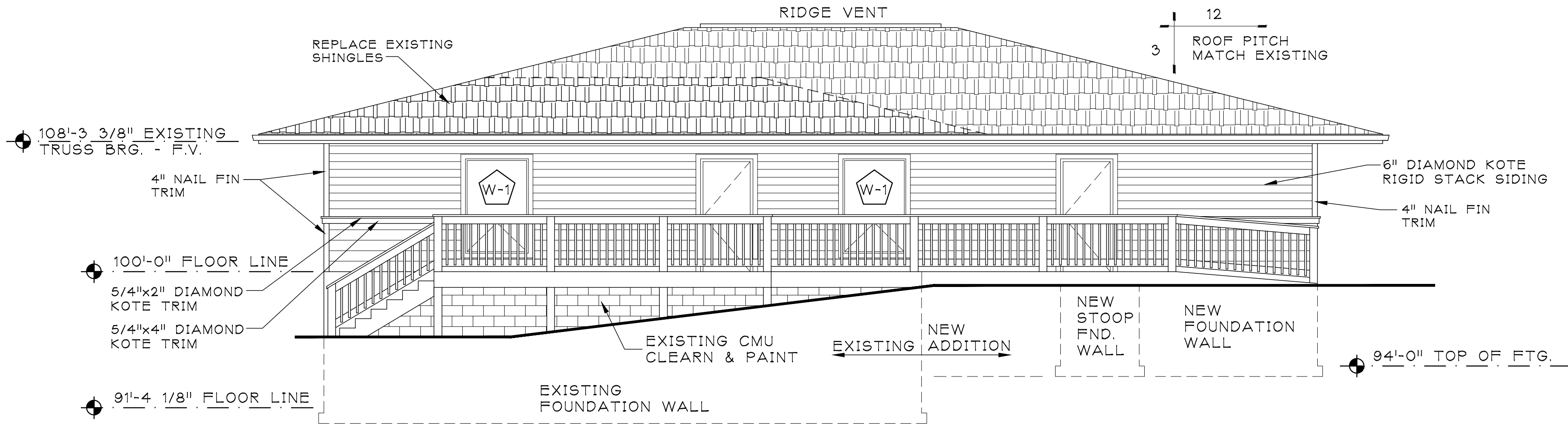
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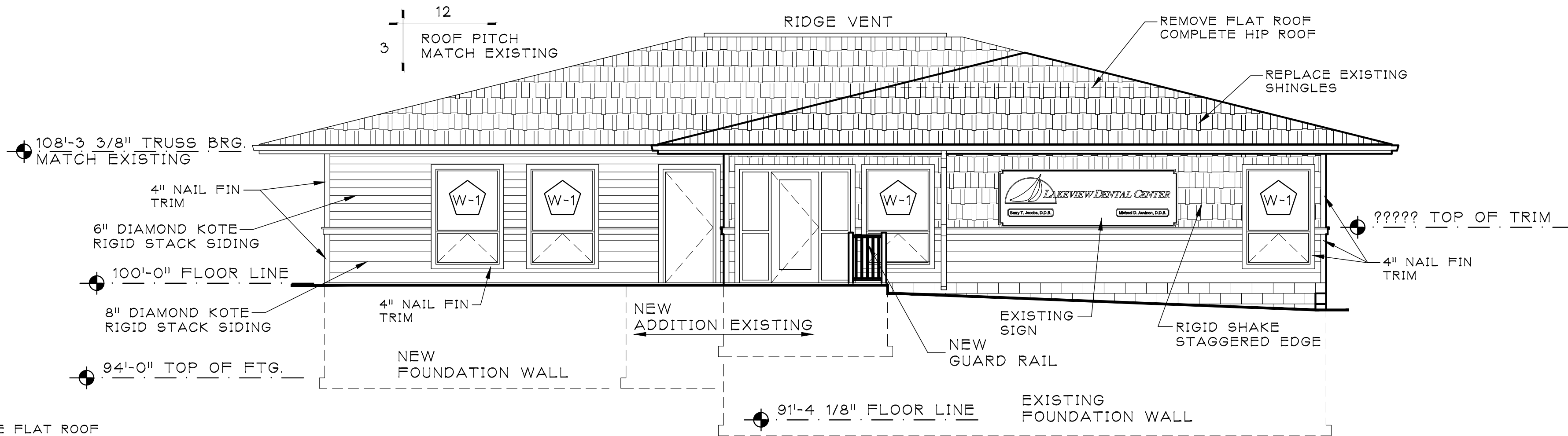
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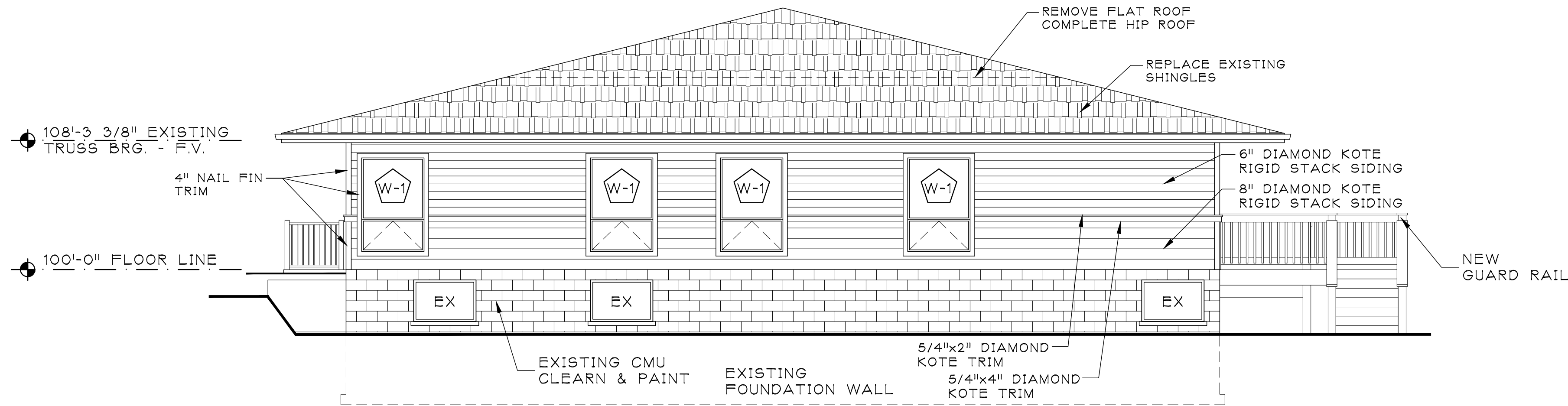
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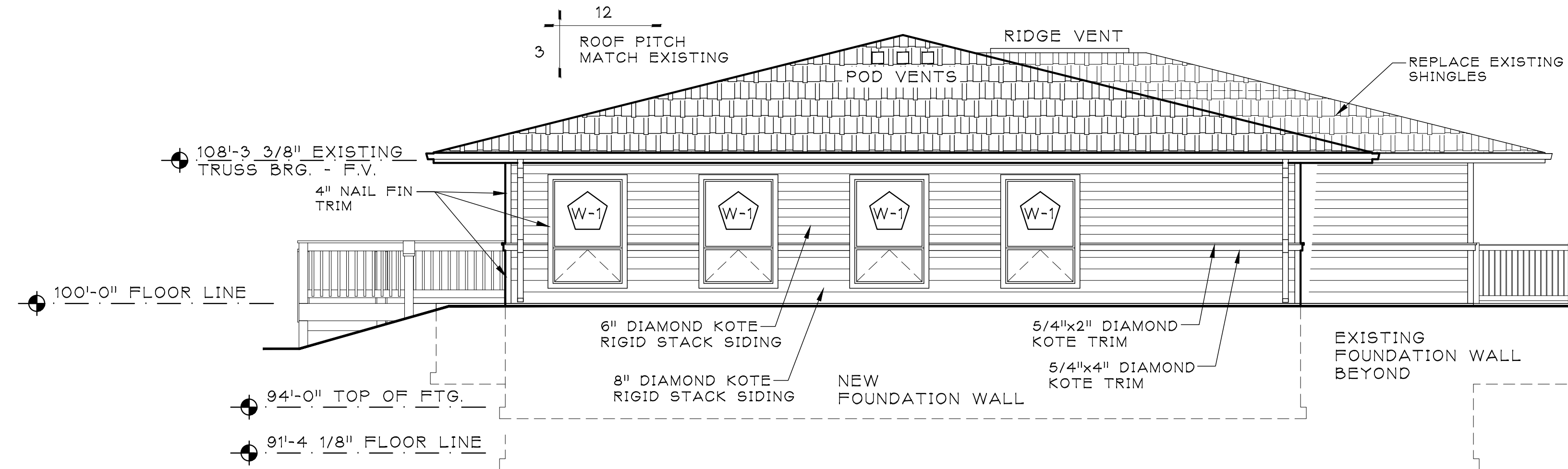
NORTH ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"

