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City of Ashland, Wisconsin

601 Main Street West — Ashland, WI 54806 — www.coawi.org

PLAN COMMISSION

April 30, 2019

City Hall Council Chambers

6:30 PM

AGENDA

1. Call to Order and Roll Call
2. Approval of Agenda
3. Consent Agenda
 - a. Approval of minutes from the March 5, 2019 Planning Commission meeting
4. Public Comment (non-agenda items)
5. Discussion Items
 - a. Discussion of Waterfront Development Plan and Comprehensive Outdoor Recreation Plan (CORP) Updates
6. Announcements/Reports/Comments/Questions
 - a. Updates on Recent Development Activities in Ashland
7. Adjournment

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information or speak about a subject, over which they have decision-making responsibility. Any governmental body at the above stated meeting will take no action other than the governmental body specifically referred to above in this notice. The City of Ashland does not discriminate on the basis of sex, race, creed, color, national origin, sexual orientation, age or disability in employment or provision of services, programs or activities. NOTE: Upon reasonable notice, the City of Ashland will accommodate the needs of disabled individuals through auxiliary aids or services. For additional information or to request this service, contact Megan McBride at (715) 682-7041.

Minutes of the City of Ashland Plan Commission

A meeting of the Plan Commission was called to order on **Tuesday, March 5th, 2019**
at 6:30 p.m. in the City Hall Council Chambers.

PRESENT: John Beirl, Mike Amman, Laurie Gregor, David Mettill, Katie Gellatly, Mayor Lewis

EXCUSED:

STAFF: Megan McBride

1) Call to Order and Roll Call

Mayor Lewis called the meeting to order at 6:30 p.m.

2) Approval of Agenda

Motion to approve the Agenda by John Bierl. Seconded by Mike Amman. Passed unanimously.

3) Consent Agenda

Motion to approve minutes from February 19, 2019 Plan Commission meeting by David Mettill. Seconded by Katie Gellatly. Passed unanimously.

4) Public Comment (non-agenda items)

No public comments.

5) Action Items

a. Public Hearing and Conditional Use Permit to allow Professional Services at 2023 6th Street West, zoned Mixed Residential/Commercial (MRC).

Applicant: Dahl Property Management

Motion to go into Public Hearing by David Mettill. Seconded by John Bierl. Passed unanimously.

Megan McBride explained the required Class 2 Public Hearing notice that was issued and discretionary letters were sent to property owners within 200 feet of the proposed development. She then went through the approval criteria and recommended conditions outlined in the staff report.

Public Hearing: Hans Dahl spoke briefly on his intent for using the proposed space on 6th street, including clarifying signage intent.

Motion to go out of Public Hearing by David Mettill. Seconded by Laurie Gregor. Passed unanimously.

Motion to approve the Conditional Use Permit with proposed conditions by John Beirl. Seconded by Laurie Gregor. Passed unanimously.

b. Site Plan review for a building renovation for office use at 2023 6th Street West, zoned Mixed Residential/Commercial (MRC). Applicant: Dahl Property Management.

Megan McBride went through the site design, explaining how it fits into the UDO, and pointing out the existing infrastructure that is on the site, and the changes that will need to be done. Megan McBride recommends approval pending final approval by public works.

John Bierl asked for clarification regarding storm drains on the site plan.

Motion to approve the site plan by David Mettillie. Seconded by John Bierl. Passed unanimously.

c. Site Plan review for a building addition at Deltco Plastics located at 301 Industrial Park Road, zoned Heavy Industrial (HI). Applicant: Deltco Plastics

Megan McBride explained that a site plan approval is needed for this project because the proposed building addition is greater than 15% of the existing building area. She pointed out the primary changes to the site design with this expansion. Approval was recommended contingent upon parking plan approval and utility planning with public works if additional service is needed.

Ralph Larson from Deltco Plastics spoke about the company's plans for this building addition and their plans for the other site they own. He provided clarification about Deltco Plastics' recycling operations and their presence in Ashland.

Motion to approve the site plan by David Mettillie. Seconded by Laurie Gregor. Passed unanimously.

d. Purchase vacant land located at 2705 Lake Shore Drive East for stormwater management, zoned Waterfront Single Family Residential (WSFR)

Megan McBride explained the function of this property from an environmental standpoint and the background behind acquiring the piece of land. John Bierl asked for clarification regarding the price of the site and why the City needs to acquire it since it has already been serving this purpose for years. Megan McBride explained why eminent domain is not an option, and why the lot is not buildable due to the existing stormwater outfall. John Bierl raised questions regarding the price of the land and the other options available for that site, and Megan McBride explained that the property is a potential liability to the city due to the chance of the site causing economic harm to neighbors, which could potentially cost the city much more money than purchasing the property would cost.

Motion to recommend purchasing the vacant land by Mike Amman. Seconded by David Mettillie. Passed 5-1, with John Bierl opposing..

6) Discussion Items

7) Announcements/Reports/Comments/Questions

Megan McBride provided an update that the St. Andrew's Church building had been sold, and that the new owners are planning to use the building as residential space (both long and short term, geared towards doctors), and event space. The new owners plan to maintain the architecture of the church.

Megan McBride provided updates regarding the Waterfront Development Plan and the public input that was received. She explained that a new website will be online soon which will provide more information and more opportunities for public input. There will also be more public meetings to gather more input from people who may not usually come to meetings. John Bierl expressed concern about the potential for damage to be caused to the Excel Superfund site which could cause a cap to break and cause contamination. Mayor Lewis provided an explanation about the liability between Excel and the City and the City's intention of avoiding any damage to decrease the potential for the City to acquire additional expenses

due to the liability. Mayor Lewis explained that the DNR and the EPA are involved in approving any potential construction on the site. She explained that the Superfund attorneys have advised the city against accepting any liability for that site.

There was discussion of building yurts or other alternative camping options on City property to diversify tourism options. This could be a possible use of some of the waterfront property that is currently underused.

8) Adjournment

Motion to adjourn by Mayor Lewis. Seconded by John Bierl. Passed unanimously.

The meeting was adjourned at 7:40 p.m. Minutes by Lucas Phillips.

Ashland Development Updates
Planning Commission—April 30, 2019

Site Plans (Under 15% expansion, Planning Commission review not required per UDO)

Ashland Industries

- Project value: \$117,000
- Project description: Addition of office area, improvements to parking area

Commercial Building Permits

Deltco (601 Industrial Park Rd)

- Project value: \$75,000
- Project description: Addition of loading docks, part of overall restructuring of Industrial Park plant operations to increase efficiency and improve flow of building

Music Center (415 Main St W)

- Project value: ~\$100,000
- Project description: Complete renovation of the 5 residential units, new HVAC

Hotel Chequamegon Restaurant (Chequamegon Grill)

- Project value: \$190,000
- Project description: Renovation and rearrangement of lower level to accommodate new restaurant

AmericInn (3009 Lake Shore Dr E)

- Project value: \$30,000
- Project description: Fire protection system upgrades

BMO Harris Bank

- Project value: \$60,000
- Project description: ADA upgrades to existing building

Kwik Trip (All 3 locations)

- Project value: \$30,000
- Project description: Fire rating improvements to support commercial exhaust hood

Northland College Ponzio Center

- Project value: \$40,000
- Project description: Office remodel and rearrangement on second floor of Ponzio Campus center

Project Completions (Occupancy Permits issued)

- Park Place Residences (1616 Beaser Ave)—Temporary Occupancy Permit
- Green Branch Dental expansion—Temporary Occupancy Permit
- Northlakes Clinic Expansion—Temporary Occupancy Permit
- Anderson Motel (5 units) —Final Occupancy Permit
- Memorial Medical Center (Phase II and Phase III completion)—Final Occupancy Permit

FACILITY BUILDING PLANS FOR:

ASHLAND INDUSTRIES

1115 RAIL DRIVE
ASHLAND, WI 54806

PROJECT NUMBER: 18-3309

GENERAL NOTES

1. THE CONTRACTORS ARE TO KEEP A SET OF STATE APPROVED PLANS AT THE JOB SITE AT ALL TIMES.
2. A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE CONTRACTORS BEFORE ANY WORK COMMENCES.
3. ALL BUILDING DIMENSIONS MUST BE FIELD VERIFIED.
4. ALL PROPERTY LINES ARE ASSUMED UNLESS A CERTIFIED SURVEY MAP HAS BEEN PROVIDED FOR THE PROPERTY.
5. ANY DISCREPANCIES IN THE PLANS ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
6. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE WISCONSIN EXISTING BUILDING, PLUMBING, ELECTRICAL, AND HVAC CODE (IEBC) CURRENTLY IN EFFECT.
7. THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE.
8. THE CONTRACTOR IS TO HAVE ALL THE UTILITY LINES VERIFIED BY THE RESPECTIVE UTILITY COMPANIES IF APPLICABLE. THE CONTRACTOR SHALL HAVE A LOCATE DONE BY DIGGER'S HOTLINE PRIOR TO BREAKING OF GROUND. PHONE 1-800-242-8511
9. THE CONTRACTOR SHALL BE AWARE OF ALL PRIVATE UTILITIES LOCATIONS SUCH AS WATER, SEWER, AND GAS.
10. ALL EQUIPMENT AND MATERIAL INSTALLATION SHOULD BE IN STRICT ACCORDANCE WITH THE UTILITY COMPANIES INVOLVED AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
11. ALL STATE AND LOCAL BUILDING PERMITS WILL BE OBTAINED BY THE OWNER AND MUST BE POSTED AT THE JOB SITE BY THE CONTRACTOR
12. ALL DAMAGE TO EXISTING DRIVEWAYS, ROADWAYS, STREETS, CONCRETE SIDEWALKS, LAWNS, ETC. MUST BE RESTORED TO THE CONDITION THEY WERE BEFORE CONSTRUCTION COMMENCED.
13. PROVIDE A MINIMUM OF 2% DRAINAGE SLOPE AWAY FROM THE ENTIRE PERIMETER OF THE BUILDING FOR THE FIRST 20 FEET, EXCEPT WHERE NOTED.
14. REFER TO ENGINEERED TRUSS DRAWINGS, IF APPLICABLE, FOR PLACEMENT OF TRUSS COMPONENTS. CONTRACTOR IS TO FIELD VERIFY ALL TRUSS DIMENSIONS BEFORE PRODUCTION OF TRUSSES.
15. ALL BUILDING SETBACKS ARE MEASURED FROM THE EAVE LINE OF THE BUILDING.
16. IF APPLICABLE, THE FIRE RATING OF WALLS AND CEILINGS MUST BE MAINTAINED BEHIND ALL INSTALLED FIXTURES (BATH UNITS, VANITIES, CEILING FANS, ELECTRICAL BOXES, EXHAUST FANS, ETC.
17. IF APPLICABLE, AIR CONDITIONING AND HEATING EQUIPMENT SHOULD BE PLACED IN WALLS TO COORDINATE WITH FURNITURE PLACEMENT. VERIFY LOCATION WITH OWNER BEFORE INSTALLATION.



BUILDING DATA	
BUILDING CODE:	2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
BUILDING USE:	FACTORY (F-1) AND BUSINESS (B)
CONSTRUCTION TYPE:	TYPE IIB
NUMBER OF FLOORS/STORIES:	ONE STORY (F-1) & TWO STORY (B)
MIXED USE SEPARATION:	NON-SEPARATED OCCUPANCIES
REQUIRED FIRE SEPARATION:	NO SEPARATION REQUIREMENT (TABLE 508.3.3)
NET PROJECT AREAS:	(F-1) = 22,000 SQ. FT. (B) = 2,927 SQ. FT.
	TOTAL PROJECT SQ. FT. = 24,927 SQ. FT.
ALLOWABLE AREA:	(F-1) 72,075* SQ. FT. PER FLOOR (2STORY) (*MODIFIED PER SECTION 506 - SEE CALC. BELOW) (B) 23,000 SQ. FT. PER FLOOR (3 STORY)
ACTUAL AREA:	(F-1) 60,000 SQ. FT. PER FLOOR (1 STORY) (B) 3,584 SQ. FT. PER FLOOR (1 STORY)
FIRE SEPARATIONS:	NON-SEPARATED OCCUPANCIES
SPRINKLER REQUIREMENT:	REQUIRED - (F-1) OVER 24,000 SQ. FT.
FIRE ALARM REQUIREMENT:	NOT REQUIRED
BUILDING CAPACITY:	(F-1) INDUSTRIAL: 100 GROSS SQ. FT. PER OCCUPANT: 38,400 / 100 = 384 OCCUPANTS (F-1) WAREHOUSE: 500 GROSS SQ. FT. PER OCCUPANT: 22,000 / 500 = 44 OCCUPANTS (B): 100 GROSS SQ. FT. PER OCCUPANT: 5,427 / 100 = 54 OCCUPANTS
	TOTAL BUILDING AREA: 65,827 S.F.
EXITS REQ'D:	TOTAL CAPACITY = 482 OCCUPANTS (F-1) = 2 EXITS REQUIRED (B) = 2 EXITS REQUIRED (TABLE 1015.1 AND TABLE 1016.1)
EXIT TRAVEL DISTANCE:	(PER TABLE 1016.1) = 200 FEET
LOADS:	
GROUND SNOW LOAD:	60 psf
SLOPED ROOF SNOW LOAD:	40 psf
DRIFT LOAD:	115 psf
UNBALANCED LOAD:	25 psf
ROOF LOAD DESIGN USE:	65 psf (MAIN ROOF) 155 psf (CONNECTION/DRIFT AREA)
WIND LOAD (HORIZONTAL):	26 psf
WIND LOAD (VERTICAL):	31 psf
WIND LOAD (UPLIFT AT EAVES):	43 psf
STRUCTURAL:	
SOIL BEARING CAPACITY:	2,000 PSF (CLAY SAND FILL)
CONCRETE COMP. STRENGTH:	4,000 PSI @ 28 DAYS
REINFORCING STEEL:	60,000 PSI TENSILE (GRADE 60)

INDEX TO DRAWINGS

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- A-7A ADDITION BUILDING ELEVATIONS
- A-8 OFFICE ADDITION WALL SECTIONS
- H-1 HVAC PLANS
- H-2 HVAC PLANS
- E-1 ELECTRICAL PLANS

*** BUILDING AREA MODIFICATIONS**
(PER SECTION 506)

EQUATION 5-1
Aa = {At + [At x If] + [At x Is]}
Aa = 15,500 + [15,500 x 0.65] + [15,500 x 3]}
Aa = 15,500 + [10,075] + [46,500]
Aa = 72,075-65,827

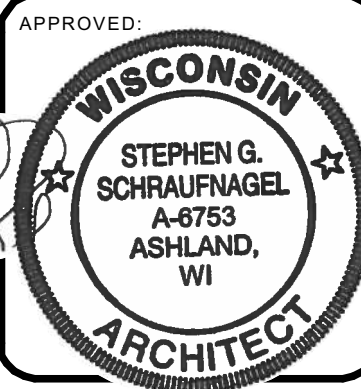
EQUATION 5-2
If = [F/P - 0.25]W / 30
If = [1,060/1,180 - 0.25] 30 / 30
If = [9 - .25] 1
If = [.65] 1
If = 0.65

FACILITY BUILDING PLANS FOR:
ASHLAND INDUSTRIES

1115 RAIL DRIVE, ASHLAND, WI 54806

TITLE PAGE

DESIGN & ENGINEERING
with framework design inc
803 Lake Sherwood Drive West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdseengineering.com



REVISIONS:

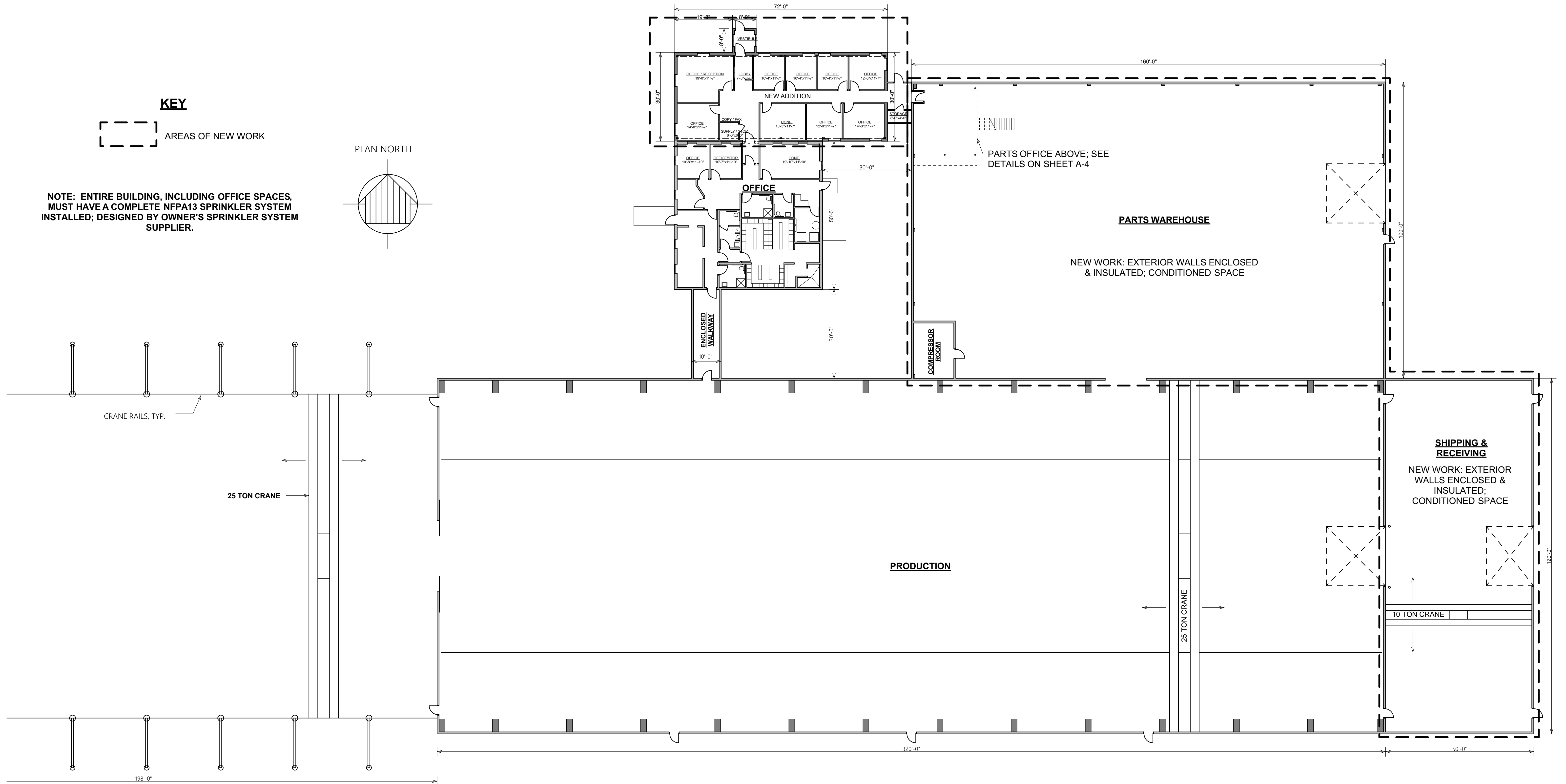
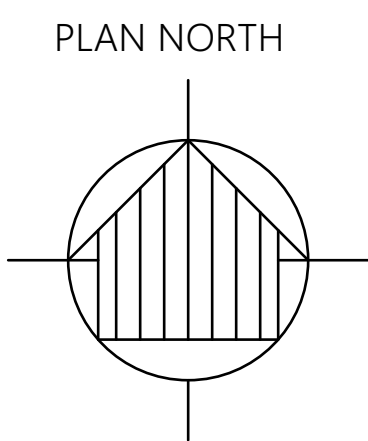
DESIGNED: **S.G.S.**
DRAWN: **T.L.P.**
SCALE: **AS NOTED**
DATE: **JAN., 2019**

PROJECT NO.
18-3309

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A-1
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KEY

 AREAS OF NEW WORK



OVERALL FLOOR PLAN

SCALE: 1/16" = 1'-0"

ASHLAND INDUSTRIES
1115 RAIL DRIVE, ASHLAND, WI 54806

OVERALL FLOOR PLAN

CS
DESIGN & ENGINEERING
with framework design inc
803 Lake Shore Drive West, Ashland, WI 54806
Telephone (715) 682 0330 www.csdesignengineering.com

PROVED:

VISIONS:

8/10/16
ANNEX OFFICE
TRAILER RELOCATED
ON SITE

SIGNED: **S.G.S.**

WN: T.L.P.

AS NOTED

DATE: **JAN., 2019**

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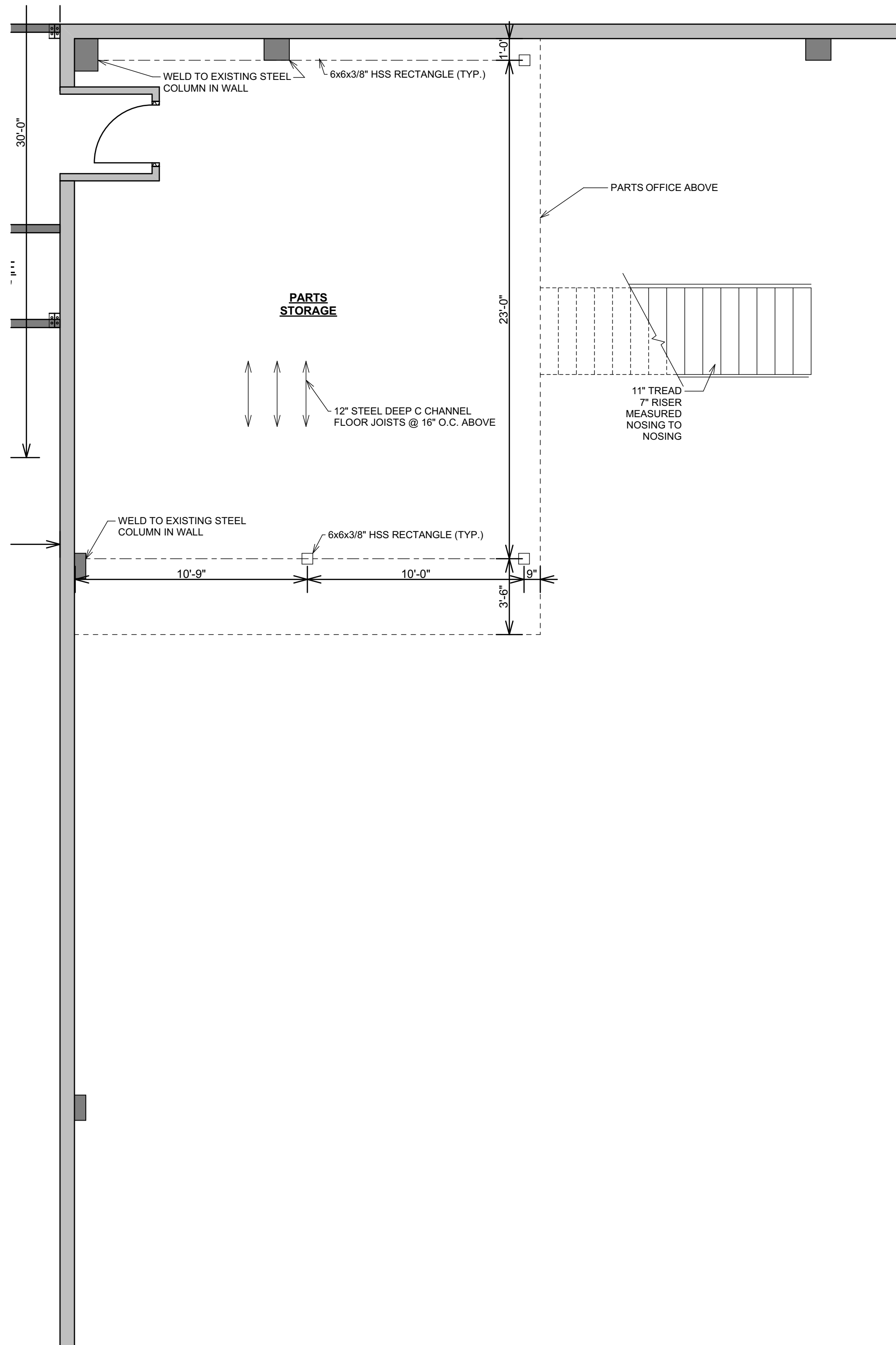
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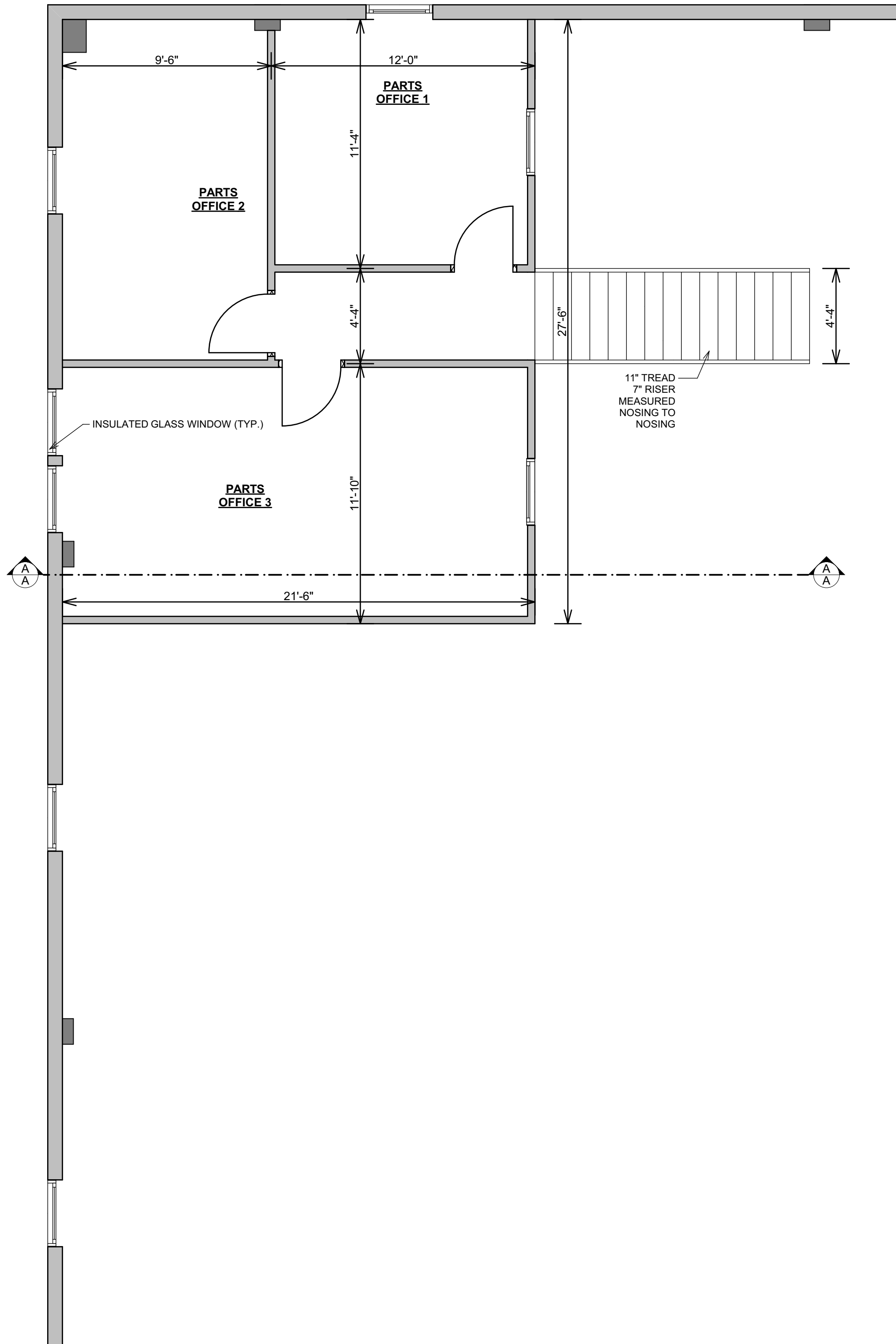
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NOTE: ENTIRE BUILDING, INCLUDING OFFICE SPACES,
MUST HAVE A COMPLETE NFPA13 SPRINKLER SYSTEM
INSTALLED; DESIGNED BY OWNER'S SPRINKLER SYSTEM
SUPPLIER.