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FOX CITIES | MADISON

PHONE 920.766.5795 | PHONE 608.318.2336

FAX 020 766 6004 FAX 608 318 2337

PHONE 262 250 9710 | PHONE 715 849 3141

PHONE 262.250.9710 1.800.236.2534	PHONE 715.849.3141 FAX 715.849.3181
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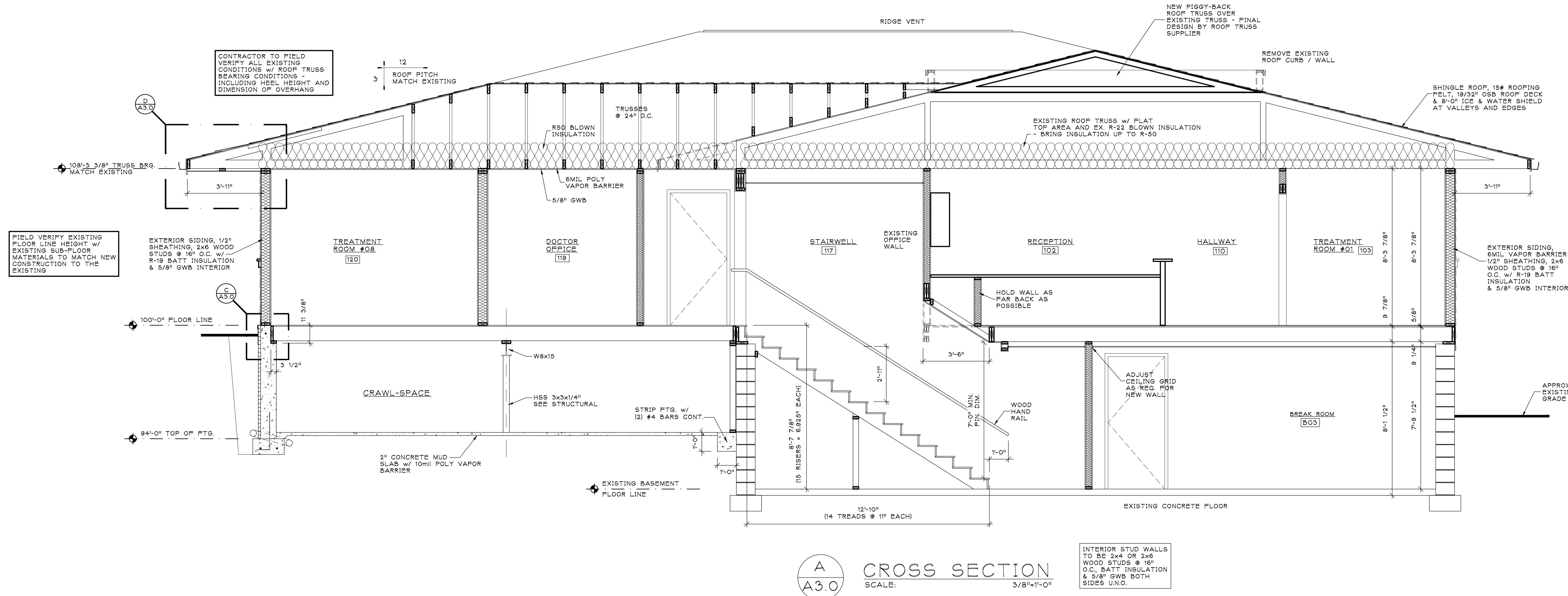