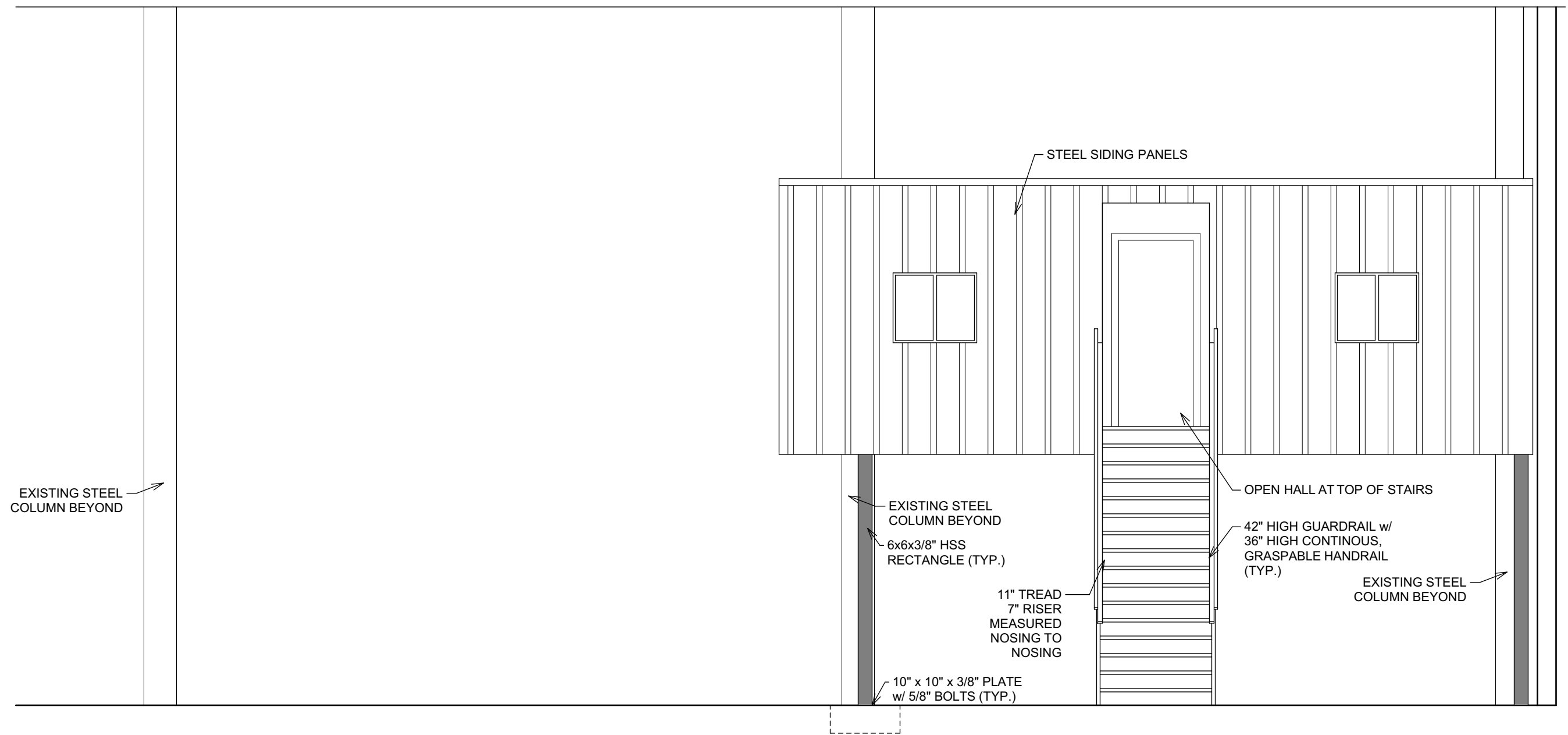
PARTS OFFICE MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"



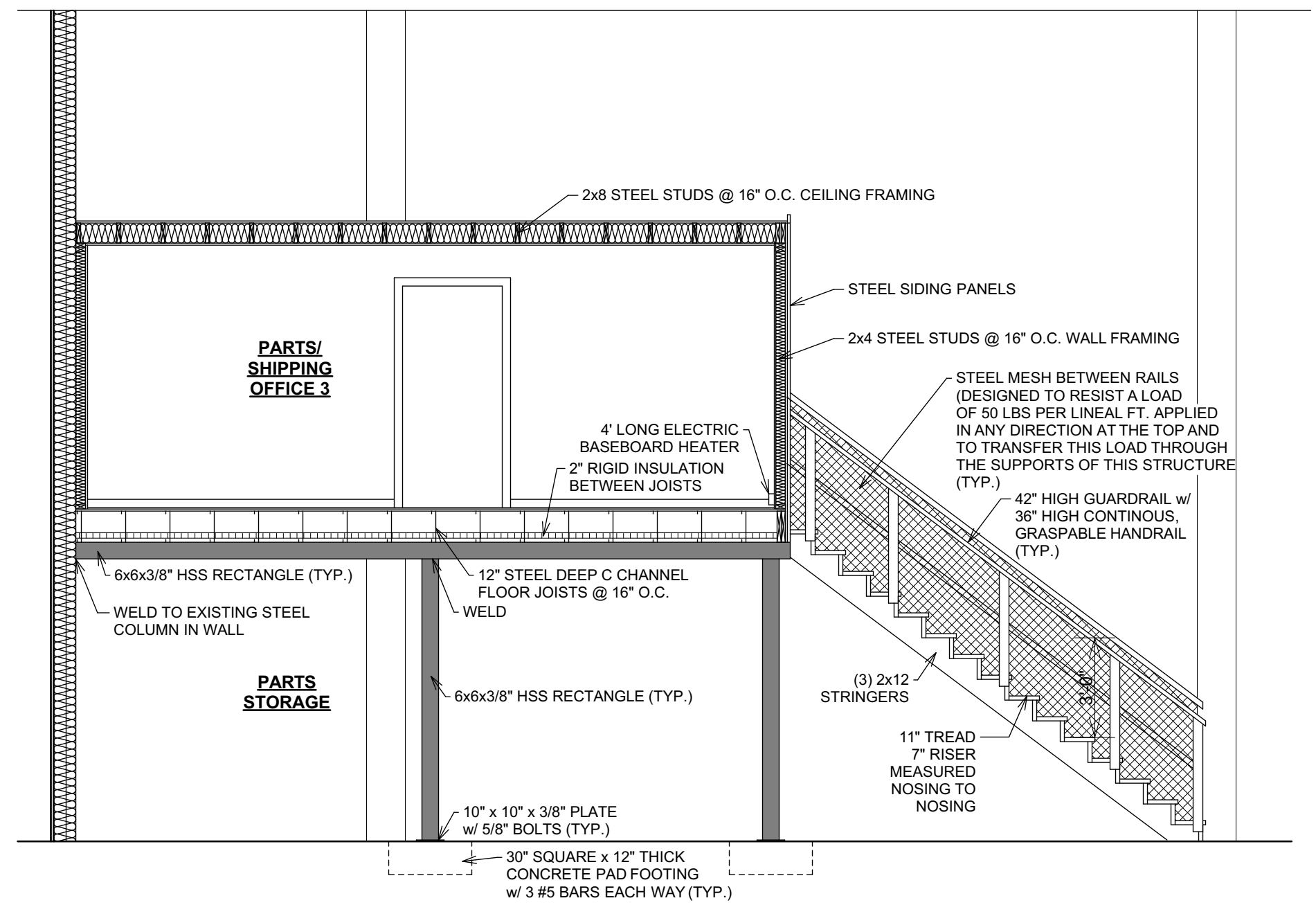
PARTS OFFICE UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"



PARTS OFFICE EAST ELEVATION

SCALE: 1/4" = 1'-0"



CROSS SECTION A/A

SCALE: 1/4" = 1'-0"

FACILITY BUILDING PLANS FOR:
ASHLAND INDUSTRIES
1115 RAIL DRIVE, ASHLAND, WI 54806
PARTS OFFICE DETAILS

CS DESIGN & ENGINEERING
with framework design inc
803 Lake Sherida Drive West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

APPROVED:

REVISIONS:

DESIGNED: S.G.S.

DRAWN: T.L.P.

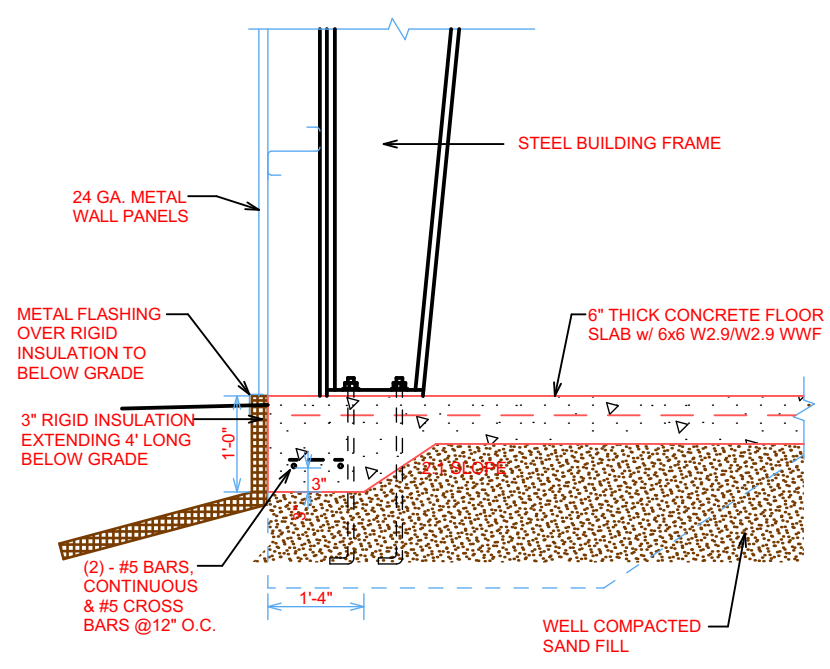
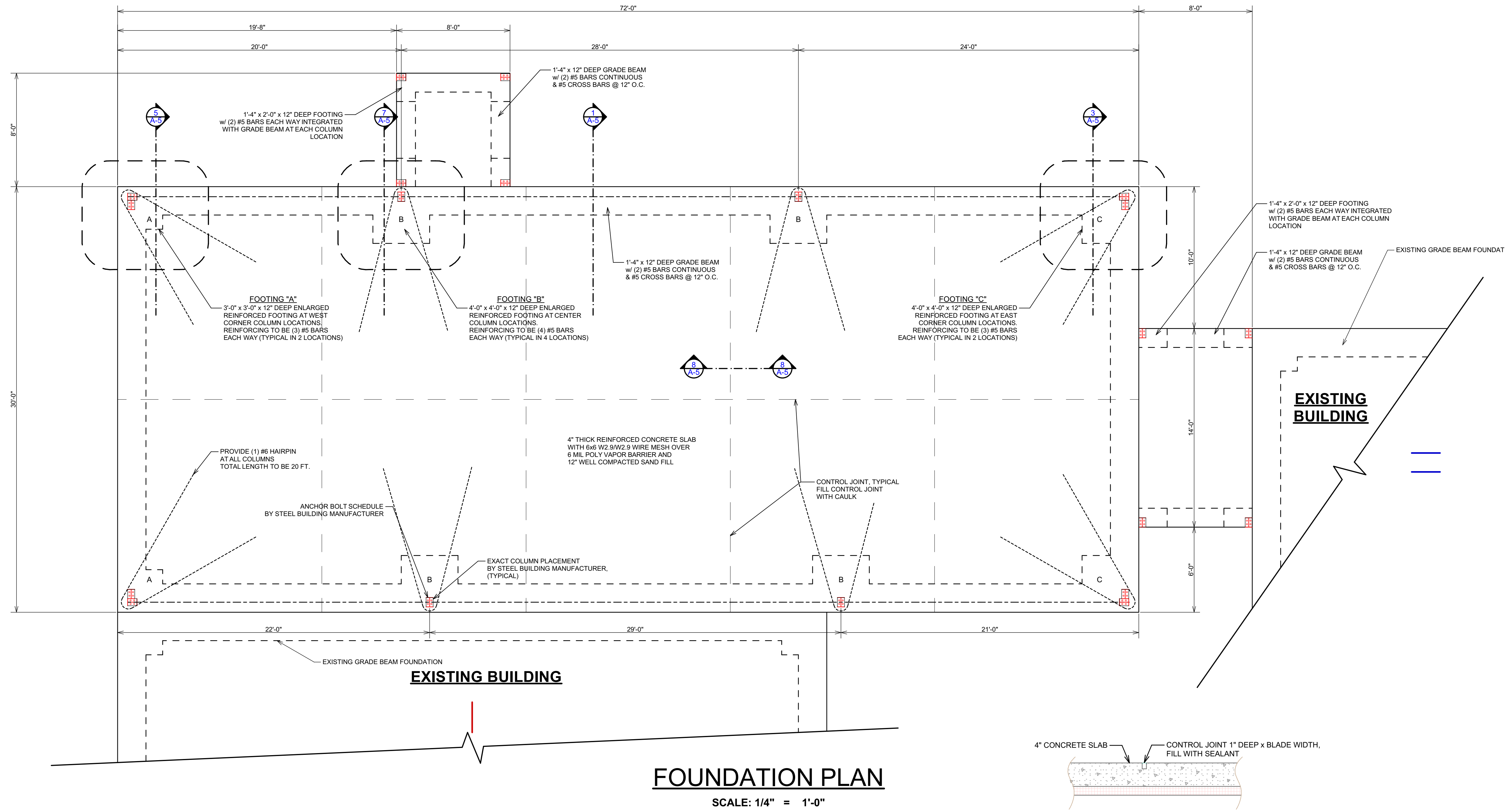
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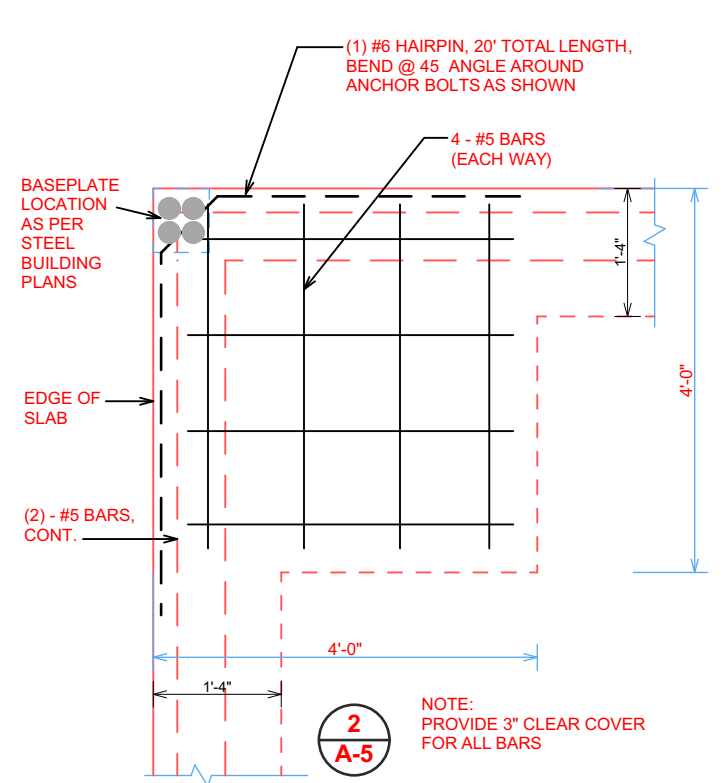
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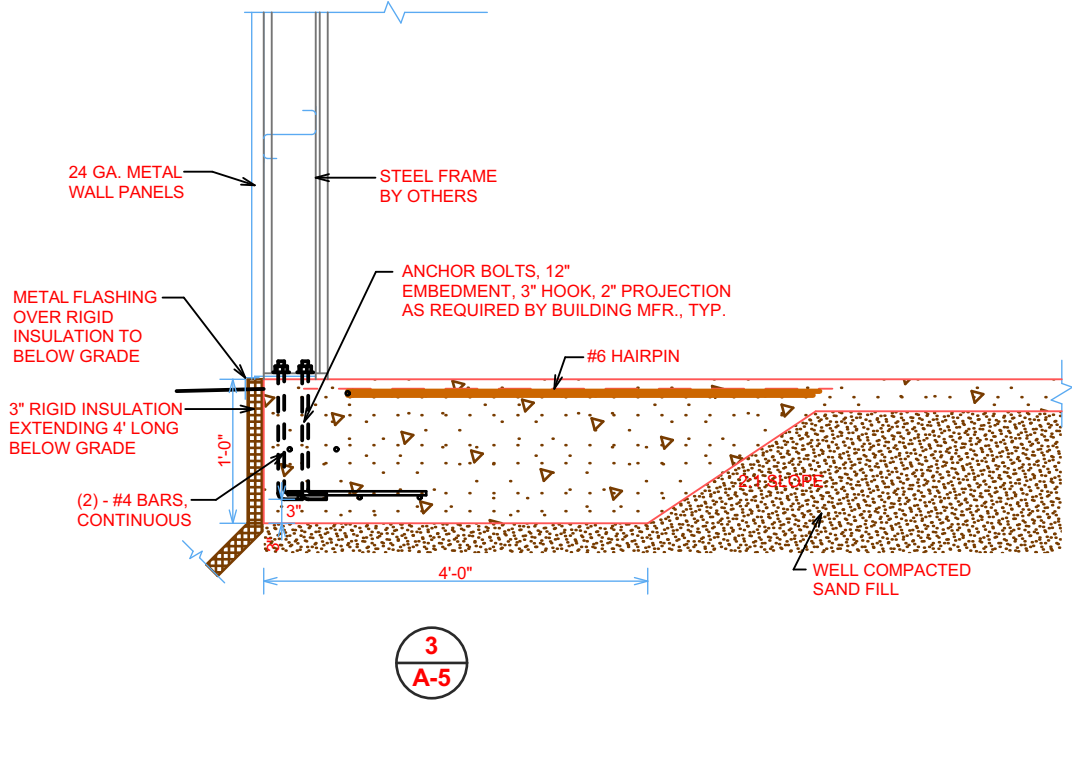
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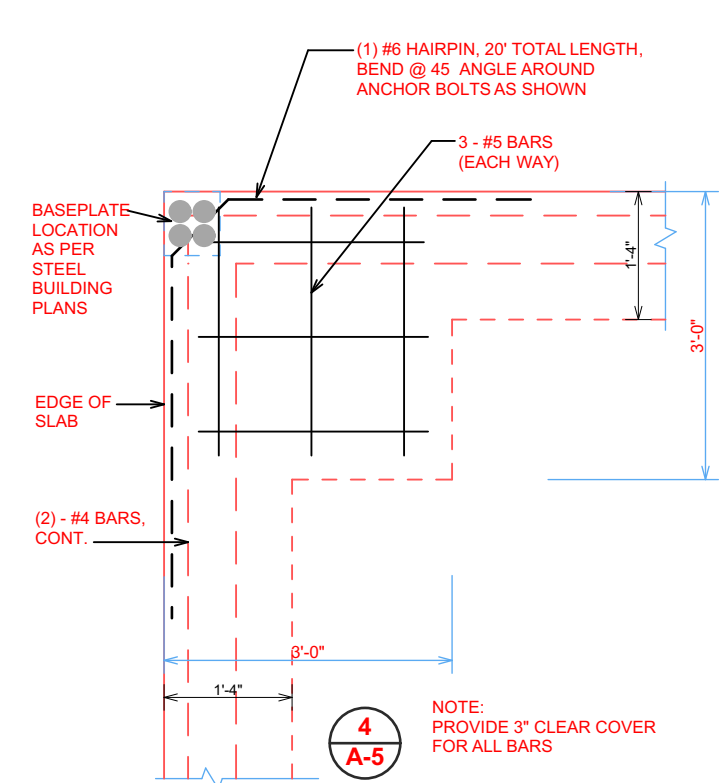
1
A-5 **TYPICAL GRADE BEAM**
SCALE: 1/2" = 1'-0"



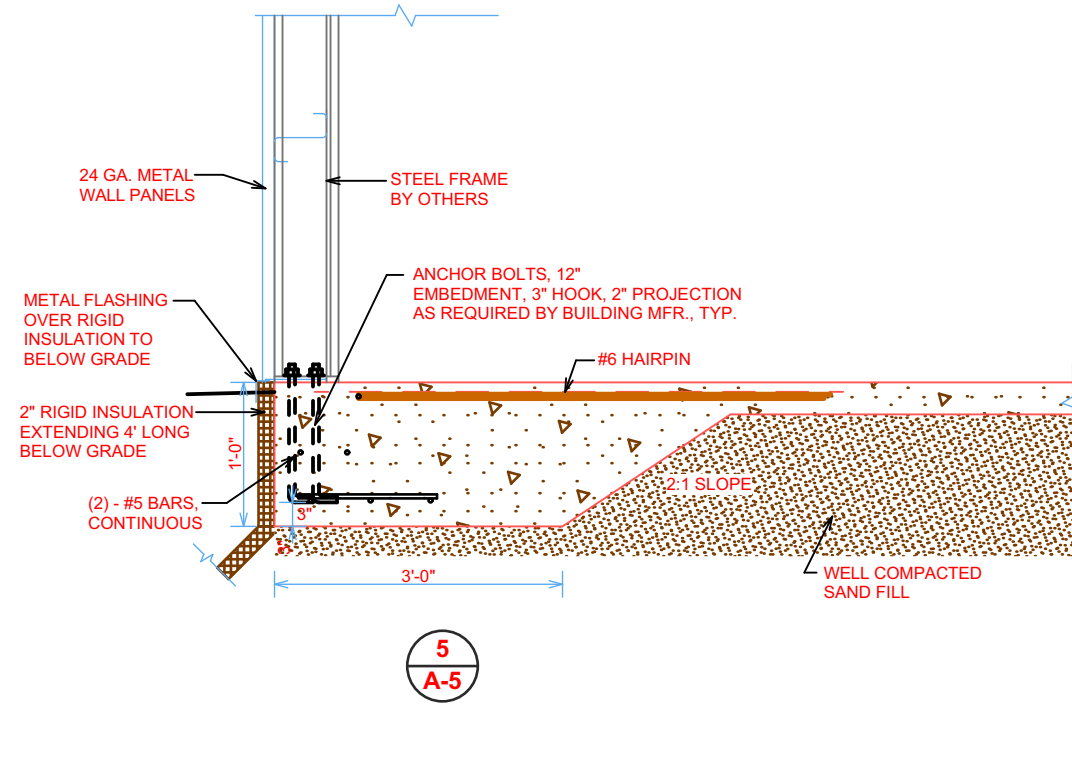
TYPICAL EAST CORNER COLUMN FOOTING
SCALE: 1/2" = 1'-0"