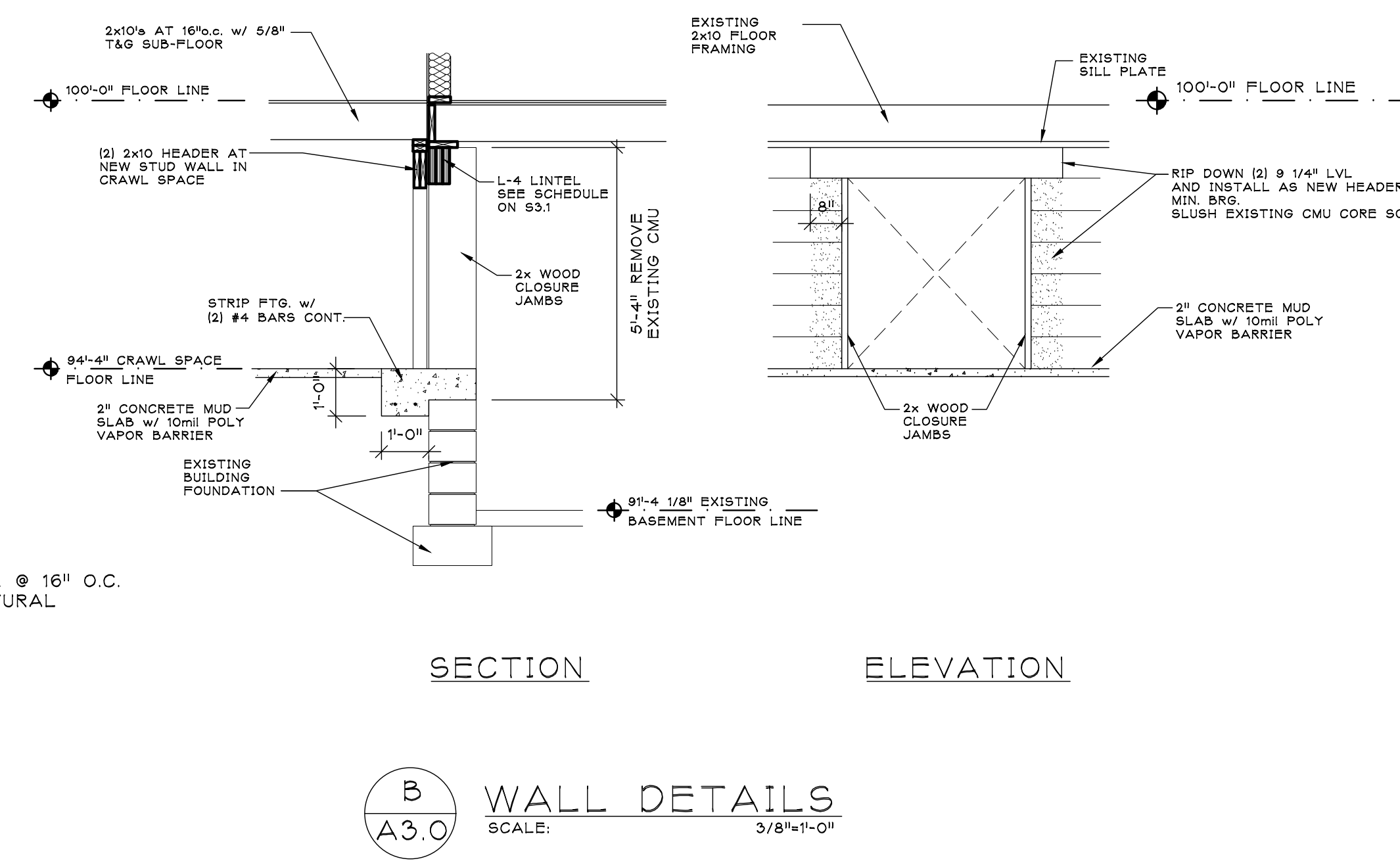
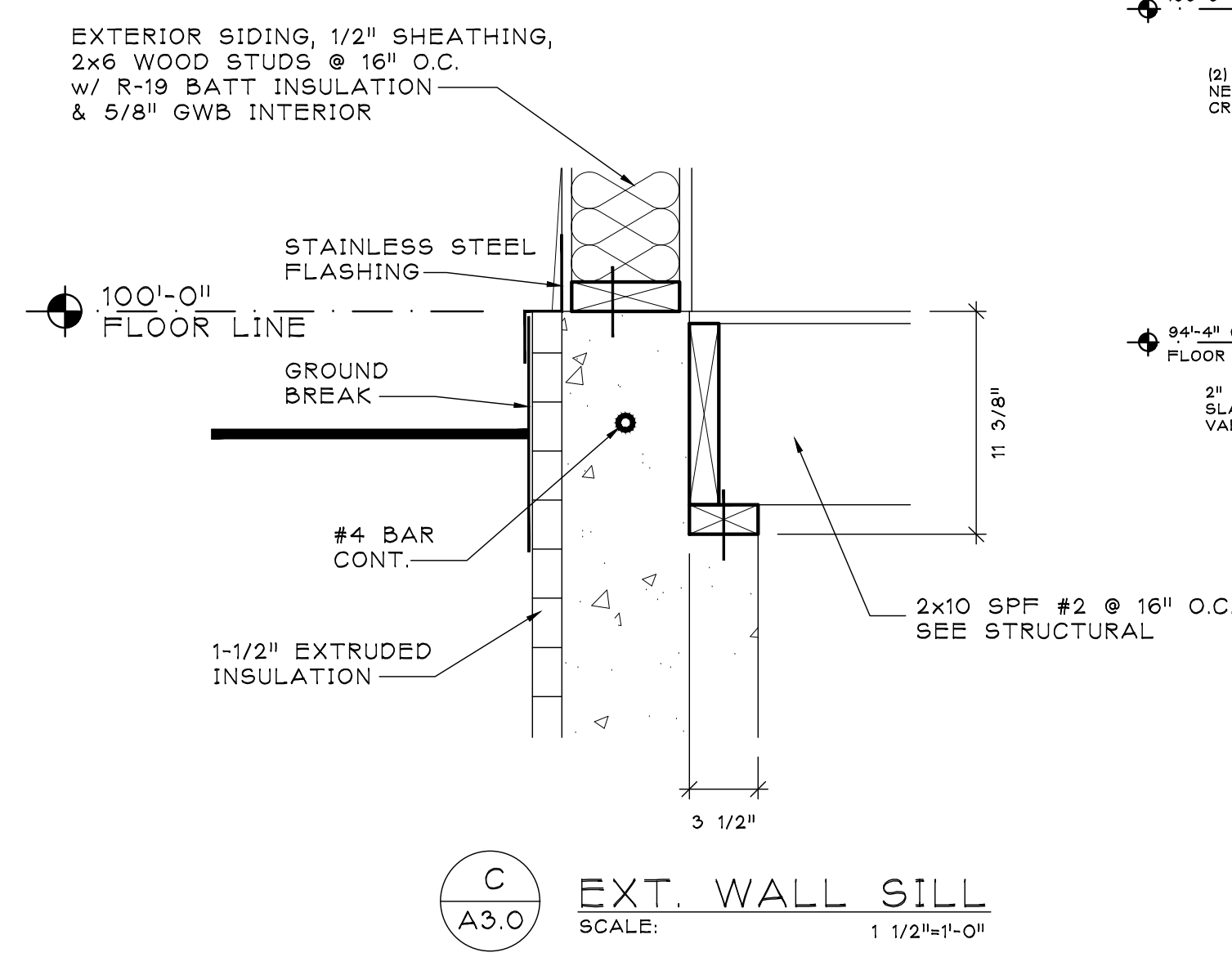
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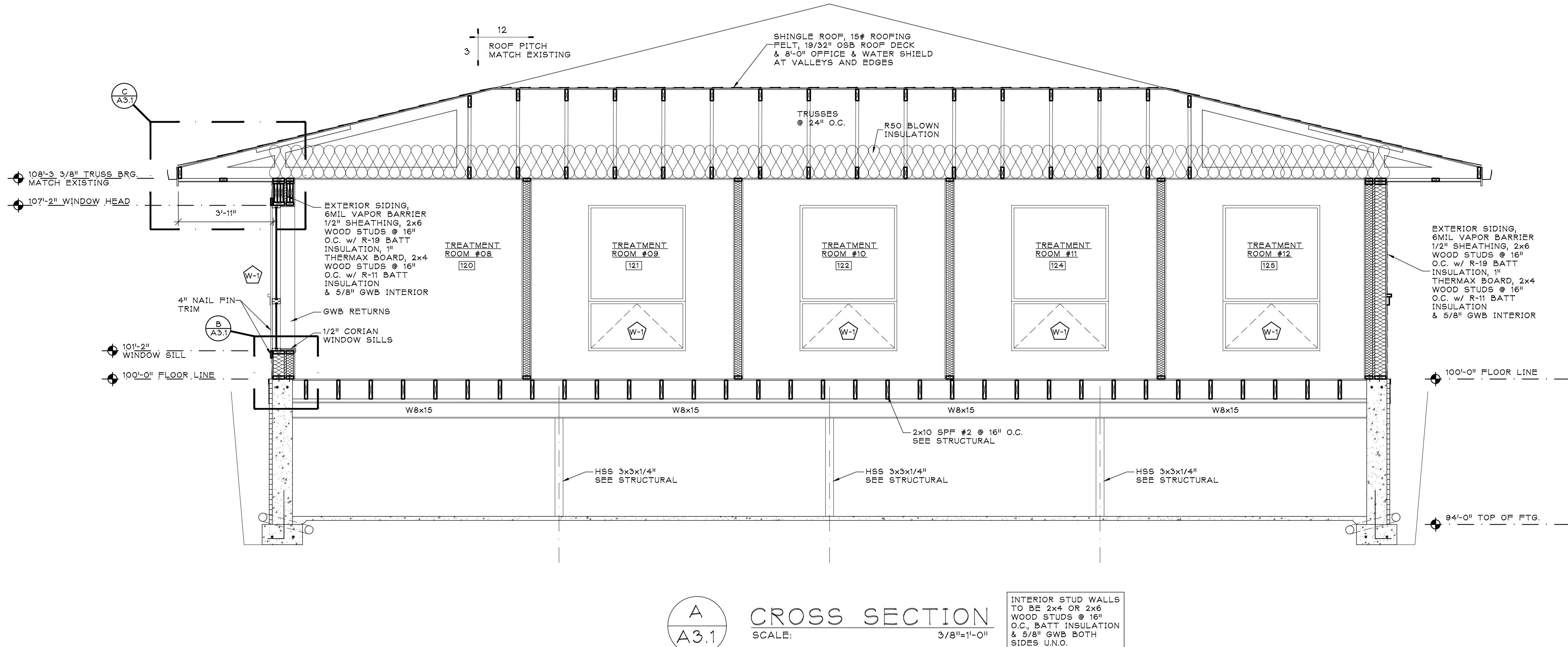
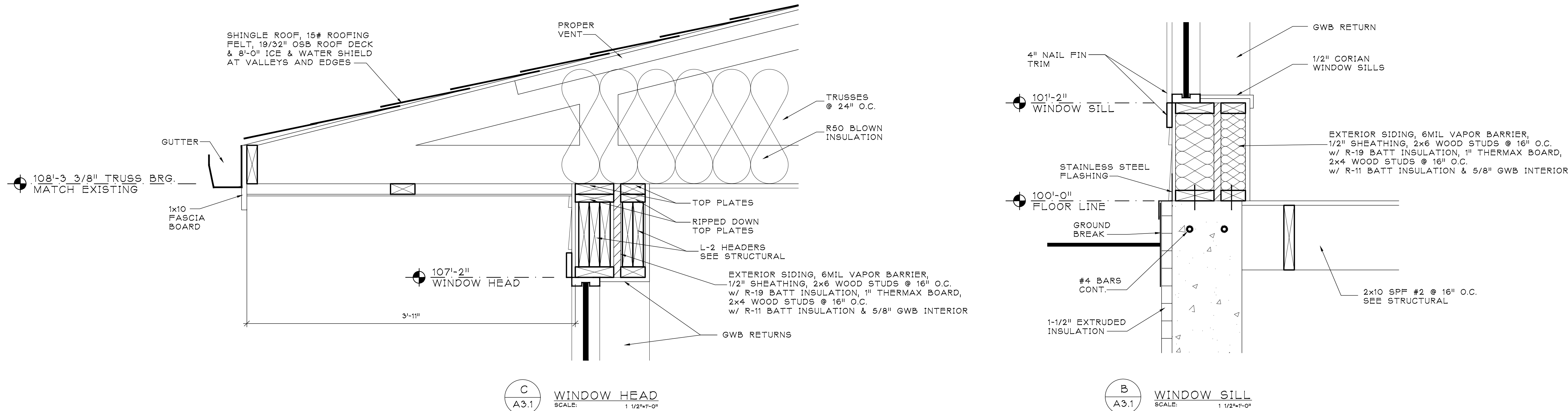
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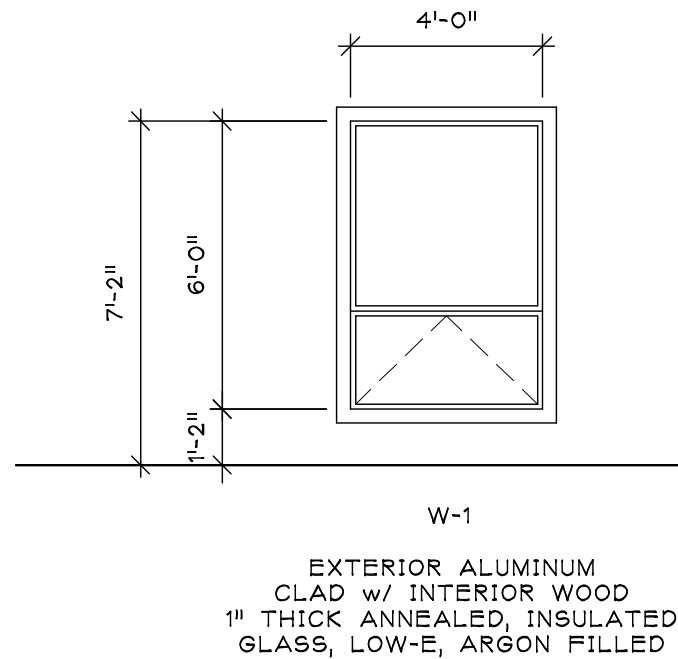
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JUNE 14, 2021

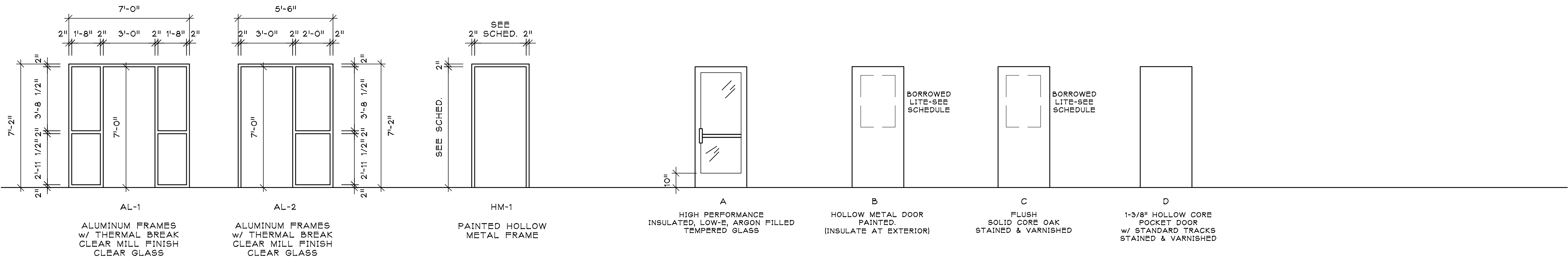
SHEET:

A4.0

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WINDOW FRAME TYPES



DOOR FRAMES

DOOR TYPES

DOOR & FRAME SCHEDULE

#	DOORS							HARDWARE FUNCTION	DOOR CLOSURE				FRAMES		
	SIZE	FROM	TO	TYPE	MATERIAL	HAND	LITE		YES	NO	TYPE	FINISH	LABEL	REMARKS	REMARKS
100	3'-0" x 7'-0"	EXTERIOR	VESTIBULE	A	ALUM	RHR	FULL	KEYED					AL-1	100	HINGES, HYDRAULIC CLOSER, WEATHER-STRIPPING, SWEEP, THUMB LOCK, ADA THRESHOLD
101A	3'-0" x 7'-0"	VESTIBULE	WAITING	A	ALUM	LHR	FULL	KEYED					AL-2	101A	HINGES, HYDRAULIC CLOSER, WEATHER-STRIPPING, SWEEP, THUMB LOCK, ADA THRESHOLD
101B	3'-0" x 7'-0"	WAITING	HALLWAY	C	WOOD	RHR	FULL	PUSH/PULL	YES				HM-1	101B	RAIN GLASS
103	3'-0" x 7'-0"	HALLWAY	TREATMENT 1	D	WOOD	POCKET	-----						HM-1	103	
104	3'-0" x 7'-0"	HALLWAY	TREATMENT 2	D	WOOD	POCKET	-----						HM-1	104	
105	3'-0" x 7'-0"	HALLWAY	TREATMENT 3	D	WOOD	POCKET	-----						HM-1	105	
106	3'-0" x 7'-0"	HALLWAY	TREATMENT 4	C	WOOD	LH		PASSAGE					HM-1	106	
107	3'-6" x 7'-0"	EXTERIOR	HALLWAY	B	H.M.	LHR	NARROW	KEYED					HM-1	107	BALL BEARING HINGES, HYDRAULIC CLOSER, LATCH GUARD, ADA THRESHOLD
109	3'-0" x 7'-0"	HALLWAY	DOCTOR OFFICE	C	WOOD	RH		PASSAGE					HM-1	109	
111	3'-0" x 7'-0"	HALLWAY	UNISEX	C	WOOD	RHR		PRIVACY	YES				HM-1	111	COAT HOOKS
116	3'-0" x 7'-0"	HALLWAY	OFFICE	C	WOOD	LH		KEYED					HM-1	116	
118A	3'-0" x 7'-0"	HALLWAY	HALLWAY	C	WOOD	LHR		PASSAGE					HM-1	118A	
118B	3'-0" x 7'-0"	EXTERIOR	HALLWAY	B	H.M.	RHR	HALF	PASSAGE					HM-1	118B	BALL BEARING HINGES, HYDRAULIC CLOSER, LATCH GUARD, ADA THRESHOLD
119	3'-0" x 7'-0"	HALLWAY	DOCTOR OFFICE	C	WOOD	RH		PASSAGE					HM-1	119	
120	3'-0" x 7'-0"	HALLWAY	TREATMENT 8	C	WOOD	RH		PASSAGE					HM-1	120	
123	3'-0" x 7'-0"	EXTERIOR	HALLWAY	B	H.M.	LHR	HALF	KEYED					HM-1	123	BALL BEARING HINGES, HYDRAULIC CLOSER, LATCH GUARD, ADA THRESHOLD
126	3'-0" x 7'-0"	HALLWAY	UNISEX	C	WOOD	LH		PRIVACY	YES				HM-1	126	COAT HOOKS
B02	RELOCATE			EX.	EXIST.	LH							HM-1	B02	RELOCATE DOOR
B03	RELOCATE			EX.	EXIST.	LH							HM-1	B03	RELOCATE DOOR
117	RELOCATE			EX.	EXIST.	RH							HM-1	117	RELOCATE DOOR