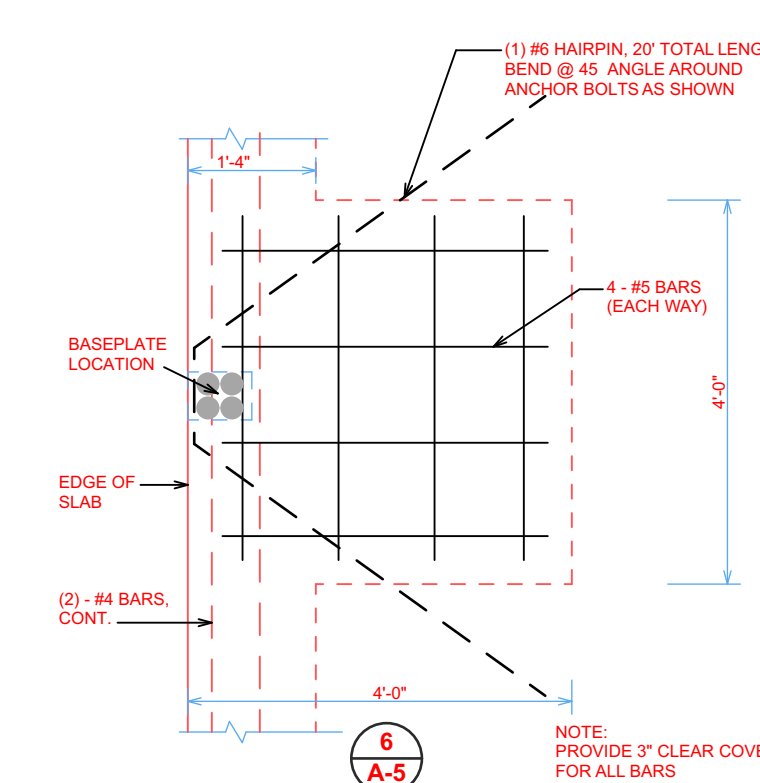
3
A-5 **FOOTING "C"**
SCALE: 1/2" = 1'-0"



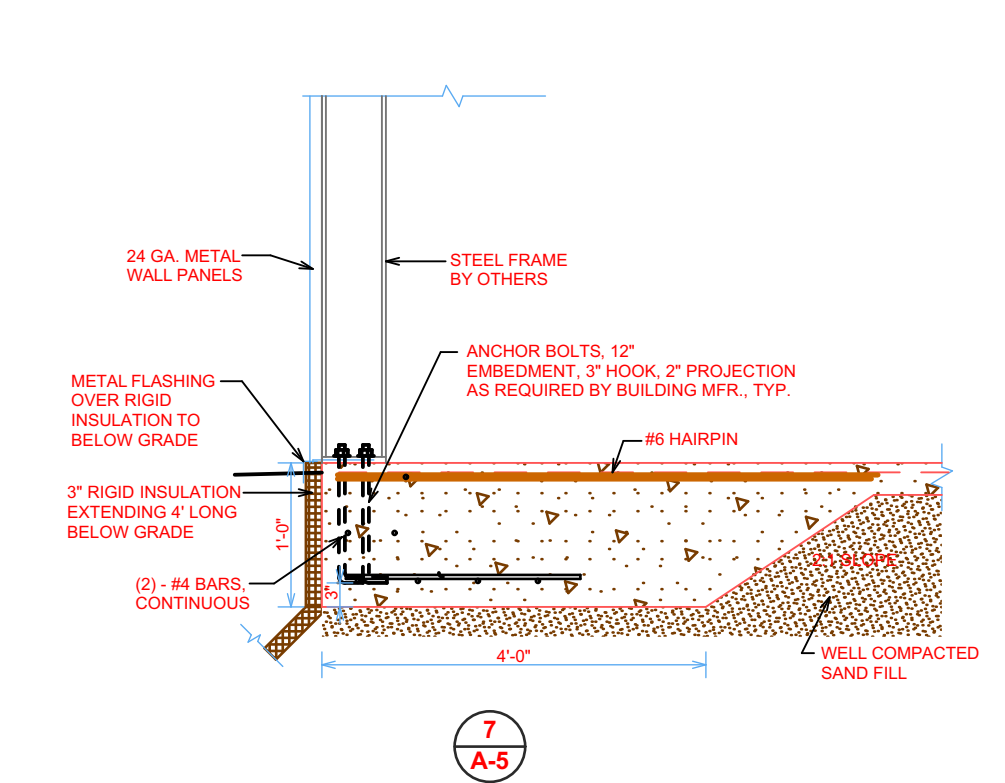
TYPICAL WEST CORNER COLUMN FOOTING
SCALE: 1/2" = 1'-0"



5
A-5 **FOOTING "A"**
SCALE: 1/2" = 1'-0"

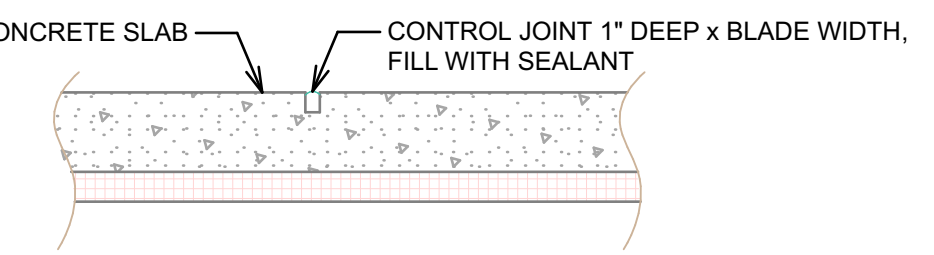


TYPICAL CENTER COLUMN FOOTING
SCALE: 1/2" = 1'-0"



7
A-5 **FOOTING "B"**
SCALE: 1/2" = 1'-0"

8
A-5 **CONTROL JOINT**
SCALE: NOT TO SCALE



FOUNDATION DETAILS AT FRAMES
SCALE: 1/2" = 1'-0"

FACILITY BUILDING PLANS FOR:
ASHLAND INDUSTRIES
1115 RAIL DRIVE, ASHLAND, WI 54806

OFFICE ADDITION FOUNDATION PLAN

DESIGN & ENGINEERING
with framework design inc

803 Lake Sherwood Drive West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

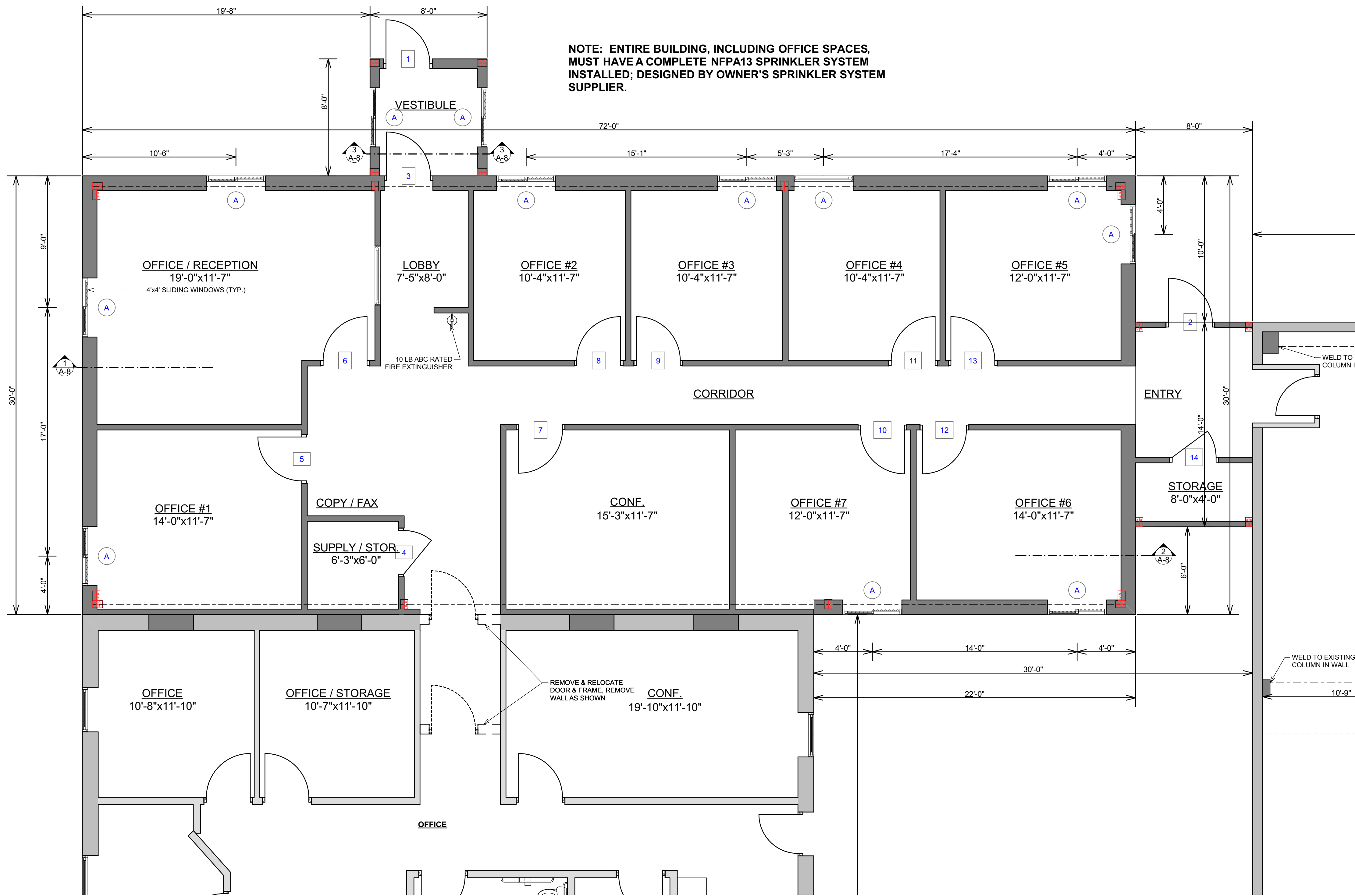
APPROVED:

REVISIONS:

DESIGNED: **S.G.S.**
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ENLARGED OFFICE ADDITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

SYMBOL	QTY	TYPE	MFG. / MODEL	UNIT SIZE (WxH)	GLASS INSUL TYPE	HEADER HEIGHT	COMMENTS
Ⓐ	12	HORIZONTAL SLIDING WINDOW	MARVIN CLAD ULTIMATE GLIDER	4'-0" x 4'-0"	LOW E W/ ARGON	7'-0"	U-FACTOR 0.29, SHGC 0.31
1. CONTRACTOR SHALL VERIFY ALL SIZES WITH MANUFACTURER BEFORE ORDERING OR INSTALLING. 2. ALL WINDOWS TO BE ALUMINUM CLAD AND HAVE STANDARD PINE INTERIOR WOOD PRE-FINISHED IN "NATURAL" VARNISH, EXTERIOR COLOR TO BE SELECTED BY OWNER							

INTERIOR ROOM FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALL	FINISH	CEILING	FINISH	CEILING HEIGHT
VESTIBULE	LVT	4" VINYL	1/2" GYPSUM BOARD	PAINT	SUSPENDED	N/A	9'-0"
OFFICES	LVT	4" VINYL	1/2" GYPSUM BOARD	PAINT	SUSPENDED	N/A	9'-0"
CORRIDOR / LOBBY	LVT	4" VINYL	1/2" GYPSUM BOARD	PAINT	SUSPENDED	N/A	9'-0"
CONFERENCE	LVT	4" VINYL	1/2" GYPSUM BOARD	PAINT	SUSPENDED	N/A	9'-0"
SUPPLY / STOR.	LVT	4" VINYL	1/2" GYPSUM BOARD	PAINT	SUSPENDED	N/A	9'-0"
NOTES: 1. ALL PAINTING: PRIMER WITH TWO (2) FINISH COATS OF PAINT. 2. ALL WOOD MILLWORK SHALL BE PINE W/ STAIN (COLOR TO BE SELECTED BY OWNER AND ARCHITECT) AND TWO (2) COATS OF POLYURETHANE.							

DOOR SCHEDULE

SYMBOL	DOOR TYPE	SIZE		FRAME TYPE	HARDWARE LOCK FUNCTION	REMARKS
		W	H			
1	ALUMINUM ENTRY DOOR	3'-0"	6'-8"	ALUMINUM	KEYED ENTRY LOCKSET	w/ CLOSER AND WEATHERSTRIPPING
2	EXISTING STEEL ENTRY HALF GLASS, RELOCATE	3'-0"	6'-8"	HOLLOW METAL	EXISTING KEYED ENTRY LOCKSET	w/ CLOSER AND WEATHERSTRIPPING
3	RELOCATE EXISTING	3'-0"	6'-8"	EXISTING WOOD	EXISTING LOCKSET	
4	FLUSH WOOD	3'-0"	6'-8"	PREHUNG WOOD	OFFICE LOCKSET	
5	FLUSH WOOD	3'-0"	6'-8"	PREHUNG WOOD	OFFICE LOCKSET	
6	FLUSH WOOD	3'-0"	6'-8"	PREHUNG WOOD	OFFICE LOCKSET	
7	FLUSH WOOD	3'-0"	6'-8"	PREHUNG WOOD	OFFICE LOCKSET	
8	FLUSH WOOD	3'-0"	6'-8"	PREHUNG WOOD	OFFICE LOCKSET	
9	FLUSH WOOD	3'-0"	6'-8"	PREHUNG WOOD	OFFICE LOCKSET	
10	FLUSH WOOD	3'-0"	6'-8"	PREHUNG WOOD	OFFICE LOCKSET	
11	FLUSH WOOD	3'-0"	6'-8"	PREHUNG WOOD	OFFICE LOCKSET	
12	FLUSH WOOD	3'-0"	6'-8"	PREHUNG WOOD	OFFICE LOCKSET	
13	FLUSH WOOD	3'-0"	6'-8"	PREHUNG WOOD	OFFICE LOCKSET	
14	FLUSH WOOD	3'-0"	6'-8"	PREHUNG WOOD	PASSAGE LOCKSET	
1. CONTRACTOR SHALL VERIFY ALL SIZES WITH MANUFACTURER BEFORE ORDERING OR INSTALLING. 2. ALL DOORS SHALL BE PRE-FINISHED IN A COLOR SELECTED BY THE OWNER AND ARCHITECT. 3. ALL LOCKSETS TO BE ADA COMPLIANT						

FACILITY BUILDING PLANS FOR:

ASHLAND INDUSTRIES

1115 RAIL DRIVE, ASHLAND, WI 54806

OFFICE ADDITION PLAN

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Telephone (715) 682-0330 www.csesengineering.com

APPROVED:

REVISIONS:

DESIGNED: **S.G.S.**

DRAWN: **T.L.P.**

SCALE: **AS NOTED**

DATE: **JAN., 2019**

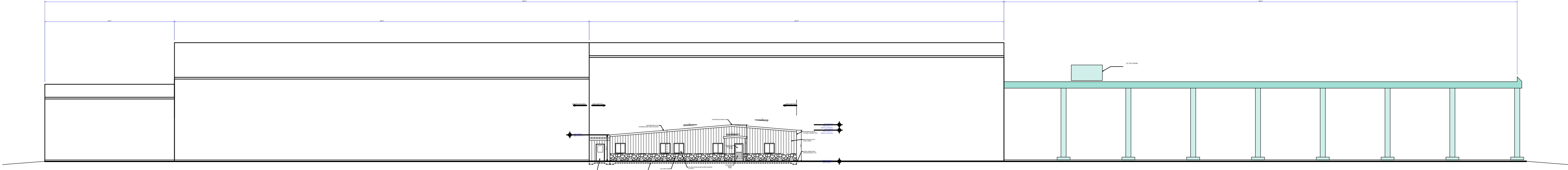
PROJECT NO.
18-3309

SHEET NO.

A-6

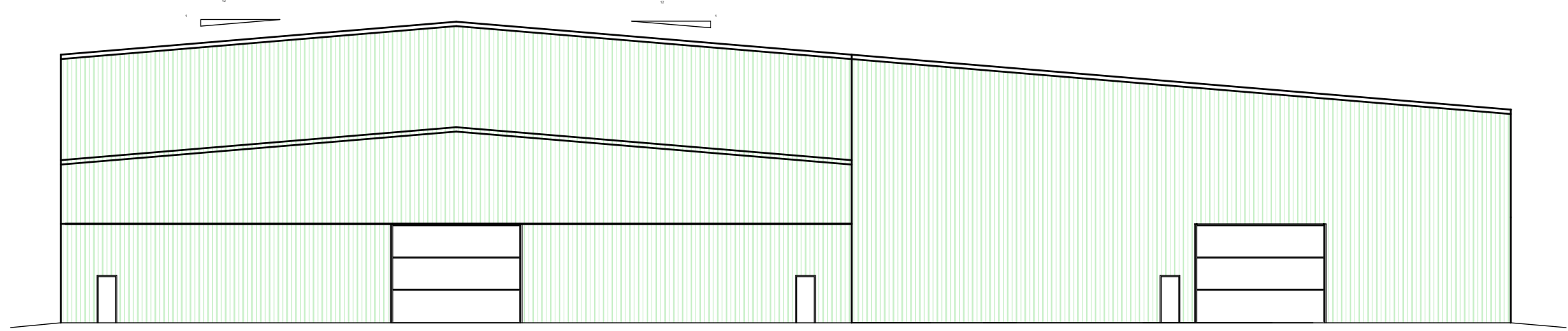
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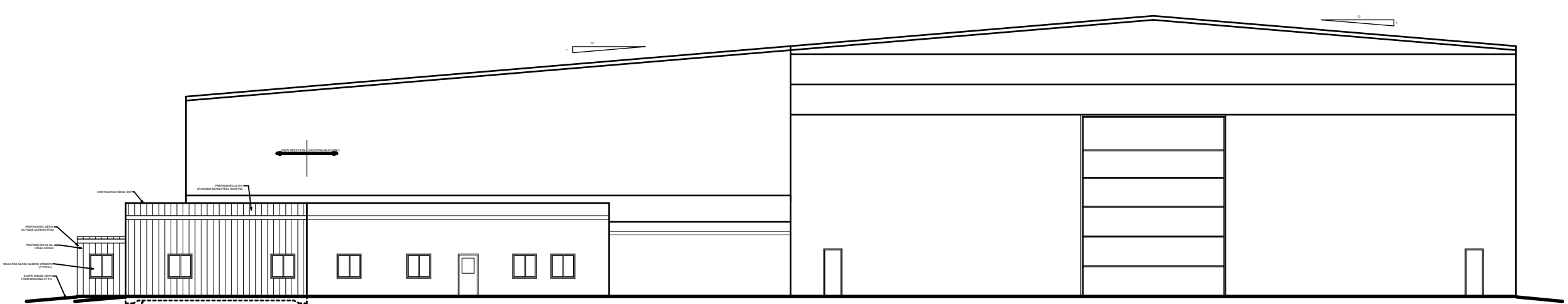
NORTH ELEVATION

SCALE: 1" = 20'



EAST ELEVATION

SCALE: 1" = 20'



WEST ELEVATION

SCALE: 1" = 20'

FACILITY BUILDING PLANS FOR:

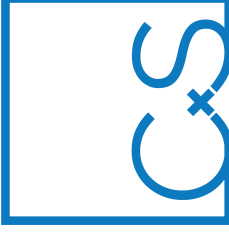
ASHLAND INDUSTRIES

1115 RAIL DRIVE, ASHLAND, WI 54806

OVERALL BUILDING ELEVATIONS

DESIGN & ENGINEERING

with framework design inc



803 Lake Sherwood Drive West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

APPROVED:

REVISIONS:

DESIGNED: S.G.S.

DRAWN: T.L.P.

SCALE: AS NOTED

DATE: JAN., 2019

PROJECT NO.

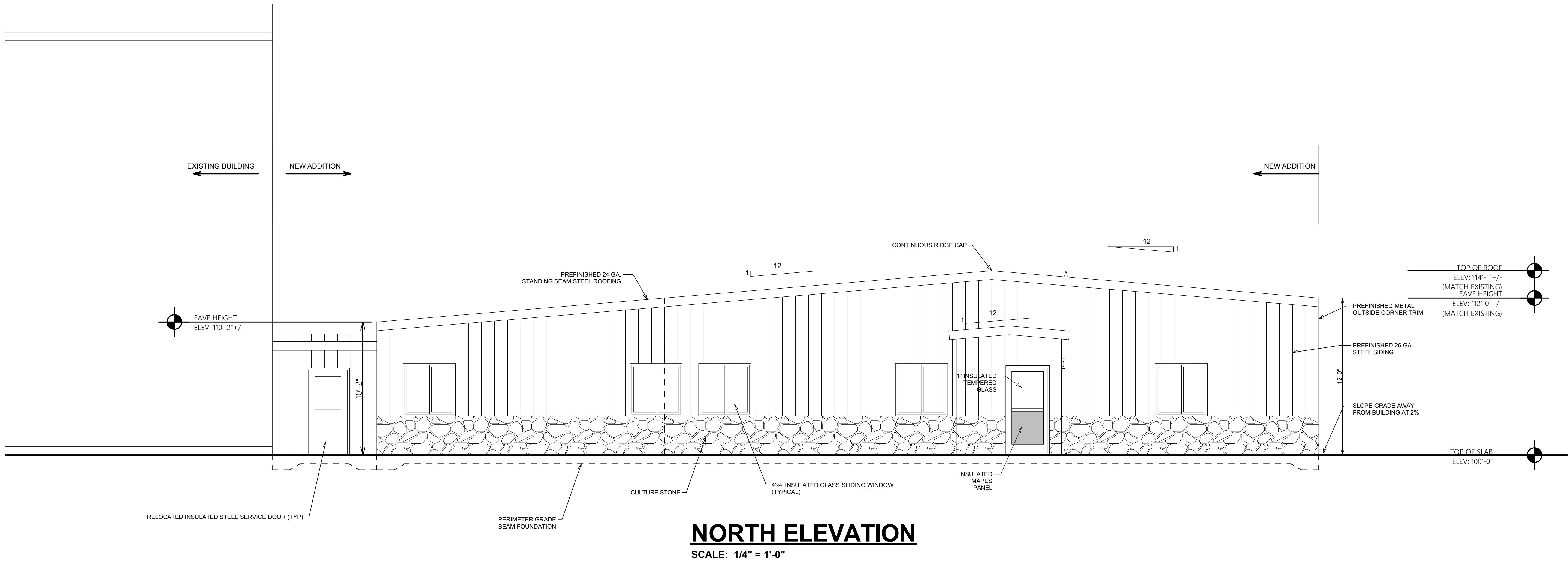
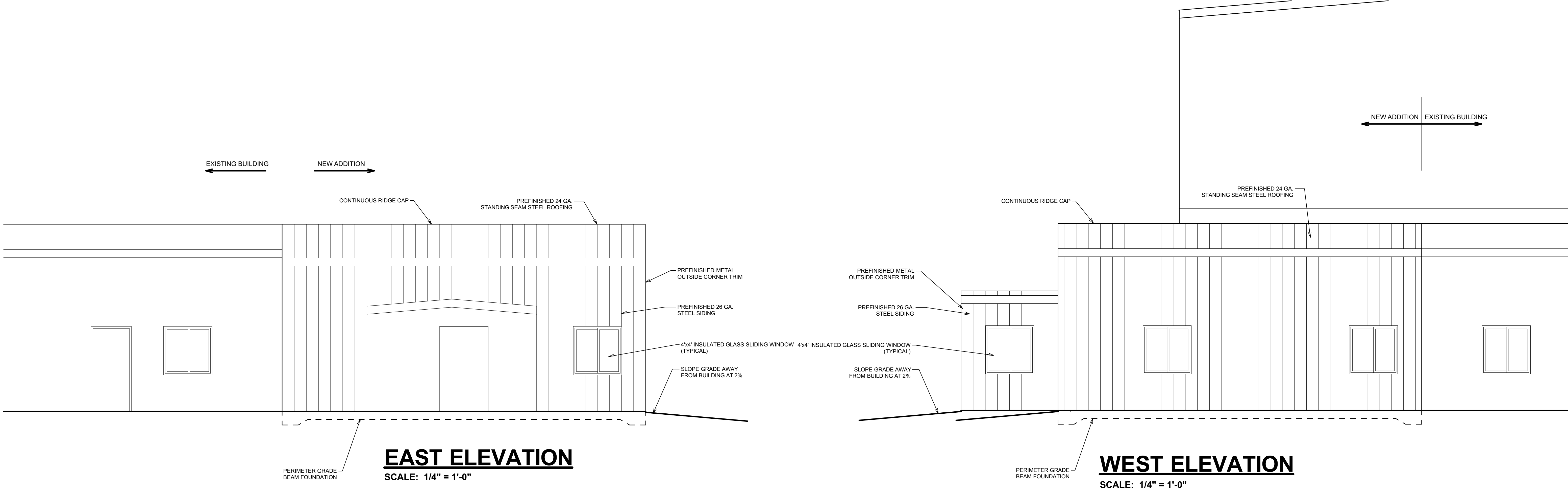
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FACILITY BUILDING PLANS FOR:
ASHLAND INDUSTRIES
1115 RAIL DRIVE, ASHLAND, WI 54806

ADDITION BUILDING ELEVATIONS

DESIGN & ENGINEERING
with framework design inc
803 Lake Sherwood Drive West, Ashland, WI 54806
Telephone (715) 682-0330 www.cdsengineering.com