HARDWARE FUNCTION:
- PUSH/PULL - PASSAGE - PRIVACY - KEYED LOCK

ROOM FINISH SCHEDULE

ROOM		FLOOR	BASE	WALLS				CEILING		ROOM		REMARKS
MARK	NAME			NORTH	SOUTH	EAST	WEST	MAT.	HGT.	MARK	NAME	
100	VESTIBULE	TILE/WALK-OFF MAT	CERAMIC	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	8'-0"	100	VESTIBULE	
101	WAITING	CARPET TILE	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	101	WAITING	
102	RECEPTION	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	102	RECEPTION	
103	TREATMENT 1	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	103	TREATMENT 1	
104	TREATMENT 2	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	104	TREATMENT 2	
105	TREATMENT 3	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	105	TREATMENT 3	
106	TREATMENT 4	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	106	TREATMENT 4	
107	STAIRWELL	VINYL TREADS	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	107	STAIRWELL	
108	LAB	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	108	LAB	
109	DOCTOR OFFICE	CARPET TILE	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	109	DOCTOR OFFICE	
110	HALLWAY	CARPET TILE	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	110	HALLWAY	
111	UNISEX	CERAMIC TILE	CERAMIC	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 VCG8	7'-6"	111	UNISEX	
112	TREATMENT 5	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	112	TREATMENT 5	
113	TREATMENT 6	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	113	TREATMENT 6	
114	TREATMENT 7	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	114	TREATMENT 7	
115	HALLWAY	CARPET TILE	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	115	HALLWAY	
116	OFFICE	CARPET TILE	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	116	OFFICE	
117	STAIRWELL	VINYL TREADS	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	117	STAIRWELL	
118	HALLWAY	CARPET TILE	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	118	HALLWAY	
119	DOCTOR OFFICE	CARPET TILE	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	119	DOCTOR OFFICE	
120	TREATMENT 8	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	120	TREATMENT 8	
121	TREATMENT 9	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	121	TREATMENT 9	
122	TREATMENT 10	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	122	TREATMENT 10	
123	HALLWAY	CARPET TILE	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	123	HALLWAY	
124	TREATMENT 11	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	124	TREATMENT 11	
125	TREATMENT 12	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	125	TREATMENT 12	
126	UNISEX	CERAMIC TILE	CERAMIC	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 VCG8	7'-6"	126	UNISEX	
127	STERILIZATION	LVT	VINYL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	PAINTED DRYWALL	2 x 2 ACT	7'-6"	127	STERILIZATION	



FAX 262.250.9740

54806

A PROPOSED ADDITION FOR,

LAKEVIEW DENTAL CENTER

54806

WISCONSIN

615 W. LAKESHORE DR.

ASHLAND.

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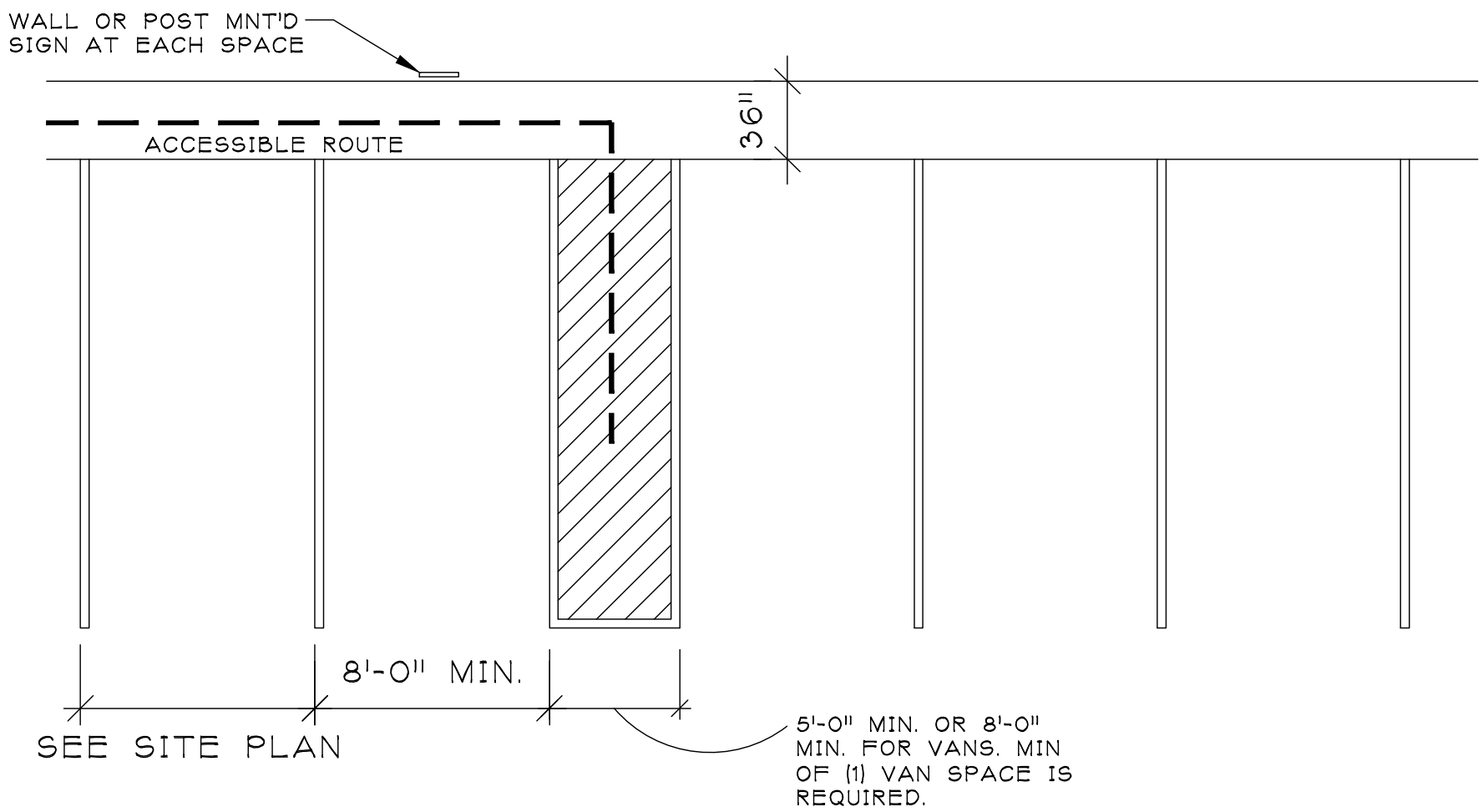
DATE:

JUNE 14, 202

SHEET:

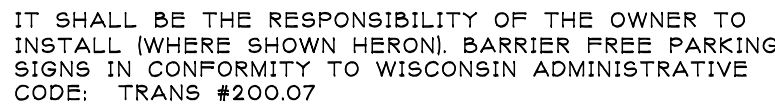
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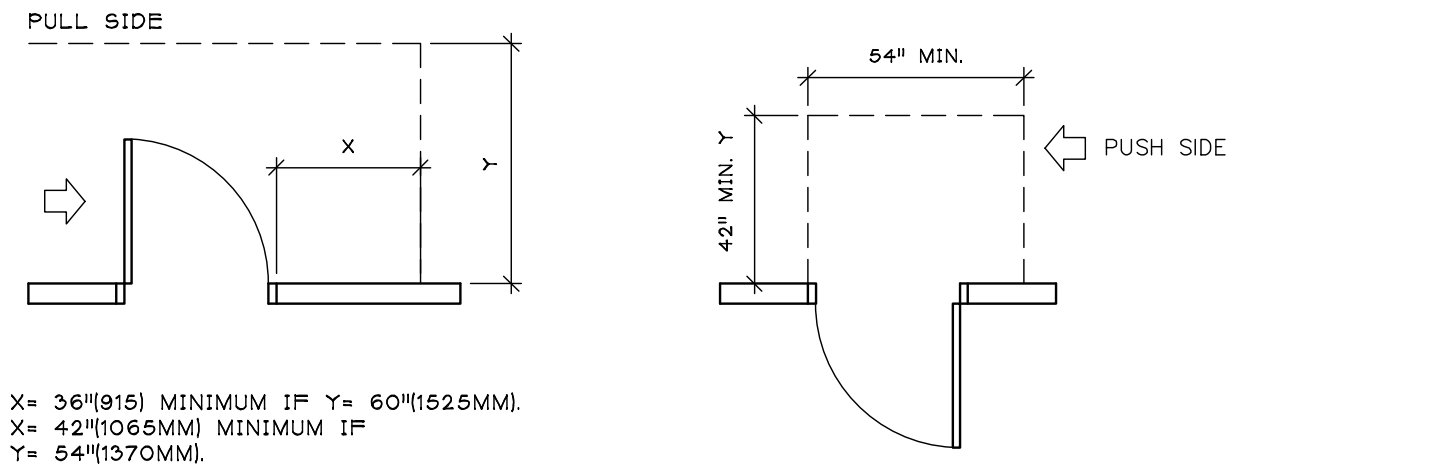
HANDICAPPED PARKING SPACES

THE MAXIMUM SLOPE AT PARKING SPACES IS 1:50 (4.6.2)