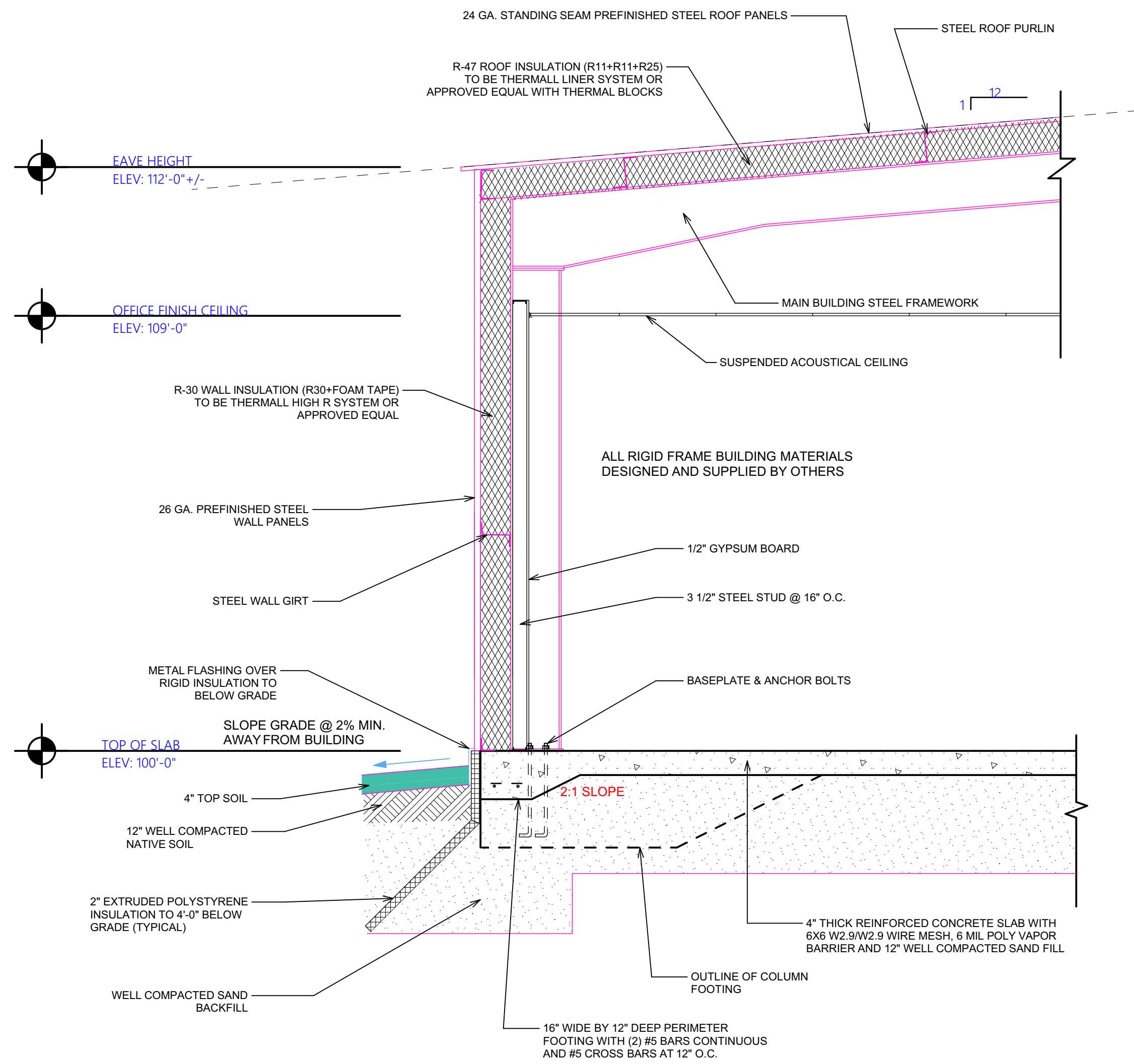
APPROVED:

REVISIONS:

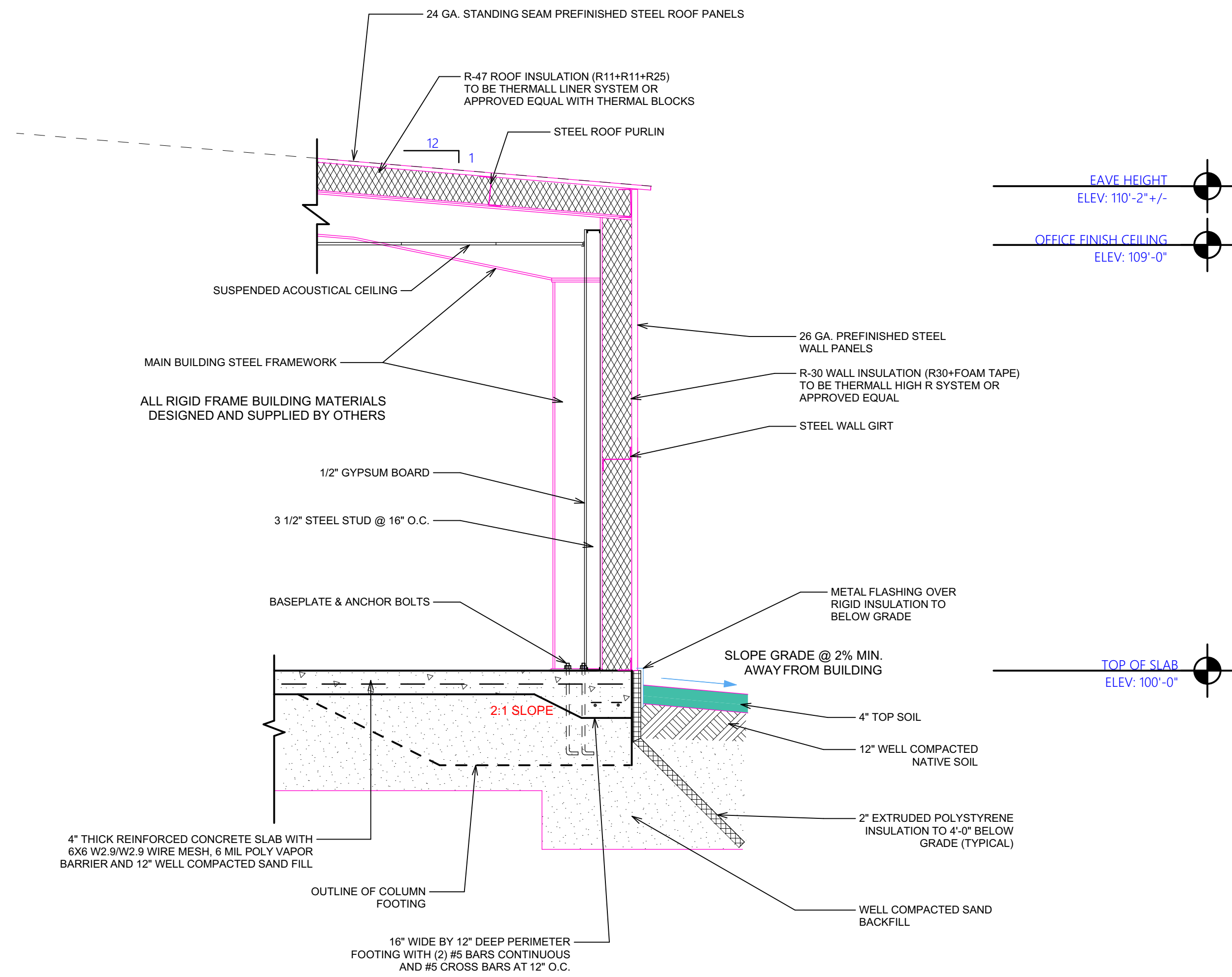
DESIGNED: **S.G.S.**
DRAWN: **T.L.P.**
SCALE: **AS NOTED**
DATE: **JAN., 2019**

PROJECT NO.
18-3309

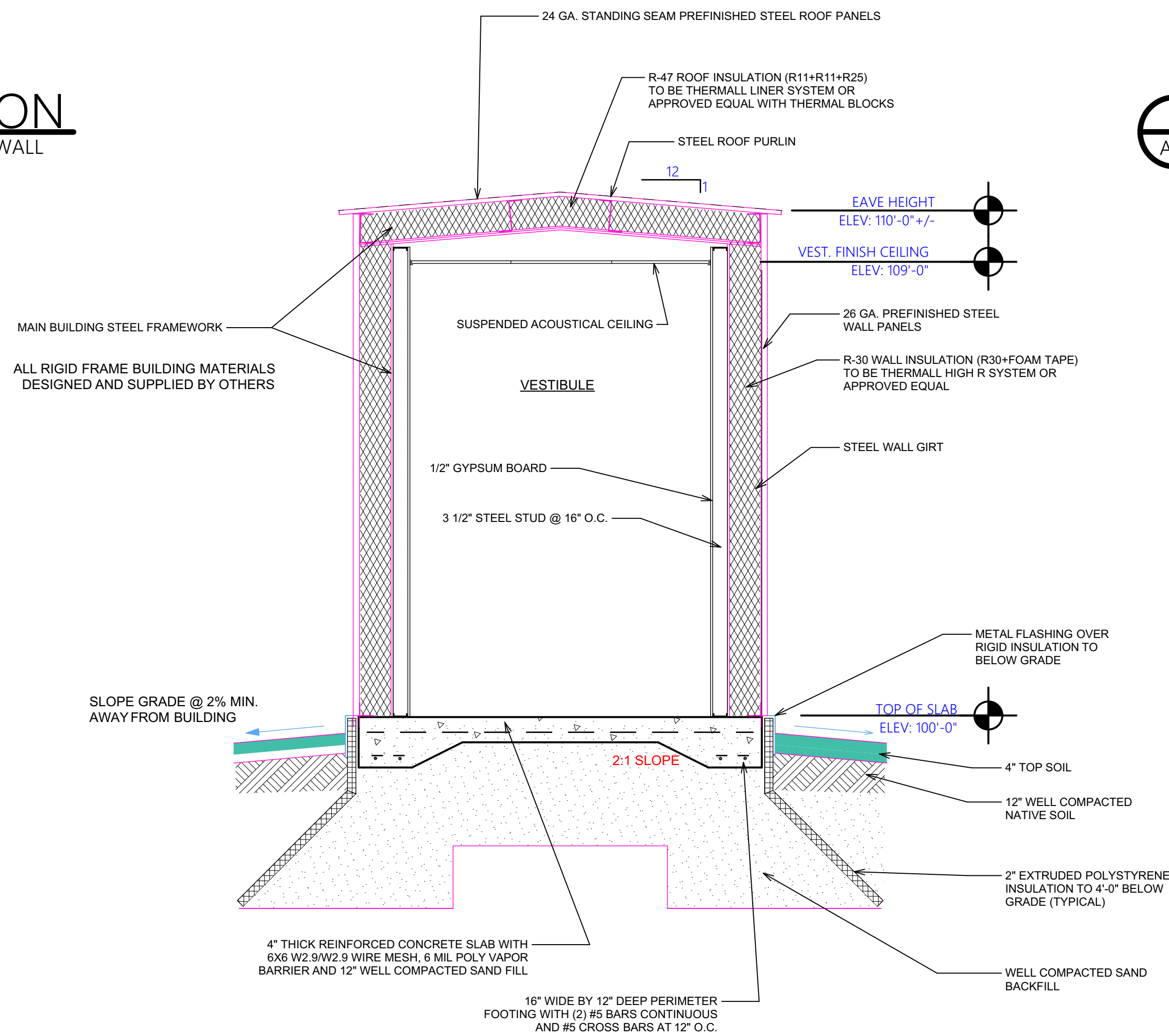
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1
A-8
TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"
WEST WALL



2
A-8
TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"
EAST WALL



3
A-8
WALL SECTION THRU VESTIBULE
SCALE: 1/2" = 1'-0"
CONNECTING LINK SIMILAR

FACILITY BUILDING PLANS FOR:
ASHLAND INDUSTRIES

1115 RAIL DRIVE, ASHLAND, WI 54806

OFFICE ADDITION WALL SECTIONS

DESIGN & ENGINEERING
with framework design inc
CS
803 Lake Shore Drive West, Ashland, WI 54806
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APPROVED:

REVISIONS:

DESIGNED: S.G.S.

DRAWN: T.L.P.

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GENERAL AIR SYSTEM AND EQUIPMENT NOTES

- Mechanical system controls shall be located 48" above the finished floor. Ref IBC 101.2/ANSI a117.1-308.2 & 3.
- Flues to be mounted a minimum 3'-0" above roof and 2'-0" above any structure within a 10'-0" radius.
- Electric wall heaters to be mounted a minimum 6" above finished floor.
- Electrical wiring of 115 volts or above is to be the responsibility of the electrical contractor. 24 volt control wiring is to be the responsibility of the HVAC contractor.
- Thermostats shall be capable of heating and cooling control and shall be suitable for use with the provided HVAC equipment.
- Thermostats shall be installed at a min. of 36" and a maximum of 48" AFF to bottom and shall be installed in compliance with Wisconsin ADAAG requirements.
- Coordinate final thermostat locations with the General Contractor.
- Thermostats shall provide night set-back/occupied-unoccupied controls for both heating and cooling.
- Thermostats shall be in compliance with Wisconsin Energy Code.
- Exhaust fans are to be vented to the exterior of the building.
- Ventilation is to run continuous during building occupancy.
- All gas piping is to be installed accordance with all local, state, and NFPA 54 national fuel gas codes.
- Provide access doors at all coils, fire dampers, smoke dampers, comb. fire & smoke dampers, gravity or motorized dampers.
- Provide appropriate condensate removal for all cooling coils and high efficiency condensing-type heating equipment. This may require a "little giant" condensate pump and tubing. Verify the final plumbing arrangement and condensate drainage requirements with the Plumbing Contractor prior to start of work.
- Smoke detectors shall be provided and installed for all fans, furnaces, air handlers and rooftop units for unit with design capacity greater than 2,000 cfm and as indicated on the drawings. The Electrical Contractor and Fire Protection/Alarm Contractor shall be notified in writing as to the type, function and location of each smoke detector. The Engineer shall be given a copy of the written notice.
- HVAC contractor shall adjust the economizer(s) / damperto the minimum position to admit the specified amount of o.s.air during occupancy. Exhaust for the space shall be accomplished either through the systems barometric relief or exhaust fans as specified.
- Prior to occupancy, the HVAC Contractor shall provide the Engineer a complete air test and balance report. Testing shall not be required to be certified nor performed by a third party for this project.
- HVAC contractor shall be responsible for providing the building owner or operator an operating and maintenance manual. The manual shall include basic data relating to the operation and maintenance of all HVAC systems and equipment. Required routine maintenance actions shall be clearly identified. Where applicable, HVAC control information such as diagrams, schematics, control sequence descriptions, maintenance, and calibration information shall be included.
- The HVAC Contractor is responsible for coordinating all equipment and space requirements with all the other contractors prior to start of construction. This includes the General Contractor, Fire Protection Contractor, Plumbing Contractor, Electrical Contractor and any kitchen equipment supplier, or specialty equipment supplier.
- Undercut the room door 3/4" in all rooms that do not have a return air grille in them.

GENERAL DUCTWORK NOTES

- All ductwork shall be constructed in accordance with SMACNA standards for type and pressure.
- All ductwork shall be insulated in accordance with the Duct Insulation Schedule on the drawings.
- All supply, return, exhaust, fresh air and mixed air ductwork shall be sealed in accordance with SMACNA "HVAC Air Duct Leakage Test Manual", 1985 Edition, Table 1-2 "Duct Sealing Requirements", Seal Class "A", regardless of actual duct pressure class. Additionally they shall meet the requirements of IMC 603.9.
- Supply and Return ductwork insulation may be either internal duct liner, or external wrap, as appropriate, or unless specifically noted on the drawings.
- Fresh air and mixed air ductwork may only be insulated externally, and may not be insulated with ductliner.
- Where ductwork is insulated with ductliner, the final sealed sheet metal ductwork shall serve as the vapor barrier.
- Ductboard is not acceptable for any application.
- Flexible ductwork to grilles and diffusers, or used as a short connector for outside air or exhaust air shall not be more than 10'-0" in length.
- Flexible ductwork shall be Hart & Cooley or approved equal with fiberglass insulation, fiberglass reinforced metalized vapor barrier, and wire helix support core.
- Balancing dampers shall be provided at all supply, return, exhaust and fresh air ducts. Balancing dampers shall be adequate to provide the air balance indicated on the drawings.
- Provide turning vanes in ductwork only where shown on the drawings.
- All branch ducts for all services shall be tapped from the main duct using either an Acme HET or a bellmouth fitting. All takeoffs shall have a balancing damper at the take-off, unless noted otherwise.
- All duct connections to all furnaces, fans, rooftop units and air handlers shall be made with flexible connectors. Flexible duct connectors shall be Duro-Dyne MBX, or approved equal.
- All duct dimensions are clear inside dimensions. Actual installed duct size shall reflect the clear inside dimensions shown. Sheet metal size shall be increased to reflect any duct liner insulation.
- All duct dimensions are as intended for bidding. If the HVAC Contractor needs to make changes to the duct dimensions to accommodate construction site conditions, the ductwork dimensions may be changed so long as the revised dimensions provide equal performance as calculated by using a Ductulator Duct Size Calculator.
- All ductwork is to be sealed and kept free from debris, dust, etc. during construction phase of the project work. The HVAC Contractor will be responsible for this task.
- All clothes dryers and bathroom exhaust fans shall be vented to the exterior using min. 4" dia. rigid vent duct material from the interface with the equipment. Duct run distances and offsets shall conform to the IMC and the manufacturers installation instructions.
- For all environmental air exhausts, the termination point of the outlets and ducts discharging to the outdoors shall be located 3 feet from the property lines, 3 feet from operable openings into the building, and 10 feet from mechanical air intakes. This requirement covers all dryer vents, bathroom exhaust fan outlets, and furnace venting.

CONVENTIONAL GAS PIPING SYSTEM NOTES

- Gas piping shall be Schedule 40 black steel.
- Gas piping 4" diameter and smaller, and under 5 PSI, may use threaded fittings.
- Gas piping larger than 4" diameter, or over 5 PSI, shall use all welded fittings.
- Gas piping shall be sized and installed in accordance with all local, state, NFPA 54 national fuel gas code.
- Gas piping installed on the roof or exposed outside the building shall be painted with rust resistant epoxy paint, bright yellow color, and labeled "Natural Gas" or "Propane", as appropriate. The gas pressure in the pipe shall also be included in the labeling. Labels shall appear every 50', minimum.
- Underground gas piping shall be seamless plastic, orange in color, and shall be in compliance with ASTM D 2513. The anodeless riser from the plastic pipe, connecting to the steel piping in the building, shall be factory assembled and installed in accordance with the manufacturer's recommendations.
- This contractor shall provide gas pressure regulators at all necessary locations. Regulators shall be Fischer, Equipop or Maxitrol and shall be installed in accordance with the manufacturer's recommendations and all applicable codes and standards.
- Gas pressure regulators shall be vented to the outside, where required as noted above.
- All gas connections to all equipment shall include the following: shut-off valve, full size dirt leg, minimum 12" long stainless steel (Dormont, Flex-Hose, True-Flex or Parker) flex gas connector or 18" long GasTite or approved equal.
- All screwed fittings shall be new and may not be re-used. This is in accordance with NFPA 54. The couplings that come on steel pipe to protect the threads may not be used.
- Gas pressure regulator vent piping may be steel, aluminum alloy or copper, where allowed by NFPA 54 and Wisconsin Fuel Gas Code.

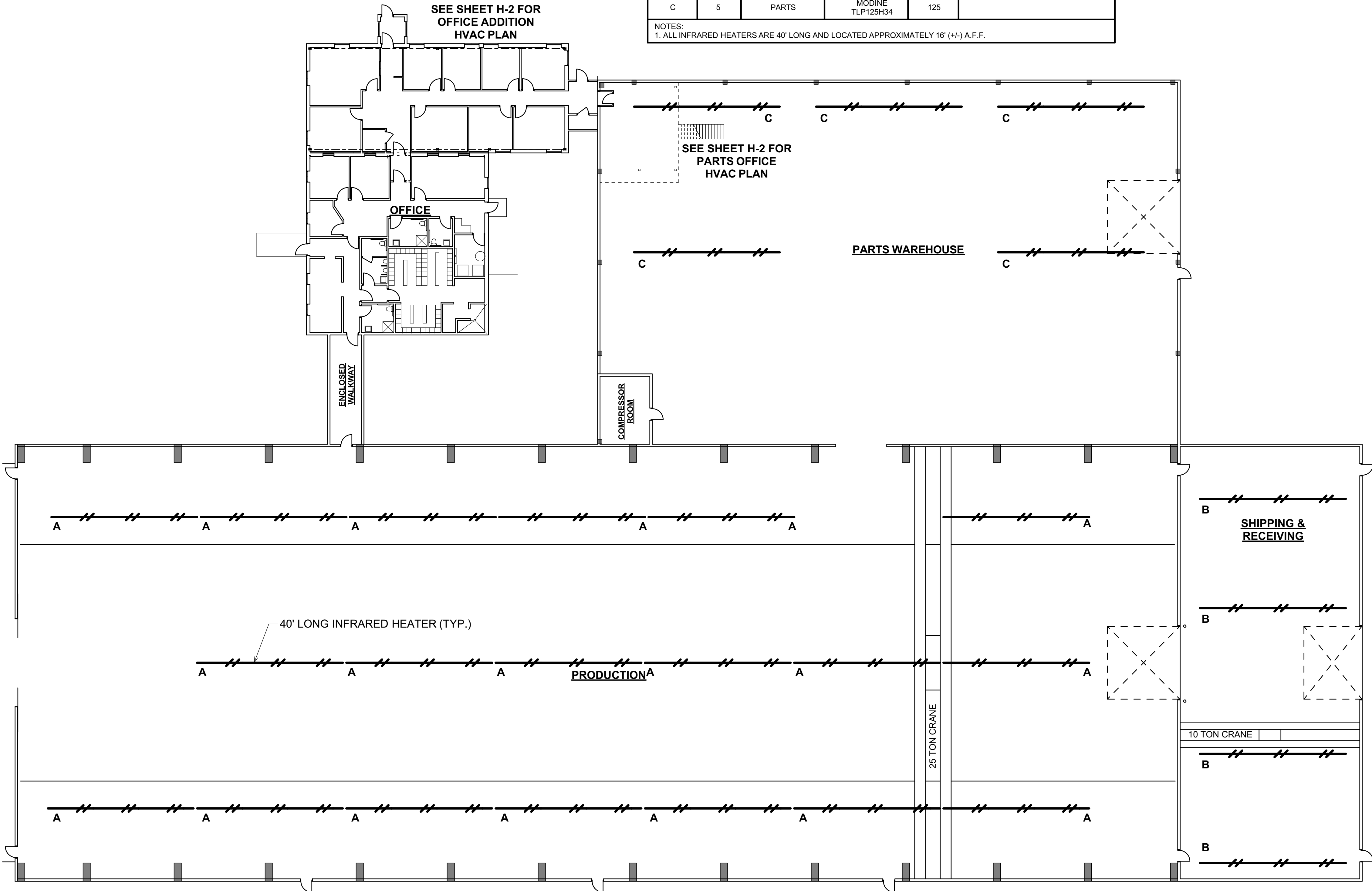
CSST FLEXIBLE GAS PIPING NOTES

- The gas piping material shall be Corrugated Stainless Steel Tubing (CSST) as manufactured by Ward Flex, TracPipe, GasTite or approved equal.
- Pressure carrier shall be series 300 stainless steel per ASTM A240; no annealing or heat-treating permitted after corrugation operation.
- Fittings shall be flared mechanical attachment fittings provided by the same manufacturer as the CSST Tubing material : yellow with series 300 stainless steel insert. Fittings shall terminate in cleanly cut taper pipe threads conforming to the Standard for Pipe Threads, General Purpose, ANSI/ASME B1.20.1. A flared metal-to-metal seal shall be used to accomplish gas sealing. No elastomer sealing rings or fiber gaskets permitted.
- Non-metallic jacket shall be colored yellow to visibly indicate conveyance of fuel gas. Jacket material shall be non-halogenated, fire-retardant polyethylene. Polyvinyl chloride (PVC) is not permitted. ASTM E84 Ratings shall be less than 14 for flame spread and smoke.
- Pipe sizing and all installation requirements shall be in accordance with the International Fuel Gas Code, National Fuel Gas Code (NFPA 54) and all current state and local requirements.

CONTROL NOTES

- Thermostat shall provide night set-back/occupied-unoccupied controls for both heating and cooling. Low stage fan on F-1 to run continuous when building is in occupied setting. Motorized damper to open when furnace or fan is activated.

INFRARED HEATER SCHEDULE					
MARK	QTY	LOCATION	MFR/MODEL	INPUT (MBH)	COMMENTS
A	19	PRODUCTION	REZNOR 8TR175	175	ORIGINAL TO BUILDING
B	4	SHIPPING/ RECEIVING	MODINE TLP75H34	75	
C	5	PARTS	MODINE TLP125H34	125	
NOTES: 1. ALL INFRARED HEATERS ARE 40' LONG AND LOCATED APPROXIMATELY 16' (+/-) A.F.F.					