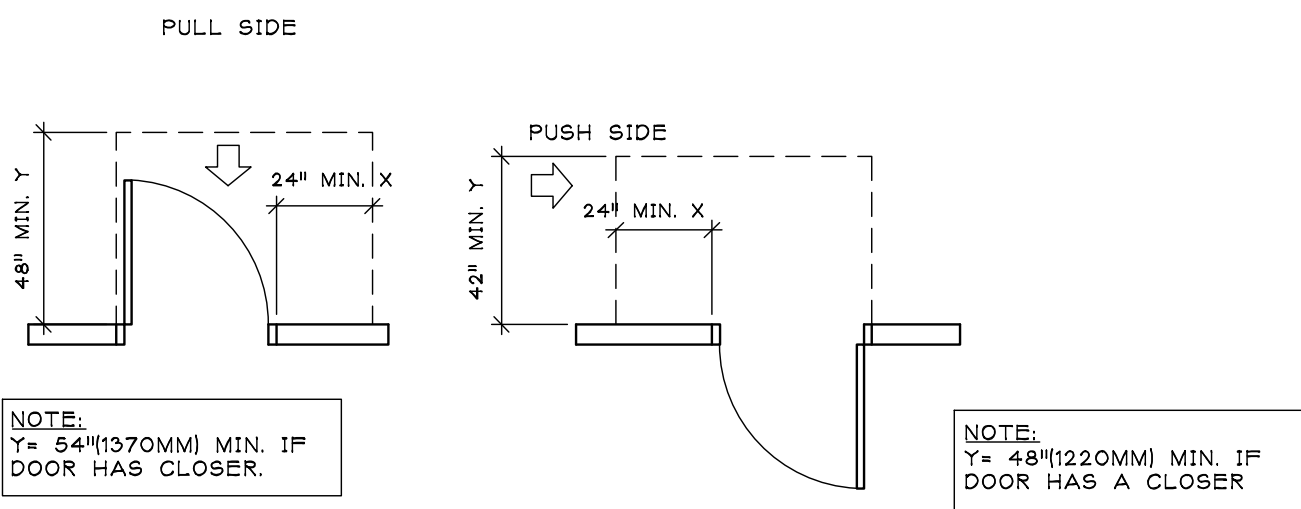


INTERNATIONAL SYMBOL OF ACCESSIBILITY

NO SCALE



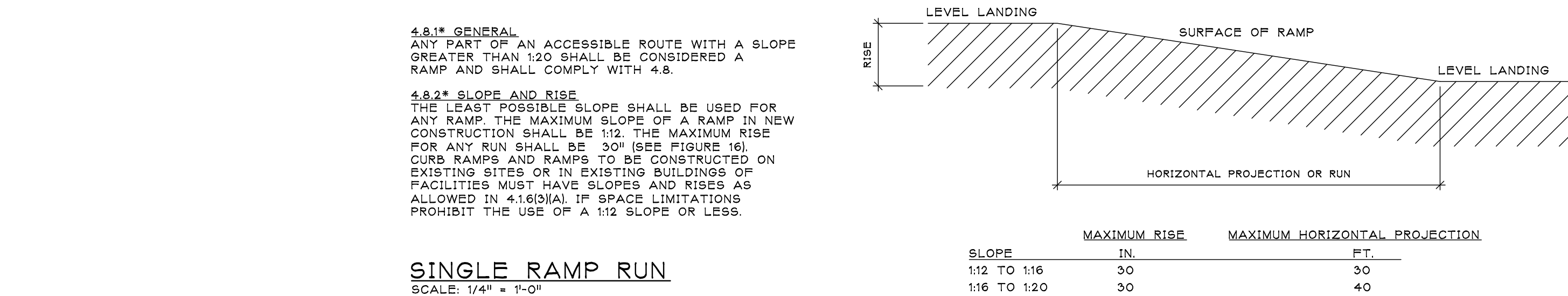
HINGE SIDE APPROACHES - SWINING DOORS



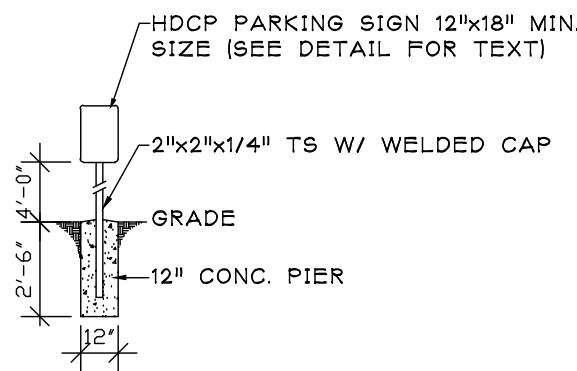
LATCH SIDE APPROACHES - SWINING DOORS

MANEUVERING CLEARANCES @ DOORS

SCALE: NO SCALE

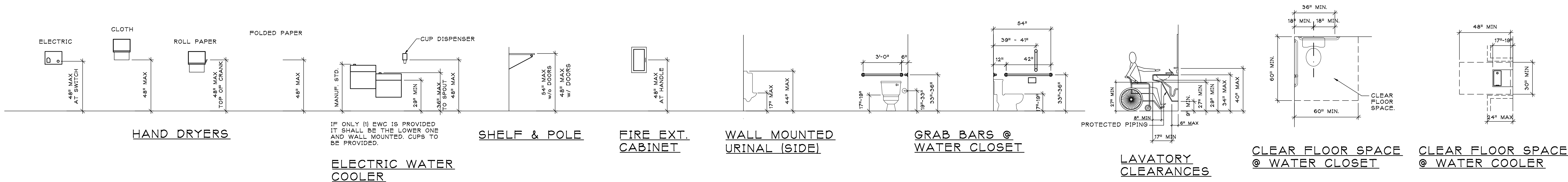
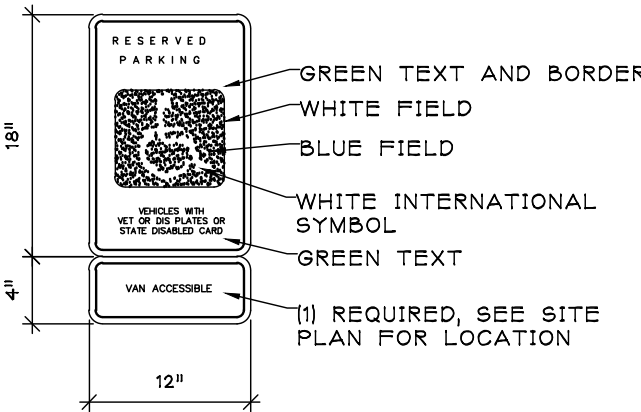


SIGN POST
DETAIL



PARKING SIGN DETAIL

NO SCALE



"ISSUED FOR CONSTRUCTION"

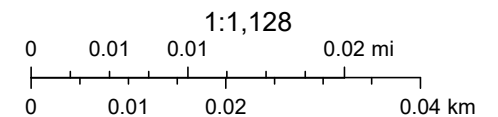
Current 615 Lake Shore Drive West Aerial Map



7/30/2021, 10:43:03 AM

Parcel Mapping

Parcel Labels



City of Ashland Public Works Department, GIS Division, PICTOMETRY INTL

Department of Public Works Engineering
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615 Lake Shore Drive West Zoning Map