OVERALL HVAC PLAN

SCALE: 1/16" = 1'-0"

FACILITY BUILDING PLANS FOR:
ASHLAND INDUSTRIES

1115 RAIL DRIVE, ASHLAND, WI 54806

HVAC PLANS

DESIGN & ENGINEERING
with framework design inc
803 Lakeshore Drive West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesigengineering.com

APPROVED:

REVISIONS:

DESIGNED: **S.G.S.**

DRAWN: **T.L.P.**

SCALE: **AS NOTED**

DATE: **JAN., 2019**

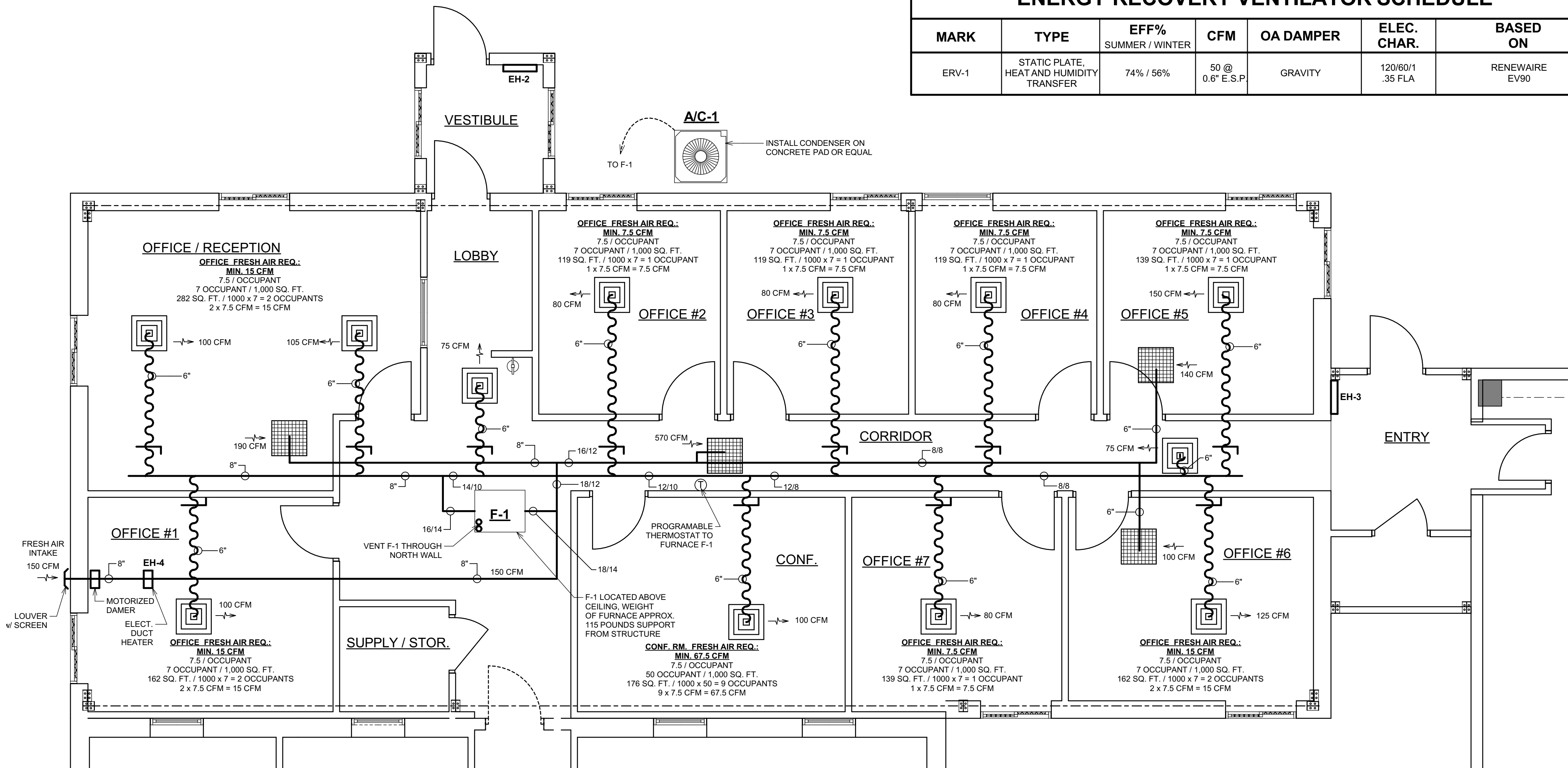
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H-1

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ENERGY RECOVERY VENTILATOR SCHEDULE						
MARK	TYPE	EFF% SUMMER / WINTER	CFM	OA DAMPER	ELEC. CHAR.	BASED ON
ERV-1	STATIC PLATE, HEAT AND HUMIDITY TRANSFER	74% / 56%	50 @ 0.6" E.S.P.	GRAVITY	120/60/1 .35 FLA	RENEWAIRE EV90

ELECTRIC HEATER SCHEDULE						
MARK	LOCATION	TYPE	BTU/H	WATTS	ELEC.	BASED ON
EH-1	PARTS OFFICE	48" ELECTRIC BASEBOARD HEATER	3,412	1,000	240/208	QMARK 2544W
EH-2	VESTIBULE (NORTH)	RECESSED ELECTRIC WALL HEATER	5,120	1,500	120 V., 12.5 AMPS	TPI REDD-I HEAT E3215TRPW
EH-3	ENTRY (NORTHEAST)	RECESSED ELECTRIC WALL HEATER	3,413	1,000	120 V., 8.33 AMPS	TPI REDD-I HEAT E3210TRPW
EH-4	ABOVE OFFICE #1	ELECTRIC DUCT HEATER (MIN 150 CFM)		5,000	240 V, 20.8 A OR 208 V, 24.0A	THERMO-AIR TER-8-5-240
NOTES: 1. PROVIDE ELECTRIC HEATERS AS NOTED ABOVE OR APPROVED EQUAL.						



OFFICE ADDITION HVAC PLAN

SCALE: 1/4" = 1'-0"

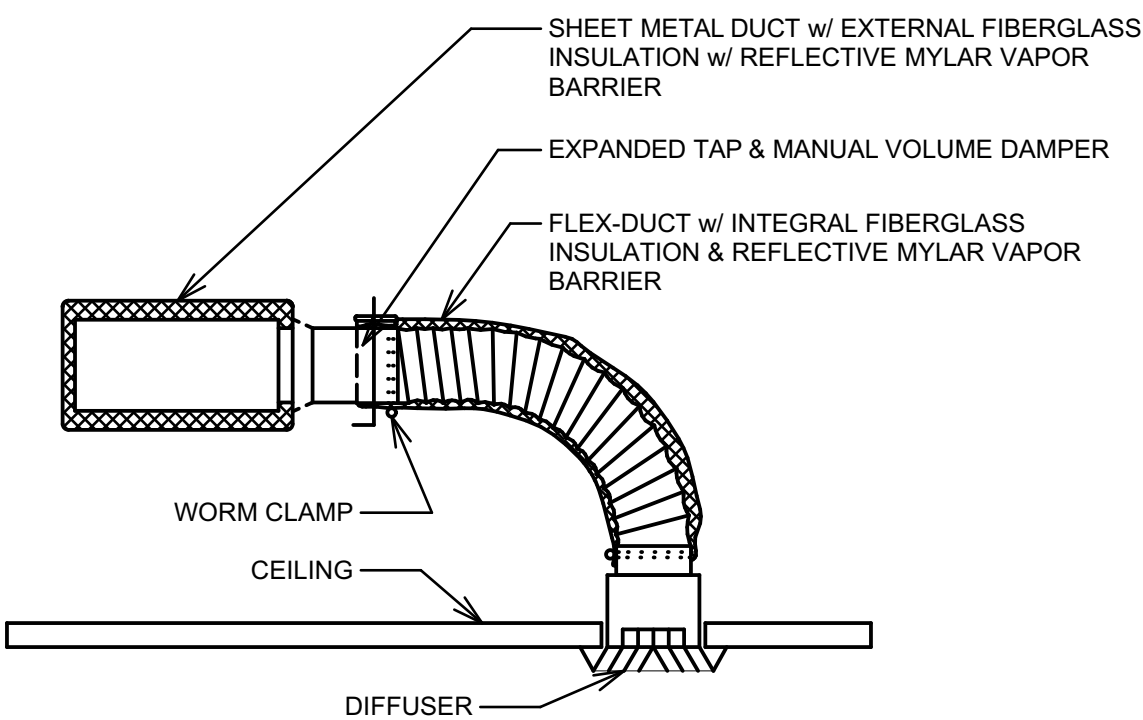
SYMBOLS:

- AIR SUPPLY OR RETURN
- THERMOSTAT
- DUCT (SIZED AS NOTED)
- INSULATED FLEX DUCT
- SUPPLY AIR REGISTER (IN SUSPENDED CEILING)
- RETURN AIR GRILLE (IN SUSPENDED CEILING)
- BALANCING DAMPER

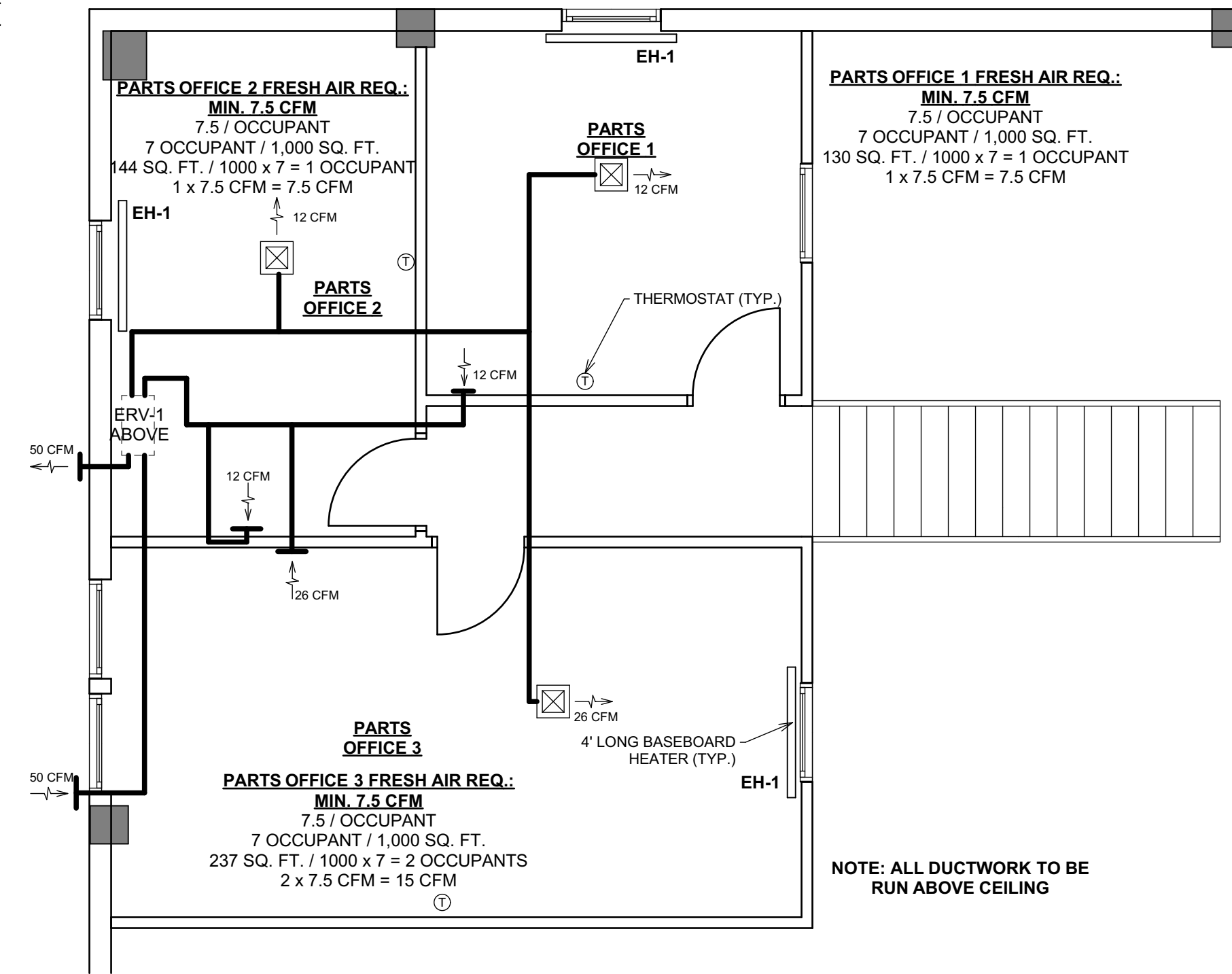
FURNACE & CONDENSER SCHEDULE													
MARK	FURNACE	MOTOR H.P.	BLOWER SPEED	POSITION	ESP	CFM	TONS A/C	ELEC. CHAR.	A/C COIL	CONDENSER	SEER	REFRIG. TYPE	ELEC. CHAR.
	BASED ON									BASED ON			
F-1	GOODMAN GMEC96 0603BNA	1/2	TWO STAGE	HORIZ.	0.5"	1150	3	115 VAC, 60 HZ, SINGLE PHASE MIN AMP: 8 MAX AMP: 15	GOODMAN CHPF3636B6	GOODMAN GSX13 0361E	13	R-410A	208/230 - 1 - 60 MIN AMP: 18.8 MAX AMP: 30
NOTES: 1. FURNACE TO BE HORIZONTAL FLOW LOCATED ABOVE SUSPENDED CEILING, SUPPORT FROM STRUCTURE. 2. F-1 TO HAVE 150 CFM FRESH AIR INTAKE DUCTED TO RETURN AIR. SEE ELECTRIC HEATER SCHEDULE FOR DETAILS ON DUCT HEATER. 3. F-1 APPROX. DIMENSIONS: 29" WIDE x 17 1/2" TALL x 34 1/2" LONG. APPROX. 115 LBS SHIPPING WEIGHT.													

DUCT INSULATION SCHEDULE							
SERVICE	LOCATION						
	OUTSIDE BUILDING ENVELOPE	UNHEATED ATTIC SPACE	ABOVE CEILING BUT BELOW ATTIC	INTERIOR WALL CAVITY OR CHASE	WALL CAVITY OR CHASE ON EXTERIOR WALL	IN GROUND OR UNDER SLAB	EXPOSED IN OCCUPIED SPACE
SUPPLY	R-12	R-8	R-6	R-6	R-6	R-12	NONE
RETURN	R-12	R-8	R-6	R-6	R-6	R-12	NONE
EXHAUST	NONE	R-6	R-6	R-6	R-6	R-6	NONE
FRESH AIR	NONE	R-6	R-6	R-6	R-6	R-6	R-6
NOTES: 1. MINIMUM VALUES FOR INSTALLED INSULATION. PRE-APPLICATION VALUES MAY NEED TO BE HIGHER IN ORDER TO MEET INSTALLED VALUE REQUIREMENTS. 2. CONTIGUOUS VAPOR BARRIER IS REQUIRED ON ALL INSULATED DUCTWORK. 3. ALL DUCTWORK OUTSIDE OF THE BUILDING ENVELOPE MUST BE SEALED WEATHER TIGHT WITH AN APPROVED WEATHER COATING SUCH AS "ALUMAGUARD 60" BY POLYGUARD PRODUCTS.							

GRILLE AND DIFFUSER SCHEDULE		
CFM	BASED ON	MIN. SIZE
SUS. CEILING MOUNTED SUPPLY REGISTER		
75-150	KRUEGER 1400	24" x 24"
SUS. CEILING MOUNTED RETURN		
100 - 600	KRUEGER EGS - EGG CRATE	24" x 24"



TYPICAL FLEXIBLE DUCT CONNECTION
NOT TO SCALE



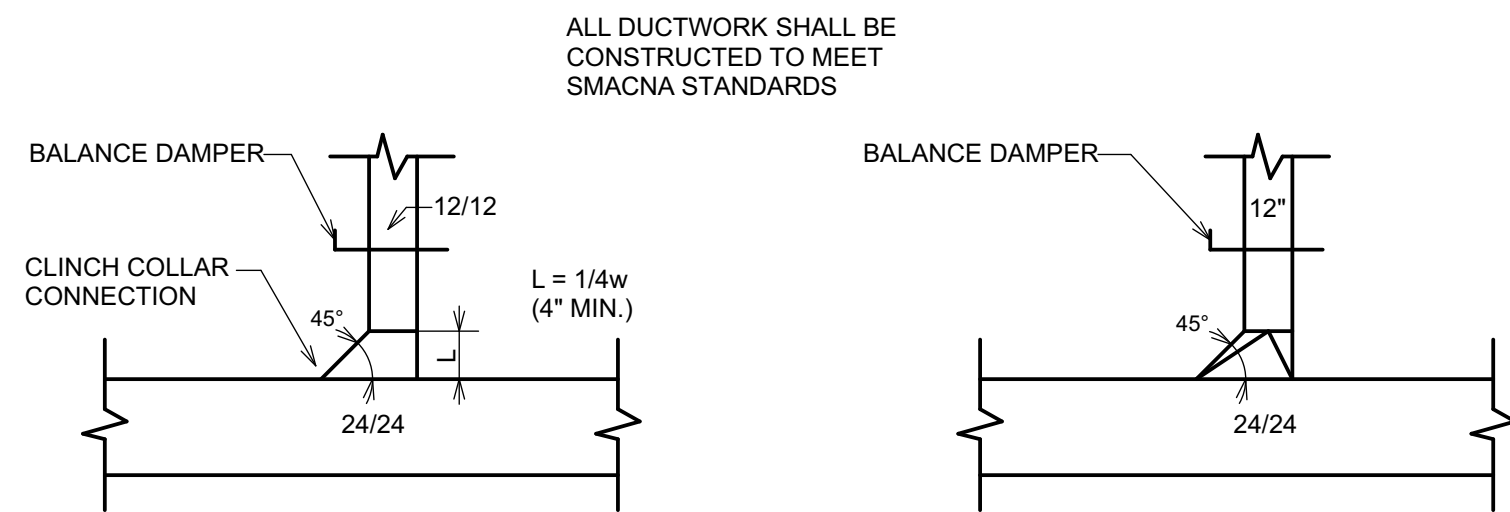
PARTS OFFICE HVAC PLAN

SCALE: 1/4" = 1'-0"



RECTANGULAR TO RECTANGULAR

RECTANGULAR TO ROUND



RECTANGULAR TO RECTANGULAR BRANCH

RECTANGULAR TO ROUND BRANCH

TYPICAL DUCTWORK DETAILS
NO SCALE

FACILITY BUILDING PLANS FOR:
ASHLAND INDUSTRIES

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HVAC PLANS

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APPROVED:

REVISIONS:

DESIGNED: **S.G.S.**

DRAWN: **T.L.P.**

SCALE: **AS NOTED**

DATE: **JAN., 2019**

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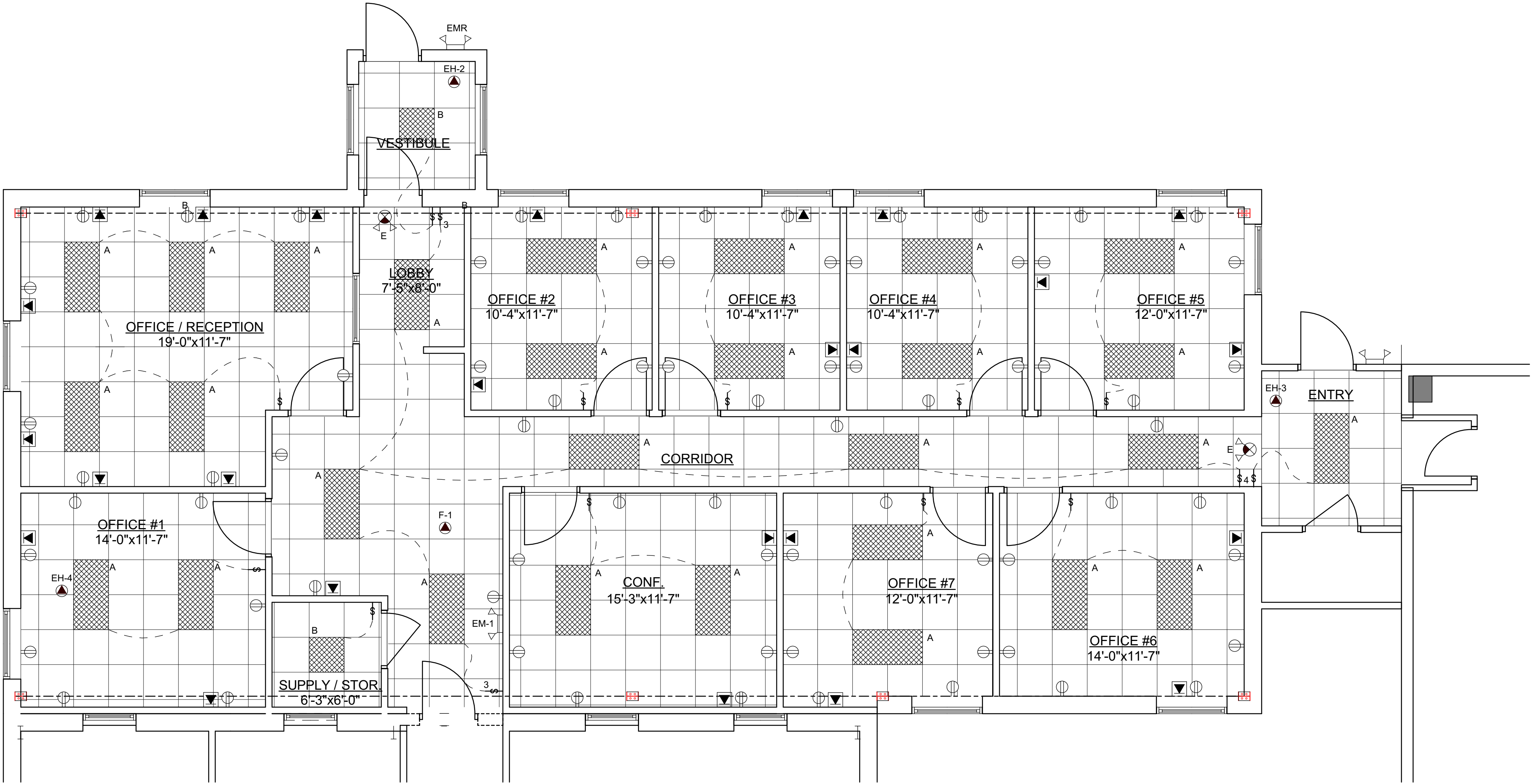
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ELECTRICAL SYMBOLS

-  SWITCH
-  THREE-WAY SWITCH
-  FOUR-WAY SWITCH
-  WALL MOUNTED, SINGLE SWITCH, w/ MOTION SENSOR
-  DUPLEX RECEPTACLE
-  220V RECEPTACLE
-  GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) RECEPTACLE
-  WEATHERPROOF GFI RECEPTACLE
-  SPECIAL PURPOSE RECEPTACLE
-  TELEPHONE
-  COMPUTER DATA JACK
-  TELEVISION JACK
-  CEILING MOUNTED LIGHT FIXTURE
-  WALL MOUNTED LIGHT FIXTURE
-  RECESSED CAN LIGHT FIXTURE
-  LED LIGHT FIXTURE
-  EXHAUST FAN
-  EXIT LIGHT W/ DUAL REMOTE HEADS
-  EMERGENCY DUAL REMOTE HEADS
-  OCCUPANCY SENSOR
-  PHOTOCELL SENSOR
-  TIME CLOCK
-  SMOKE DETECTOR (INTERCONNECTED AND HARD WIRED)
-  C02 DETECTOR



OFFICE ADDITION ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

LIGHTING FIXTURE SCHEDULE				
SYM	DESCRIPTION	MANUFACTURER / MODEL	LAMPS	
			NO.	WATTS
A	2x4 LED EDGE LIT PANEL	SYLVANIA PANELF1A032UNVD84024GWH	LED	32
B	2x2 LED EDGE LIT PANEL	SYLVANIA PANELF1A032UNV84022GWH	LED	32
E	SINGLE/DUAL FACED PLASTIC EXIT LIGHT w/ BATTERY, AND DUAL LAMP EM FIXTURE w/ REMOTE CAPABILITY WHEN CONNECTED TO EM/R	LITHONIA ECR LED HO M6	2	5.4W LED
EM-1	DUAL LAMP EM-1 FIXTURE	LITHONIA EU2 LED M12	2	1.8W LED
EM/R	REMOTE LIGHTING TWIN HEADS WET LOCATION LISTED	LITHONIA ELA AFNR FWD	2	10.8W LED

APPROVED:

REVISIONS:

DESIGNED: S.G.S.

DRAWN: T.L.P.

SCALE: AS NOTED

DATE: JAN., 2019

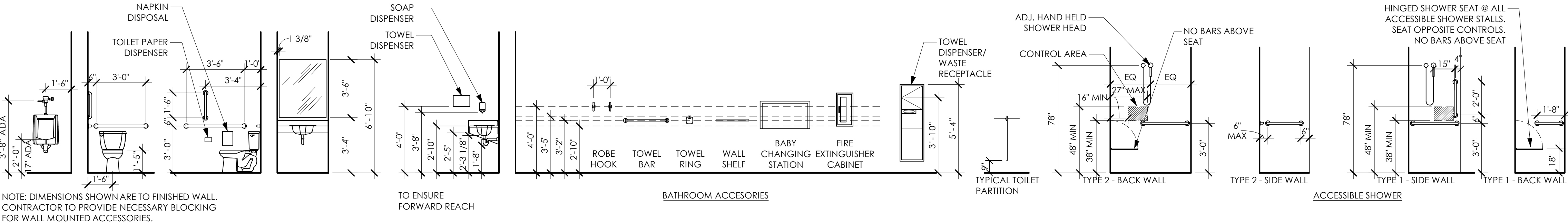
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E-1

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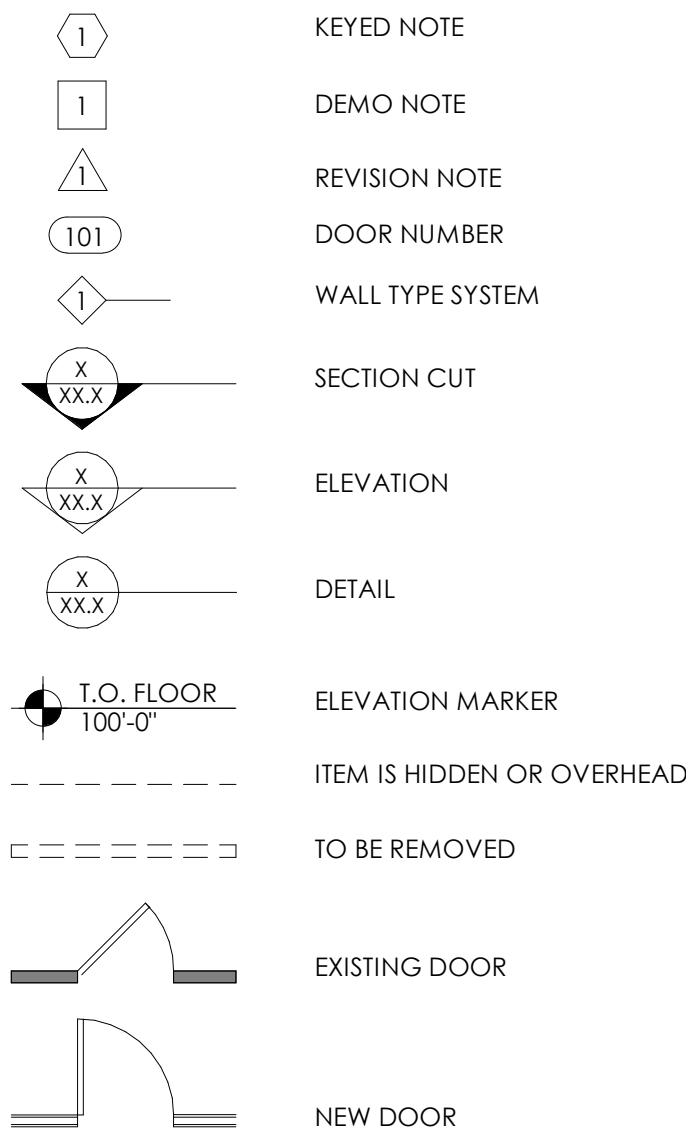


MOUNTING HEIGHTS

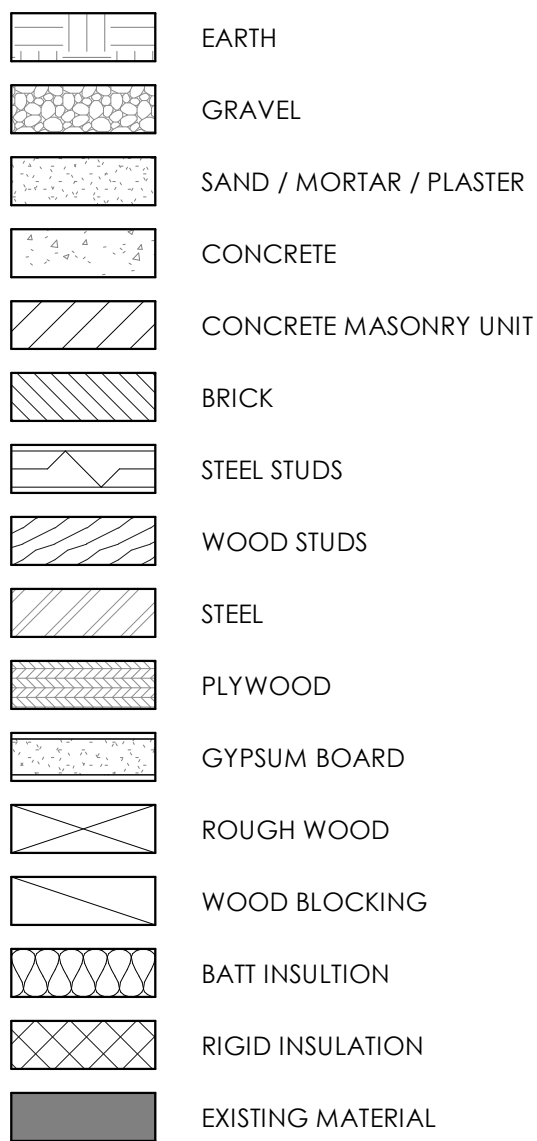


RESTAURANT REMODEL

SYMBOL LEGEND



MATERIAL LEGEND



PROJECT TEAM

ARCHITECT
AROLA ARCHITECTURE STUDIO, LLC
205 WEST FIRST STREET
DULUTH, MN 55802
218.740.5219 - www.arolaarch.com

ENGINEER

CONTRACTOR

OWNER
ISLAND INVESTMENT INC.
728 GARFIELD AVE.
DULUTH, MN 55802
218-606-1075

SHEET INDEX

TITLE	TITLE SHEET
ARCHITECTURAL	
A0.0	LIFE SAFETY PLAN
A1.0	DEMOLITION PLAN - LOWER LEVEL
A1.1	DEMOLITION PLAN - LEVEL 1
A2.0	FLOOR PLAN - LOWER LEVEL
A2.1	FLOOR PLAN - LEVEL 1
A5.0	SCHEDULES, DOOR TYPES & WINDOW TYPES
A6.0	ENLARGED PLANS/ ELEVATIONS
A8.0	INTERIOR ELEVATIONS
A8.1	INTERIOR ELEVATIONS
A9.0	DEMOLITION PLAN - LOWER LEVEL - RCP
A9.1	RCP - LOWER LEVEL
A9.3	RCP - LEVEL 1

**Conditionally
APPROVED**
DEPT. OF SAFETY AND PROFESSIONAL
SERVICES
DIVISION OF INDUSTRY SERVICES

SEE CORRESPONDENCE

Regulated Object: Building
Project Type: Alterations- Level 2
Transaction ID: 3198240
Date: 2-5-19



Hotel Chequamegon
101 Lake Shore Dr W
Ashland, WI 54806

ISSUE DATE
1/31/2019

PROJECT NO.
1817

REVISIONS

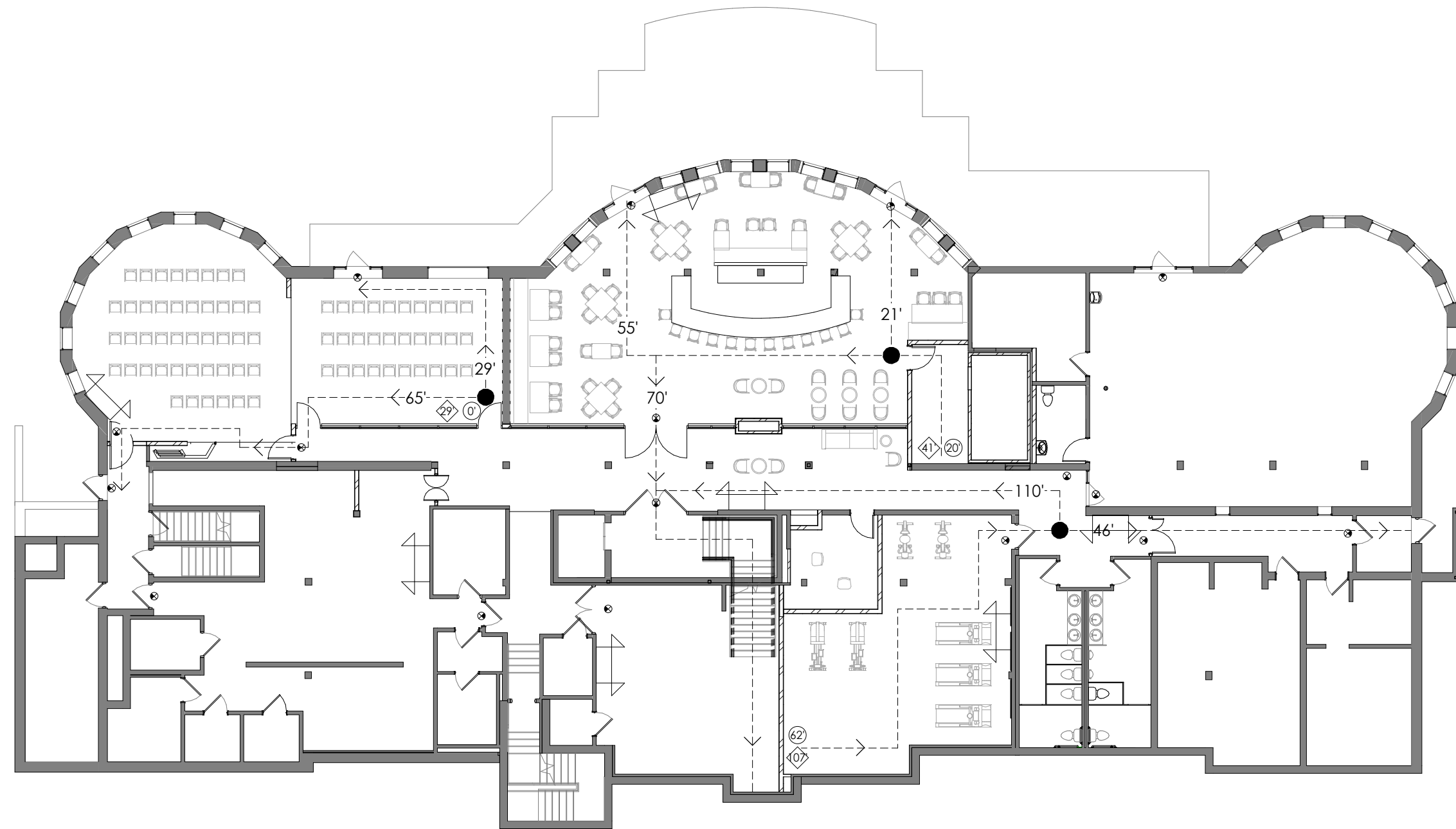
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TITLE

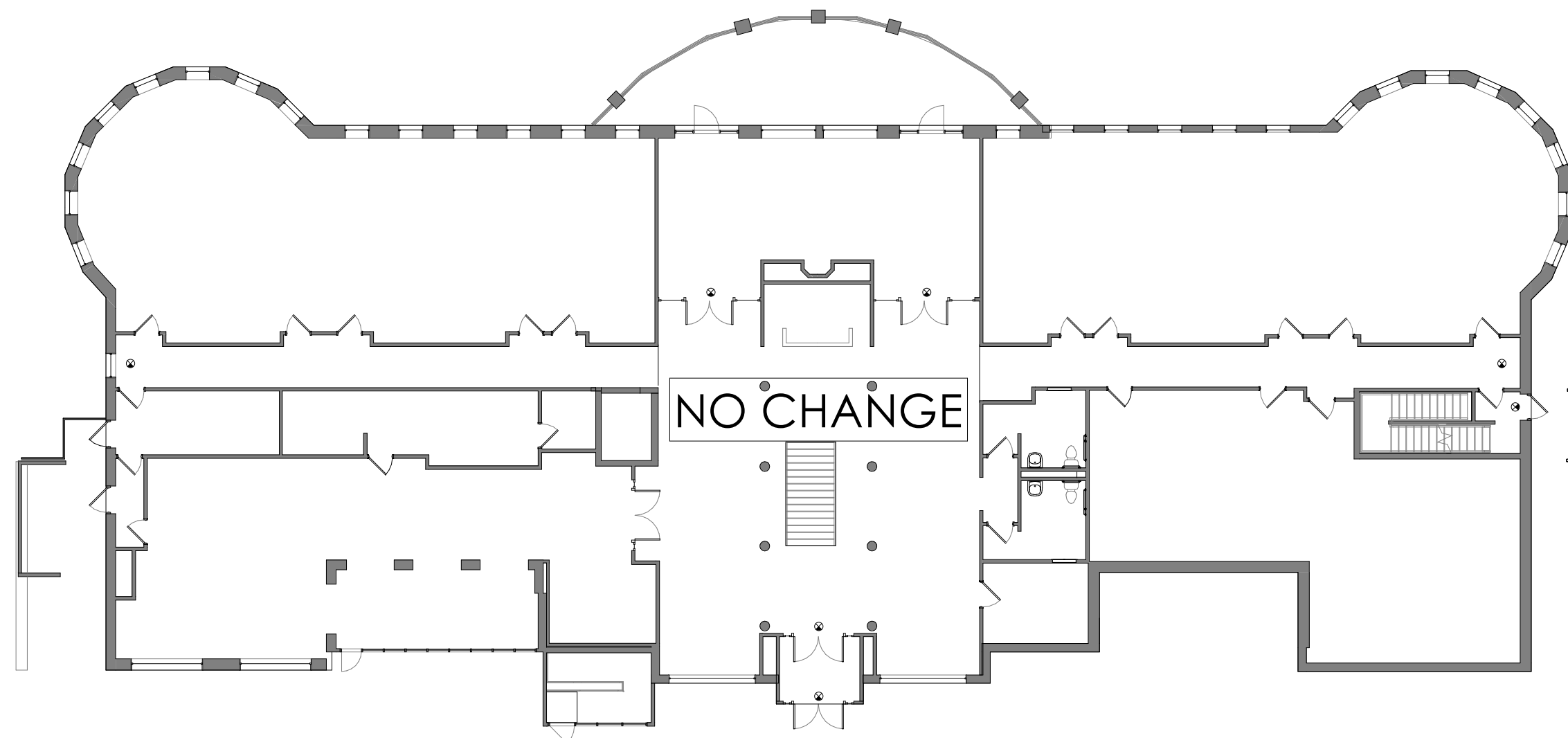
	EXIT ACCESS TRAVEL DISTANCE (SHORTEST DISTANCE)
	COMMON PATH OF EGRESS TRAVEL
	COMMON PATH OF EGRESS TERMINATION POINT
	PATH OF TRAVEL WITH DIRECTION AND DISTANCE
	EXIT SIGNS
	MANEUVERING CLEARANCE
	FIRE EXTINGUISHER
	30 MIN FIRE-RESISTIVE RATED CONSTRUCTION
	1 HOUR FIRE-RESISTIVE RATED CONSTRUCTION
	2 HOUR FIRE-RESISTIVE RATED CONSTRUCTION
	FIRE RATED DOOR/FRAME ASSEMBLY (NUMBER INDICATES RATING IN MINUTES)
	EMERGENCY LIGHT

CODES USED:		2015 INTERNATIONAL BUILDING CODE							
CLASSIFICATION OF WORK:		ALTERATION LEVEL 2							
OCCUPANCY:		GROUP R-1	HOTEL (TRANSIENT)						
		GROUP A-2	RESTAURANT						
CONSTRUCTION TYPE:		SECTION 602	TYPE III-B						
ALLOWABLE AREA:		TABLE 503	GROUP	AREA	FRONTAGE INCREASE	# OF SIDES OPEN	SPRINKLER INCREASE	MULTI-STORY	MAXIMUM AREA / LEVEL
			R-1	16,000 SF	12,000 SF	4.0	16,000 SF	4	44,000 SF
			A-2	9,500 SF	7,125 SF	4.0	9,500 SF	2	26,125 SF
ACTUAL AREA:			GROUP	LOWER LEVEL	1st FLOOR	2nd FLOOR	3rd FLOOR	4th FLOOR	TOTAL
			R-1	8,075 SF	12,290 SF	10,000 SF	10,000 SF	0 SF	40,365 SF
			A-2	4,215 SF	0 SF	0 SF	0 SF	0 SF	4,215 SF
			BUILDING TOTAL						44,580 SF
ALLOWABLE HEIGHT:		TABLE 503	GROUP	HEIGHT	SPRINKLER INCREASE	TOTAL	ACTUAL HEIGHT		
		SECTION 504	R-1	55 FT	20 FT	75 FT	NOT GREATER THAN 60 FT FOR R-1		
MIXED OCCUPANCY:		TABLE 508.3	YES						
OCCUPANCY SEPARATION:		TABLE 508.3.3	NON-SEPARATED						
AUTOMATIC FIRE PROTECTION:		SECTION 903	YES FULLY SPRINKLED						
FIRE RESISTIVE REQUIREMENTS:		TABLE 601	BUILDING ELEMENTS			STRUCTURAL FRAME		0 HOUR	
						BEARING WALLS (EXT.)		2 HOUR	
						BEARING WALLS (INT.)		0 HOUR	
						NONBEARING WALLS (EXT.)		TABLE 602	
						NONBEARING WALLS (INT.)		0 HOUR	
						FLOOR CONSTRUCTION		0 HOUR	
						ROOF CONSTRUCTION		0 HOUR	
		TABLE 602	EXTERIOR WALLS			<5 FEET		1 HOUR	
						5 FEET TO <10 FEET		1 HOUR	
						10 FEET TO < 30 FEET		1 HOUR	
						> 30 FEET		0 HOUR	

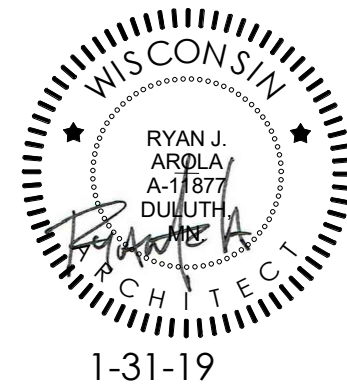
OCCUPANCY:	A-2		RESTAURANT REMODEL					
PROJECT AREA:	4,215 SF							
OCCUPANT LOAD:	TABLE 1004.1.1	GROUP	USE	AREA	SF/OCC.	OCCUPANT LOAD		
		A-2	DINING	1,365 SF	15 SF	91 OCCUPANTS		
		A-2	BAR	1,325 SF	15 SF	88 OCCUPANTS		
		A-2	KITCHEN	1,525 SF	200 SF	8 OCCUPANTS		
		TOTAL OCCUPANT LOAD				187 OCCUPANTS		
COMMON PATH OF EGRESS:	SECTION 1014.3	75 FT						
EXIT ACCESS TRAVEL DISTANCE:	TABLE 1016.2	200 FT						
NUMBER OF EXITS:	TABLE 1021.2(2)	2 EXITS REQUIRED						
SANITATION REQUIREMENTS:	TABLE 2902.1	GROUP	OCC. LOAD	WATER CLOSETS	LAVATORIES	BATHTUBS / SHOWERS	DRINKING FOUNTAINS	SERVICE SINK
		A-2	91	2	2	0	0	1
		A-2 (BAR)	88	2	2	0	0	0
		FIXTURES PROVIDED		4	6	0	0	0



② LIFE SAFETY PLAN - LOWER LEVEL
1/16" = 1'-0"



① LIFE SAFETY PLAN - LEVEL 1
1/16" = 1'-0"



CONSULTANTS

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1817

SHEET NO.

A0.0

GENERAL NOTES

1. DIMENSIONS ARE FROM (UNLESS NOTED OTHERWISE)

EXISTING CONSTRUCTION -OUTSIDE FACE

NEW CONSTRUCTION -FACE OF STUD/BLOCK

PLUMBING FIXTURES -CENTER LINE

DOORS -CENTER LINE

WINDOWS -CENTER LINE
1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DESCRIPENCIES.

2. MECHANICAL AND PLUMBING DESIGN BY OTHERS. ALL MECHANICAL AND PLUMBING TO MEETING MN ENERGY DESIGN CODE REQUIREMENTS.

3. ELECTRICAL DESIGN BY OTHERS. ALL ELECTRICAL AND LIGHTING TO MEET MN ENERGY DESIGN CODE REQUIREMENTS. ALL EXTERIOR LIGHTING TO MEET DULUTH UDC REQUIREMENTS FOR LIGHT POLLUTION.

4. SPRINKLER SYSTEM DESIGN BY OTHERS.

5. FIRE ALARM SYSTEM DESIGN BY OTHERS.

6. LANDSCAPE DESIGN BY OTHERS.

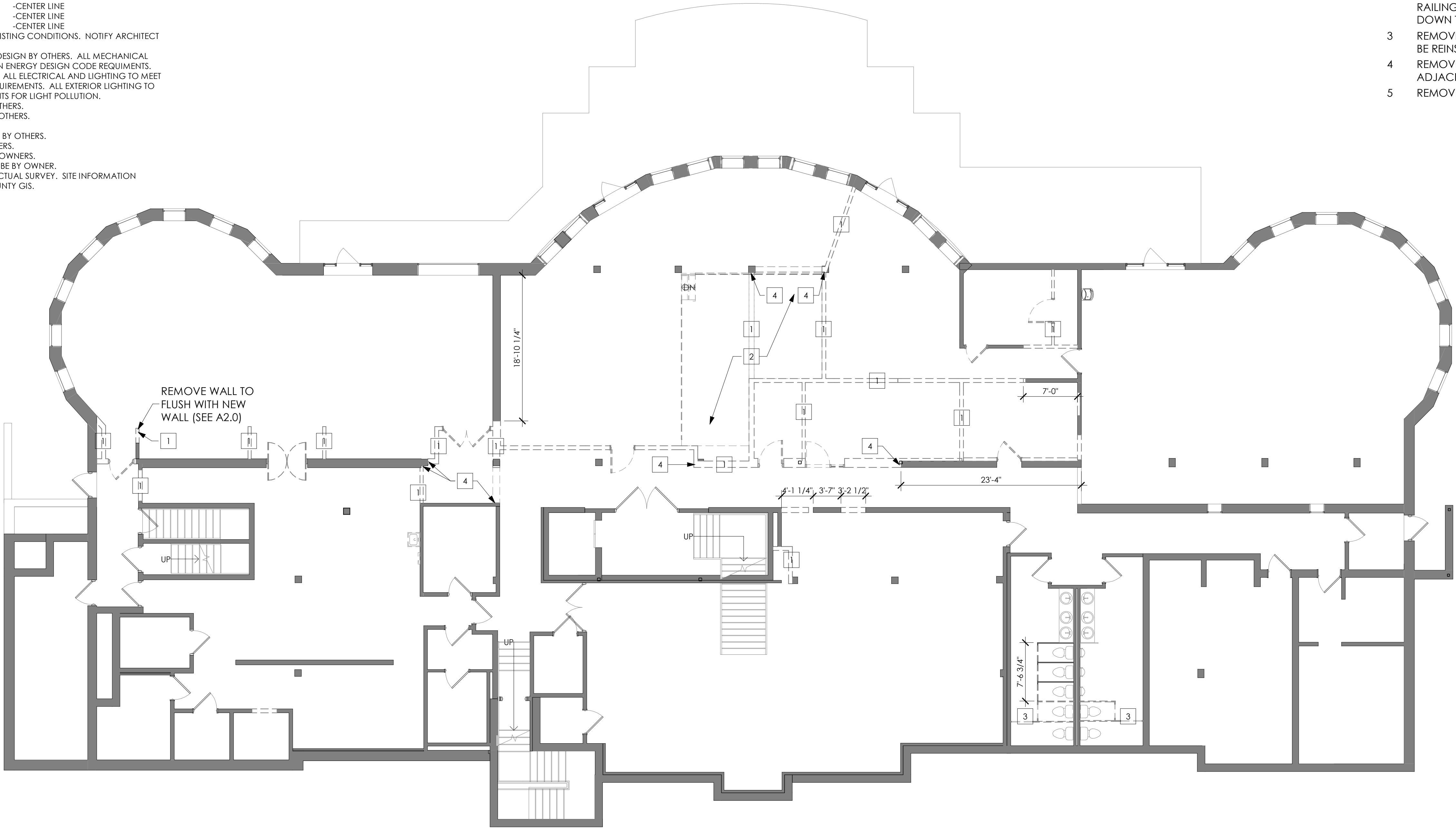
7. FURNITURE AND FIXTURE DESIGN BY OTHERS.

8. REFRIGERATION DESIGN BY OTHERS.

9. INTERIOR FINISH SELECTIONS BY OWNERS.

10. EXTERIOR FINISH SELECTIONS TO BE BY OWNER.

11. SITE INFORMATION IS NOT AN ACTUAL SURVEY. SITE INFORMATION OBTAINED FROM ASHLAND COUNTY GIS.



1 DEMOLITION PLAN - LOWER LEVEL
1/8" = 1'-0"

DEMOLITION KEY NOTES 1

- 1

REMOVE WALL.
- 2

REMOVE RAISED FLOOR, SUPPORT, BEAMS, RAILINGS, STAIR, AND ASSOCIATED MATERIALS, DOWN TO EXISTING FLOOR BENEATH.
- 3

REMOVE AND SALVAGE TOILET PARTITIONS TO BE REINSTALLED.
- 4

REMOVE WALL FLUSH WITH EXISTING ADJACENT WALL/COLUMN.
- 5

REMOVE TOILET PARTITIONS/ URINAL SCREENS.



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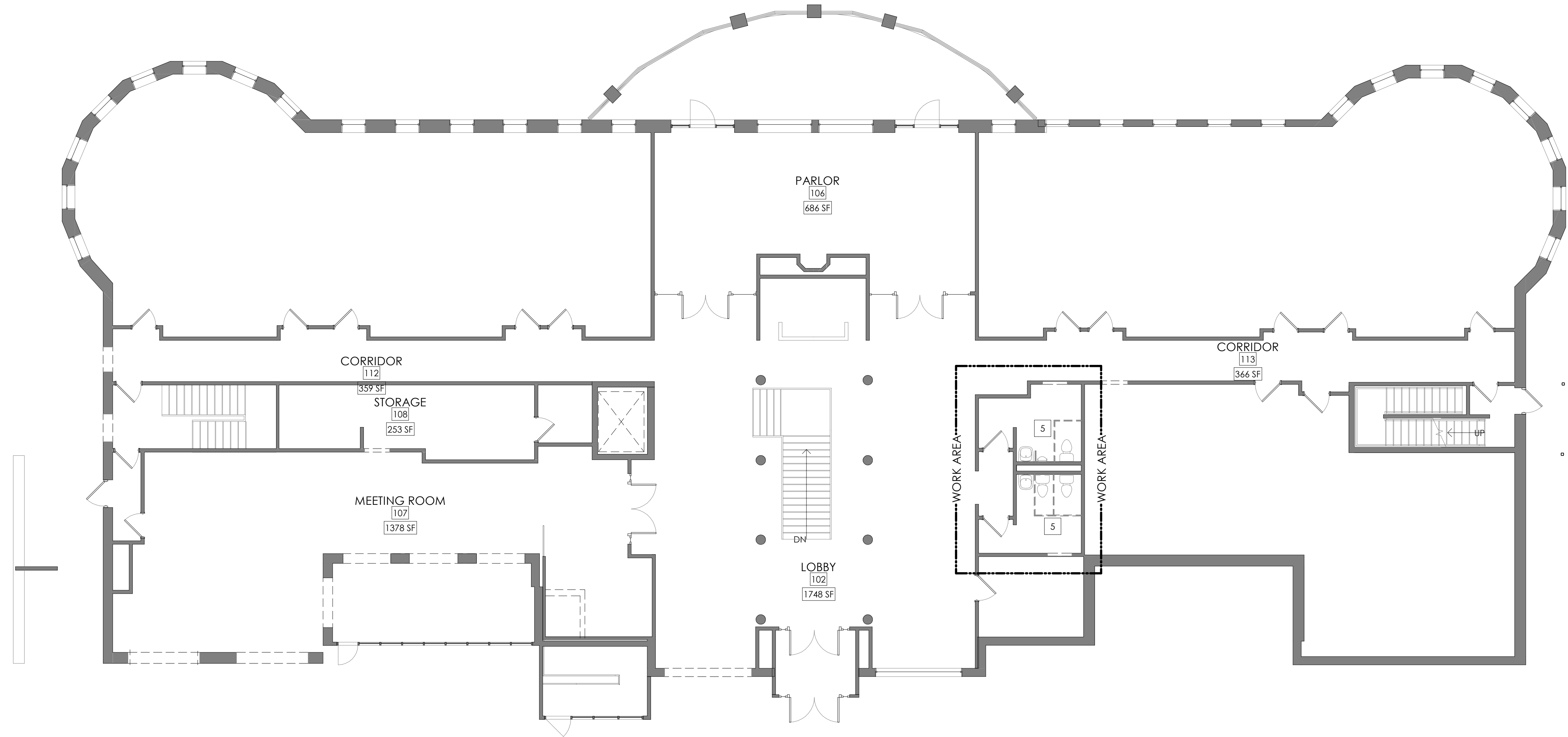
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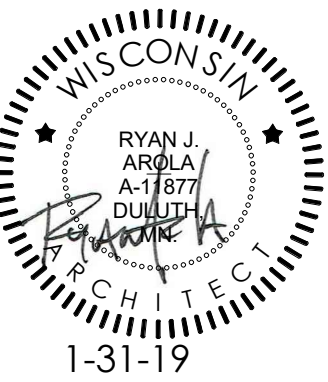
SHEET NO.

A1.0



① DEMOLITION PLAN - LEVEL 1
1/8" = 1'-0"

- DEMOLITION KEY NOTES**
- 1 REMOVE WALL.
 - 2 REMOVE RAISED FLOOR, SUPPORT, BEAMS, RAILINGS, STAIR, AND ASSOCIATED MATERIALS, DOWN TO EXISTING FLOOR BENEATH.
 - 3 REMOVE AND SALVAGE TOILET PARTITIONS TO BE REINSTALLED.
 - 4 REMOVE WALL FLUSH WITH EXISTING ADJACENT WALL/COLUMN.
 - 5 REMOVE TOILET PARTITIONS/ URINAL SCREENS.



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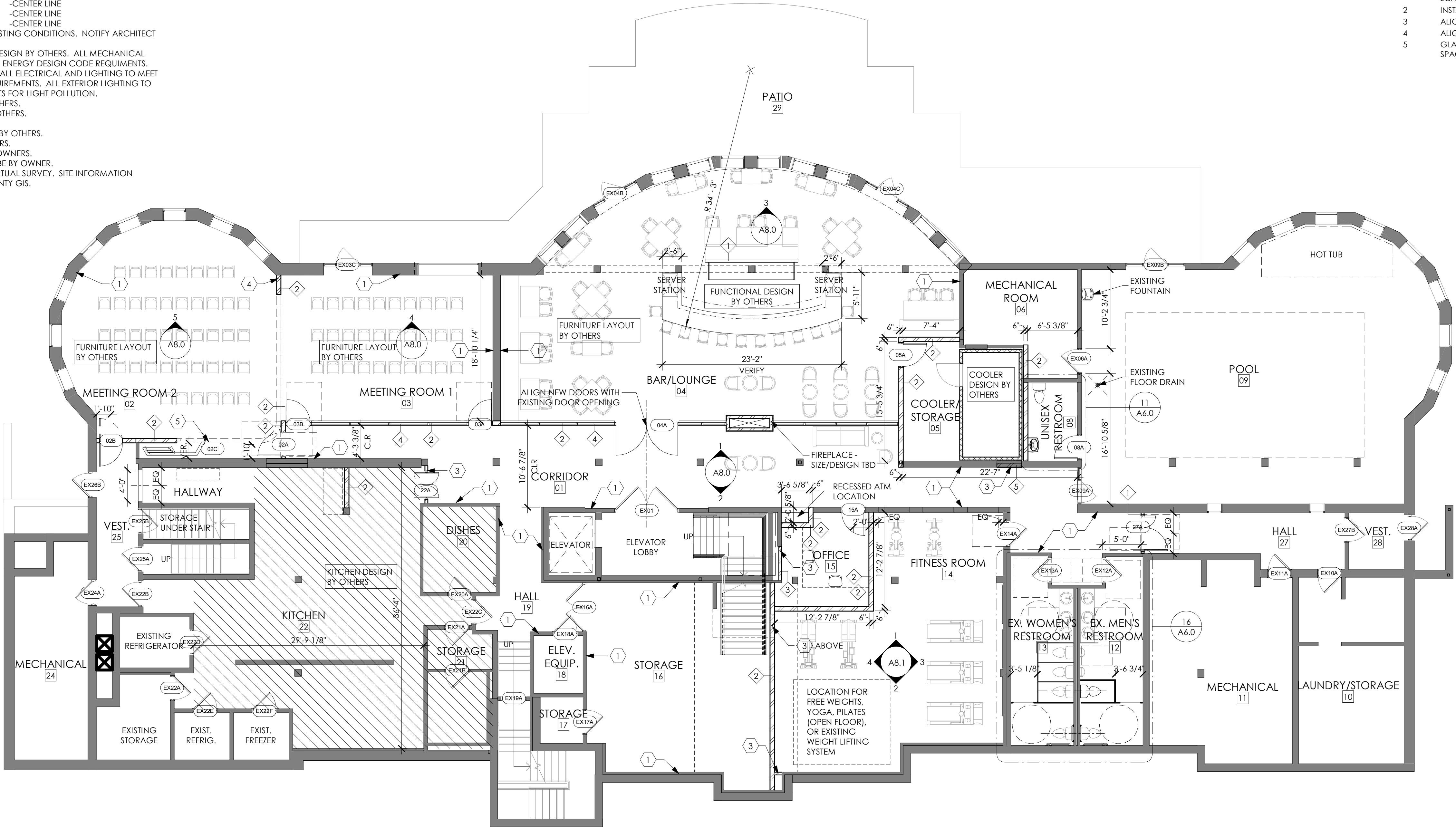
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A1.1

- GENERAL NOTES**
- DIMENSIONS ARE FROM (UNLESS NOTED OTHERWISE)
 - EXISTING CONSTRUCTION -OUTSIDE FACE
 - NEW CONSTRUCTION -FACE OF STUD/BLOCK
 - PLUMBING FIXTURES -CENTER LINE
 - DOORS -CENTER LINE
 - WINDOWS -CENTER LINE
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DESCRIPENCIES.
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 - SPRINKLER SYSTEM DESIGN BY OTHERS.
 - FIRE ALARM SYSTEM DESIGN BY OTHERS.
 - LANDSCAPE DESIGN BY OTHERS.
 - FURNITURE AND FIXTURE DESIGN BY OTHERS.
 - REFRIGERATION DESIGN BY OTHERS.
 - INTERIOR FINISH SELECTIONS BY OWNERS.
 - EXTERIOR FINISH SELECTIONS TO BE BY OWNER.
 - SITE INFORMATION IS NOT AN ACTUAL SURVEY. SITE INFORMATION OBTAINED FROM ASHLAND COUNTY GIS.

- FLOOR PLAN KEYED NOTES**
- REPAIR, PATCH, AND PAINT EXISTING WALL/CEILING. SEE FINISH SCHEDULE (BY OTHERS).
 - INSTALL SALVAGED TOILET PARTITION WALL.
 - ALIGN WALL WITH EXISTING WALL.
 - ALIGN WALL WITH CORNER.
 - GLASS, MOVABLE WALL & TRACK, DESIGN TBD, STACKING SPACE REQUIRED TBD.



1 FLOOR PLAN - LOWER LEVEL
1/8" = 1'-0"



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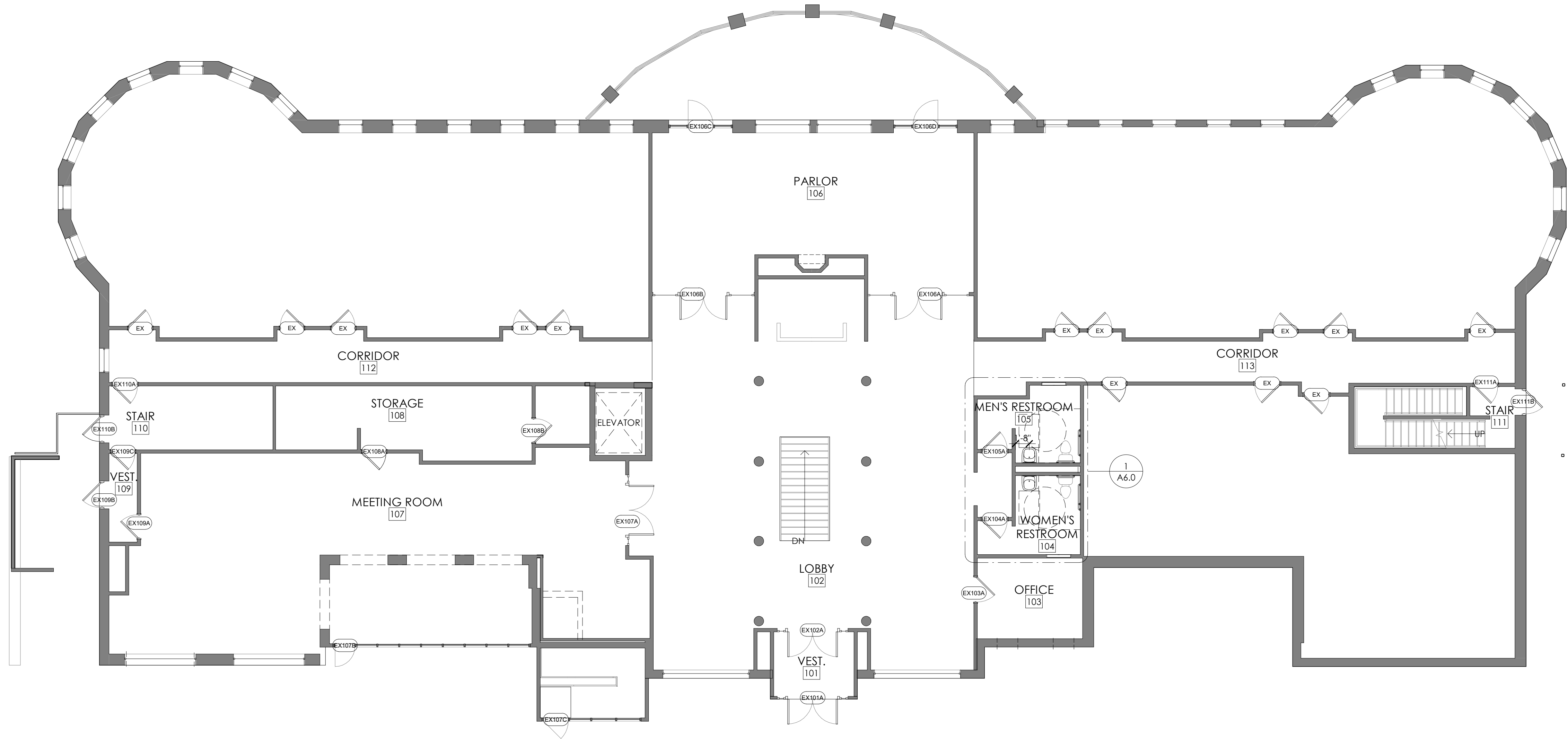
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A2.0



1 FLOOR PLAN - LEVEL 1
1/8" = 1'-0"

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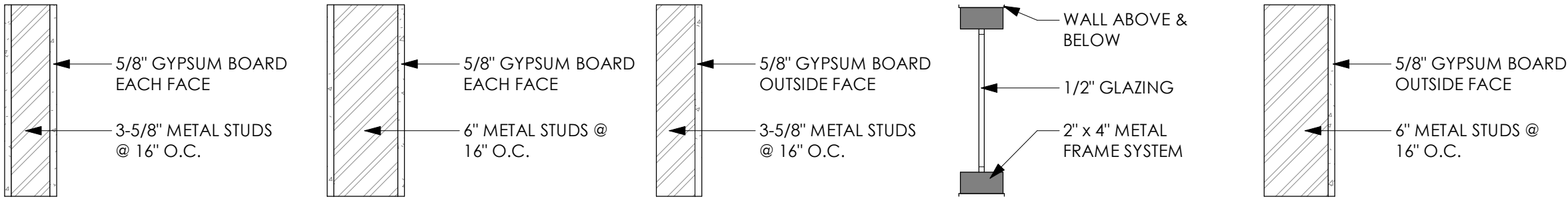
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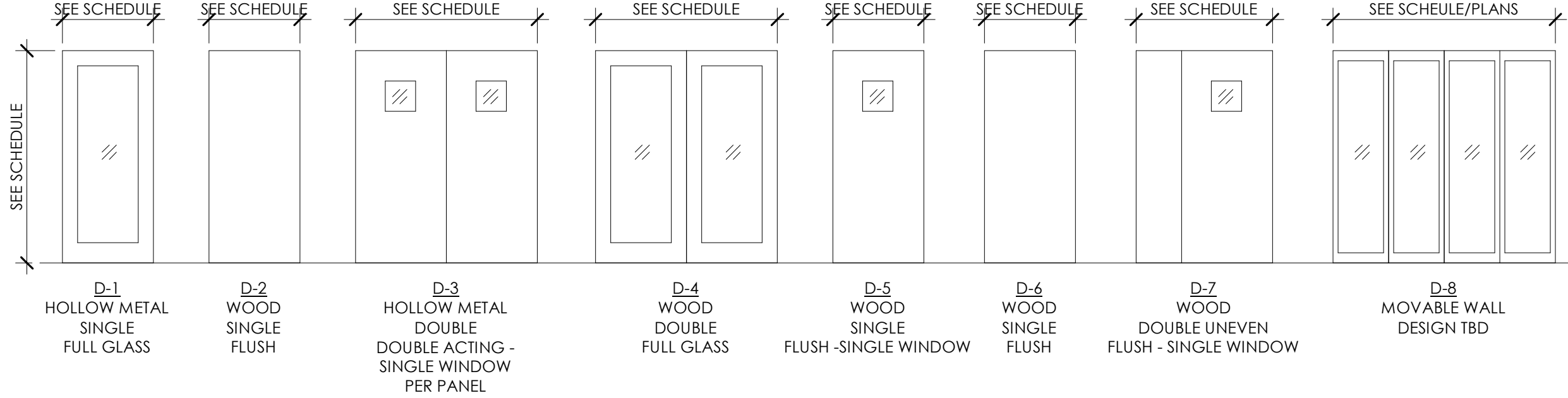
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DOOR SCHEDULE							
DOOR NO.	WIDTH	HEIGHT	DOOR TYPE	DOOR FINISH	FRAME TYPE	FRAME FINISH	COMMENTS
LOWER LEVEL							
02A	3' - 0"	8' - 0"	D1	PREFINISHED	HM	PREFINISHED	PAINT/STAIN TO MATCH EXISTING
02B	3' - 0"	7' - 0"	D5	STAIN	HM	PAINT	STAIN TO MATCH EXISTING
02C	14' - 0"	10' - 0"	D8				STYLE TBD
03A	3' - 0"	7' - 11"	D1	PREFINISHED	HM	PREFINISHED	PAINT/STAIN TO MATCH EXISTING
03B	3' - 0"	7' - 11"	D1	PREFINISHED	HM	PREFINISHED	PAINT/STAIN TO MATCH EXISTING
04A	8' - 0"	7' - 11"	D4	STAIN	HM	PAINT	PAINT/STAIN TO MATCH EXISTING
05A	3' - 0"	7' - 0"	D2	STAIN	HM	PAINT	STAIN TO MATCH EXISTING
08A	3' - 0"	7' - 0"	D6	PAINT	HM	PAINT	PAINT TO MATCH EXISTING
15A	3' - 0"	7' - 0"	D2	STAIN	HM	PAINT	STAIN TO MATCH EXISTING
22A	3' - 4"	7' - 0"	D3	PAINT	HM	PAINT	PAINT/STAIN TO MATCH EXISTING
27A	4' - 6"	7' - 0"	D7	PAINT	HM	PAINT	PAINT/STAIN TO MATCH EXISTING

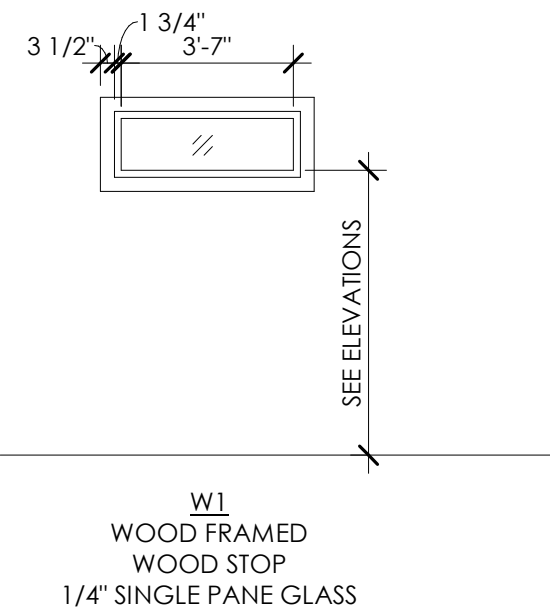


WALL TYPE 1 WALL TYPE 2 WALL TYPE 3 WALL TYPE 4 WALL TYPE 5

WALL TYPES
1" = 1'-0"



DOOR TYPES
1/4" = 1'-0"



WINDOW TYPES
1/4" = 1'-0"



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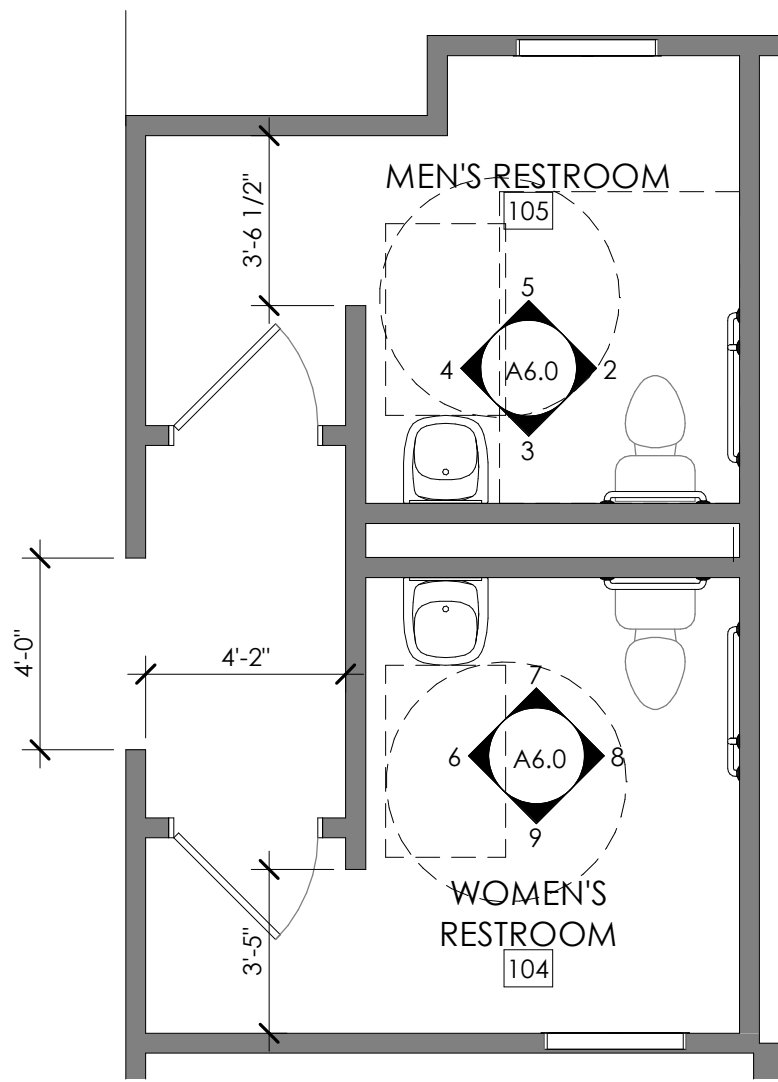
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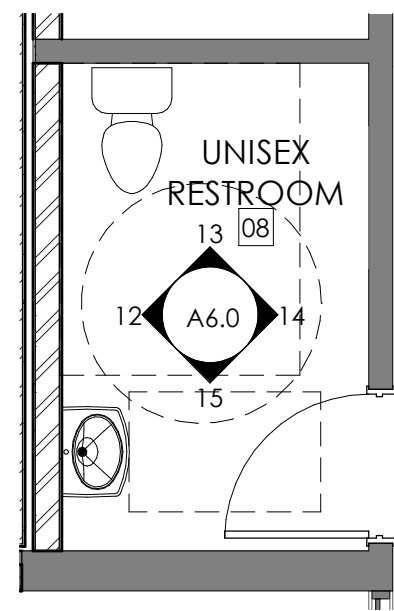
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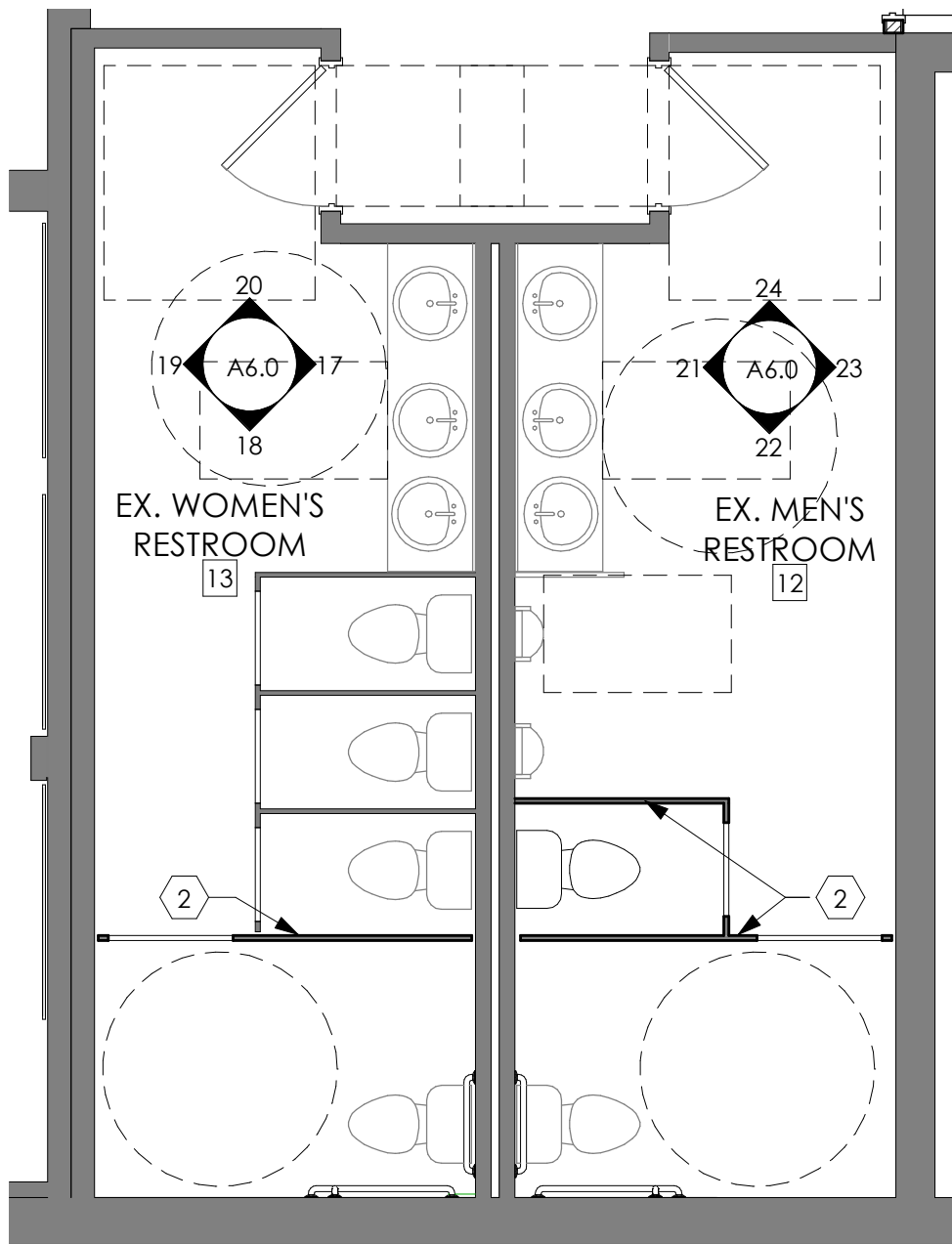
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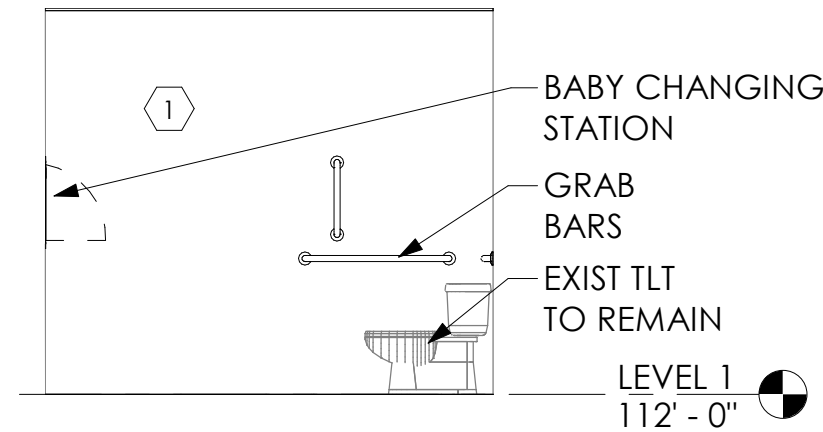
1 ENLARGED PLAN - LEVEL 1 - MEN & WOMEN RESTROOM
1/4" = 1'-0"



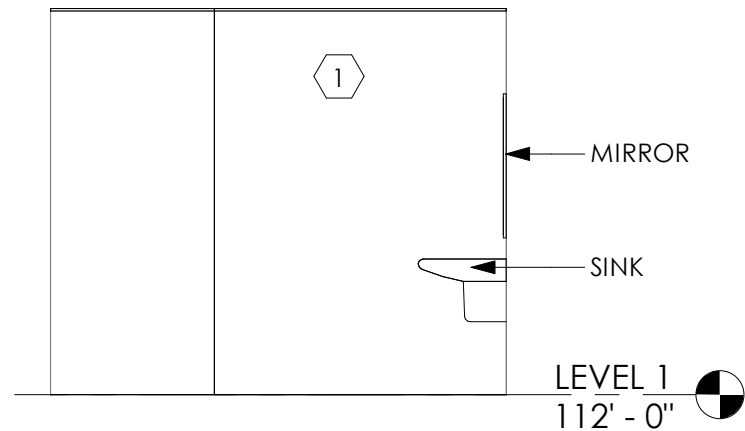
11 ENLARGED PLAN - LOWER LEVEL - UNISEX RESTROOM
1/4" = 1'-0"



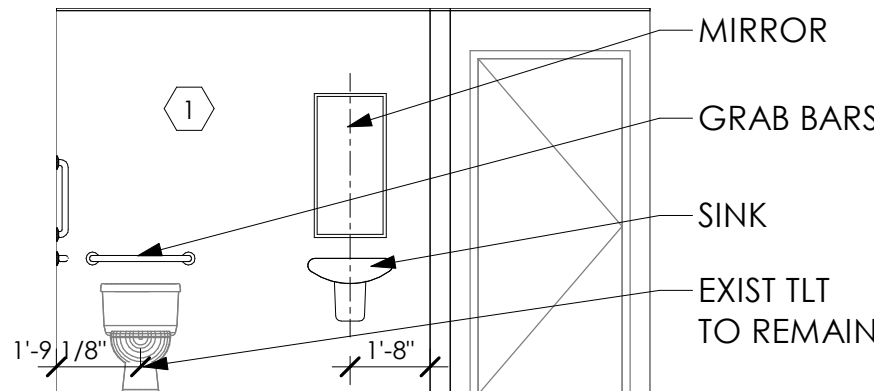
16 LOWER LEVEL - MEN'S & WOMEN'S EXISTING RR
1/4" = 1'-0"



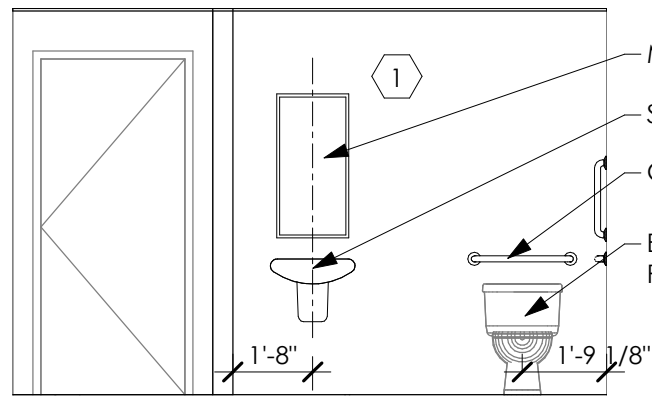
2 LEVEL 1 - MEN'S RESTROOM - EAST
1/4" = 1'-0"



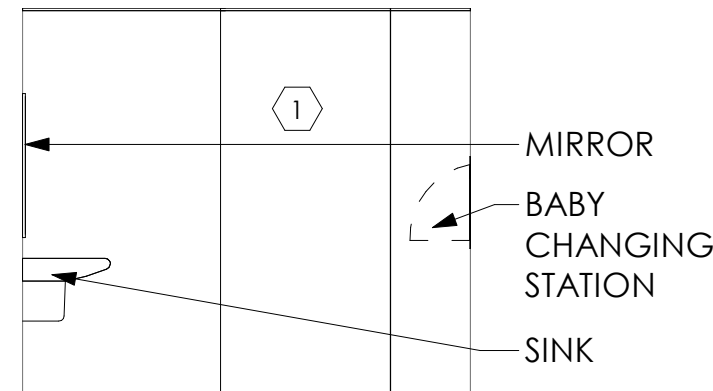
6 LEVEL 1 - WOMEN'S RESTROOM - WEST
1/4" = 1'-0"



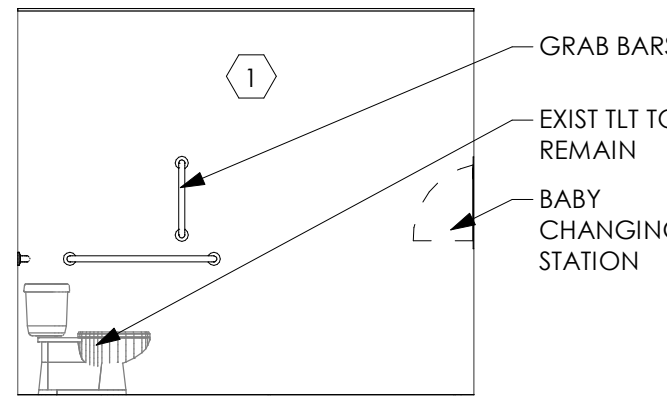
3 LEVEL 1 - MEN'S RESTROOM - SOUTH
1/4" = 1'-0"



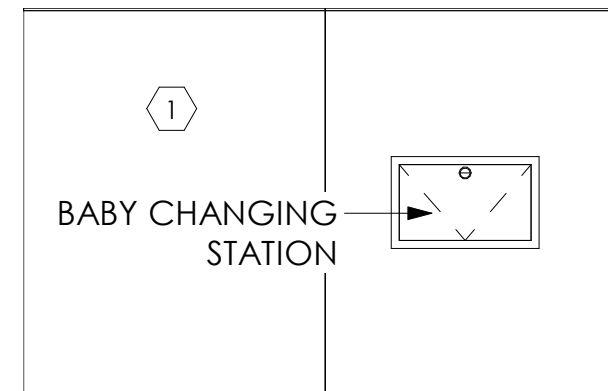
7 LEVEL 1 - WOMEN'S RESTROOM - NORTH
1/4" = 1'-0"



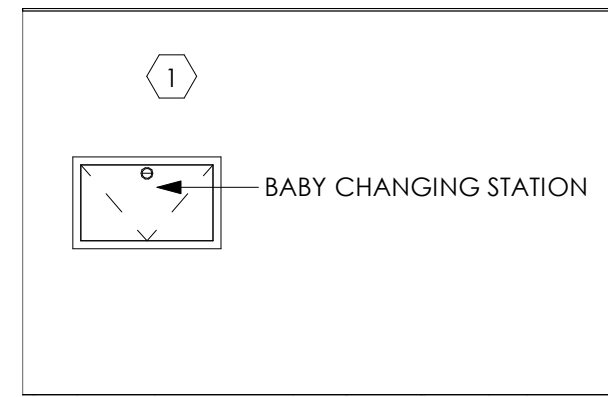
4 LEVEL 1 - MEN'S RESTROOM - WEST
1/4" = 1'-0"



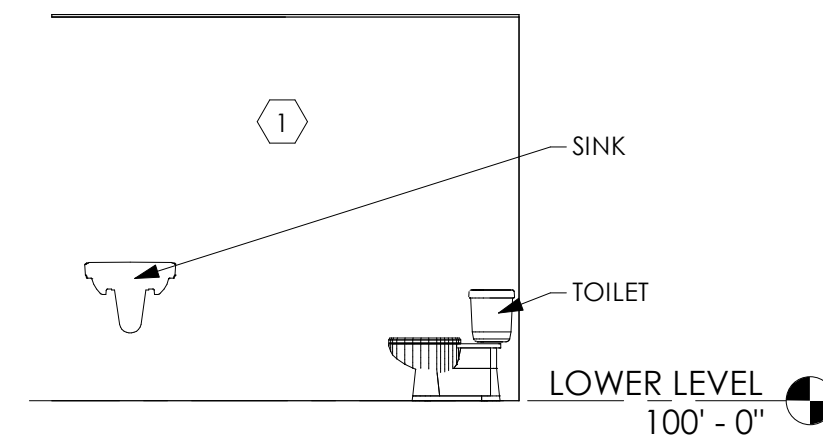
8 LEVEL 1 - WOMEN'S RESTROOM - EAST
1/4" = 1'-0"



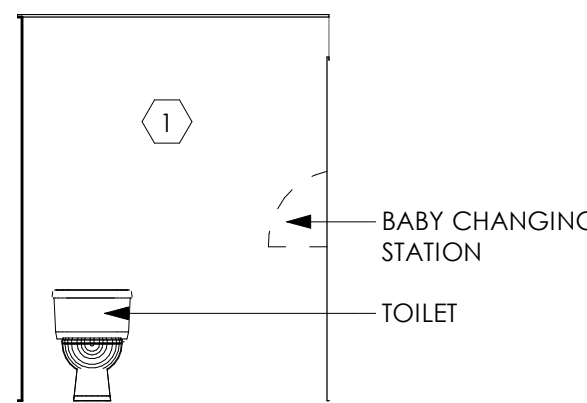
5 LEVEL 1 - MEN'S RESTROOM - NORTH
1/4" = 1'-0"



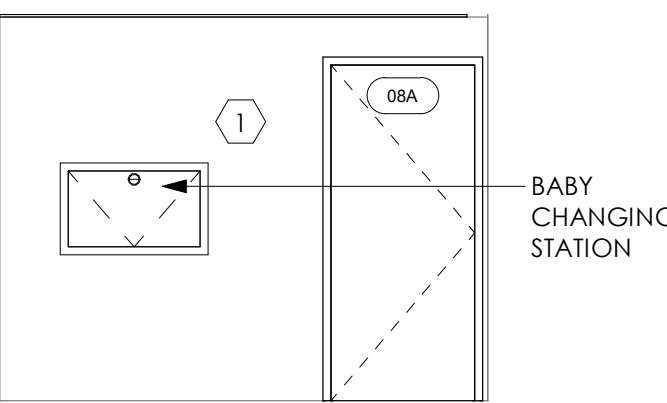
9 LEVEL 1 - WOMEN'S RESTROOM - SOUTH
1/4" = 1'-0"



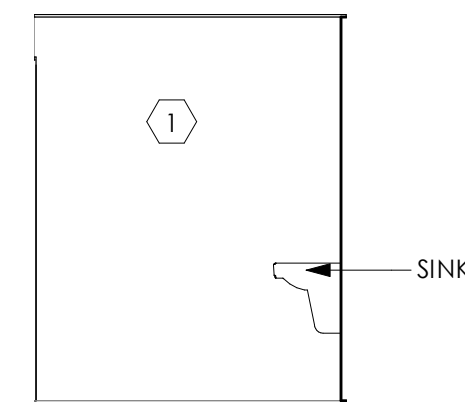
12 LOWER LEVEL - UNISEX RESTROOM - WEST
1/4" = 1'-0"



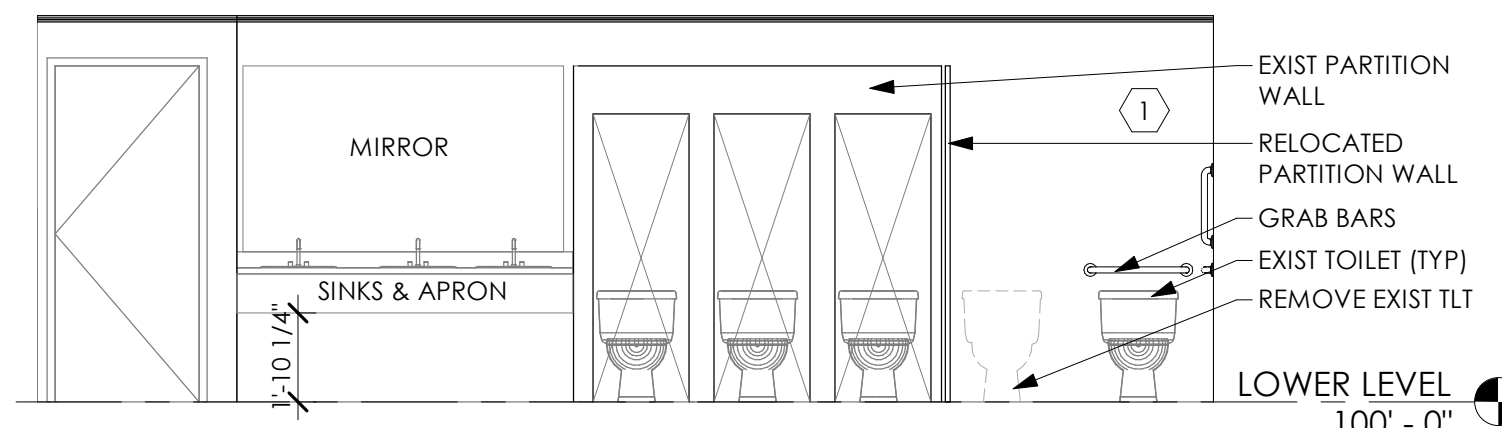
13 LOWER LEVEL - UNISEX RESTROOM - NORTH
1/4" = 1'-0"



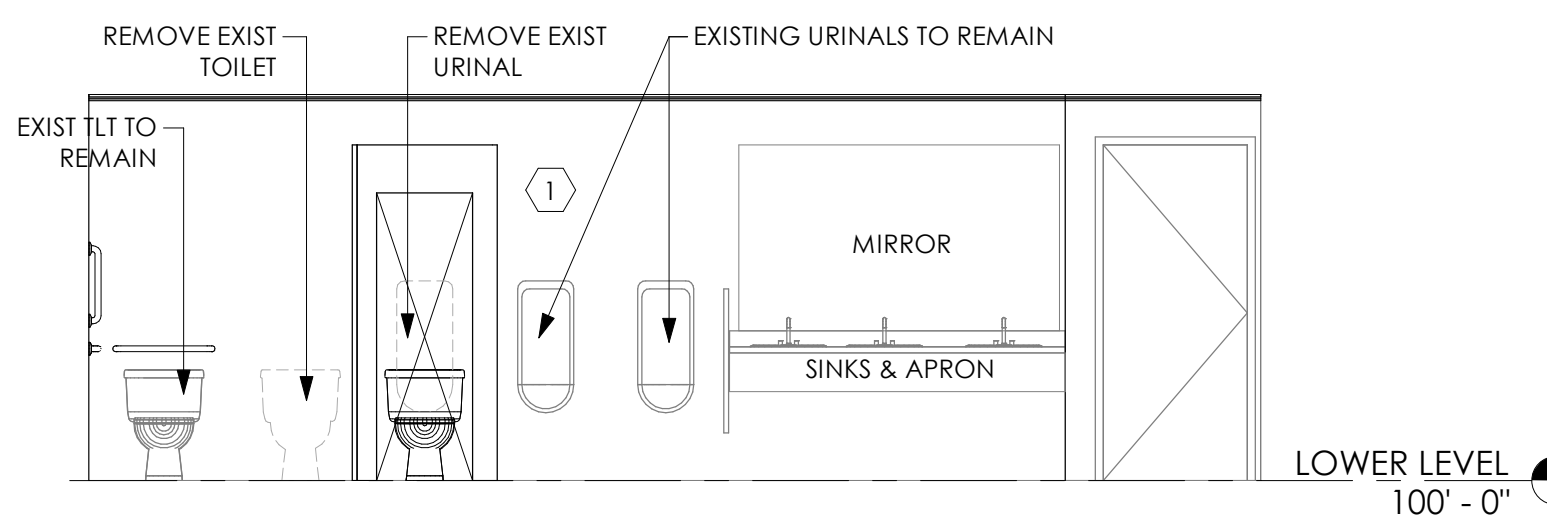
14 LOWER LEVEL - UNISEX RESTROOM - EAST
1/4" = 1'-0"



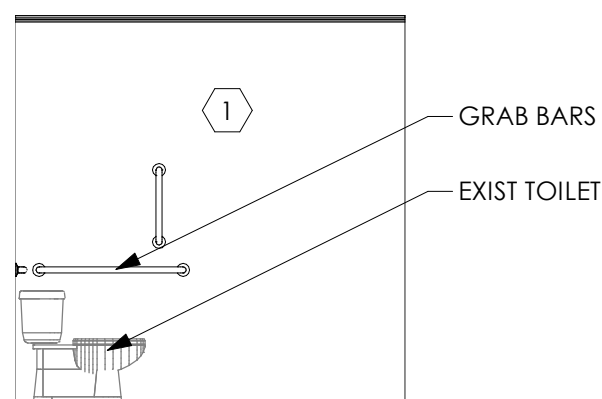
15 LOWER LEVEL - UNISEX RESTROOM - SOUTH
1/4" = 1'-0"



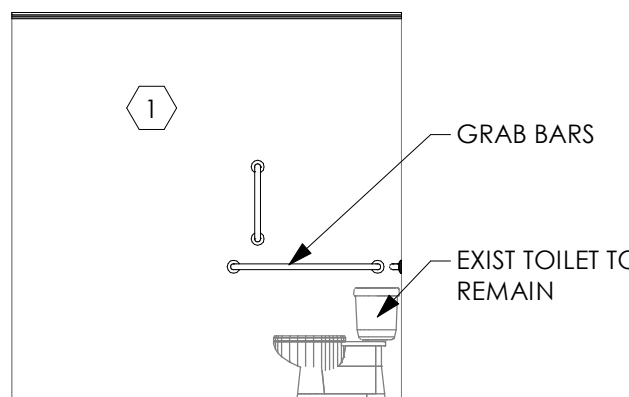
17 LOWER LEVEL - EX. WOMEN'S RR - EAST
1/4" = 1'-0"



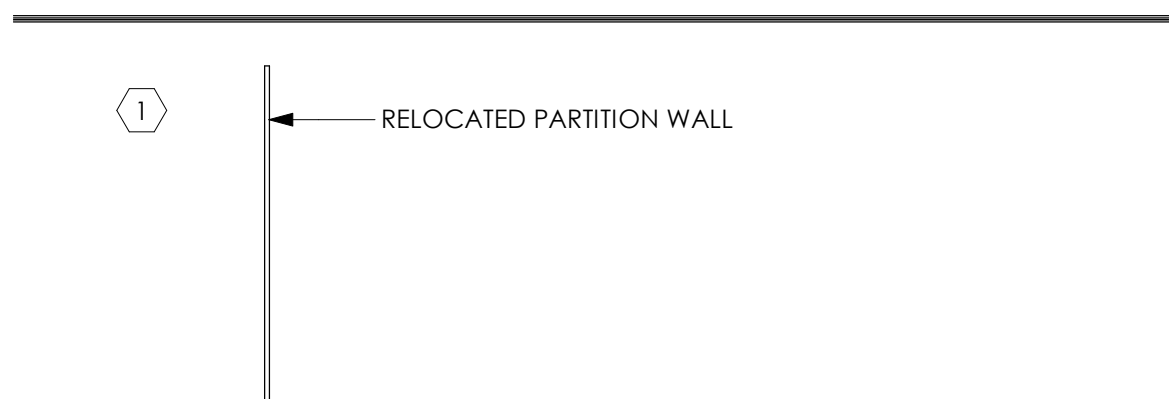
21 LOWER LEVEL - EX. MEN'S RR - WEST
1/4" = 1'-0"



18 LOWER LEVEL - EX. WOMEN'S RR - SOUTH
1/4" = 1'-0"



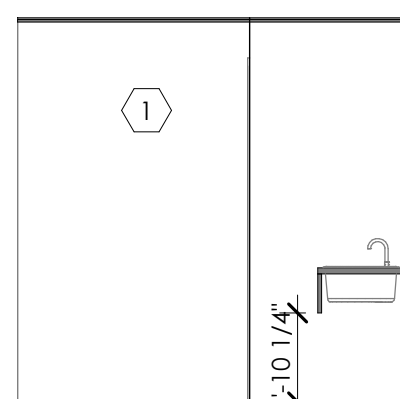
22 LOWER LEVEL - EX. MEN'S RR - SOUTH
1/4" = 1'-0"



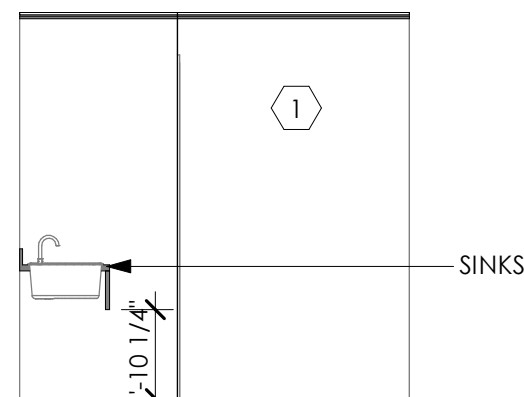
19 LOWER LEVEL - EX. WOMEN'S RR- WEST
1/4" = 1'-0"



23 LOWER LEVEL - EX. MEN'S RR - EAST
1/4" = 1'-0"



20 LOWER LEVEL - EX. WOMEN'S RR- NORTH
1/4" = 1'-0"



24 LOWER LEVEL - EX. MENS RR - NORTH
1/4" = 1'-0"

GENERAL NOTES

- DIMENSIONS ARE FROM (UNLESS NOTED OTHERWISE)
 - EXISTING CONSTRUCTION - OUTSIDE FACE
 - NEW CONSTRUCTION - FACE OF STUD/BLOCK
 - PLUMBING FIXTURES - CENTER LINE
 - DOORS - CENTER LINE
 - WINDOWS - CENTER LINE
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
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FLOOR PLAN KEYED NOTES

- REPAIR, PATCH, AND PAINT EXISTING WALL/CEILING. SEE FINISH SCHEDULE (BY OTHERS).
- INSTALL SALVAGED TOILET PARTITION WALL.
- ALIGN WALL WITH EXISTING WALL.
- ALIGN WALL WITH CORNER.
- GLASS, MOVABLE WALL & TRACK, DESIGN TBD. STACKING SPACE REQUIRED TBD.



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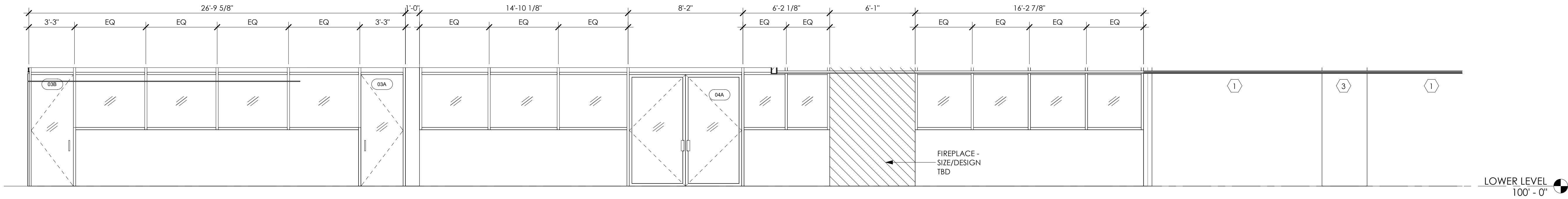
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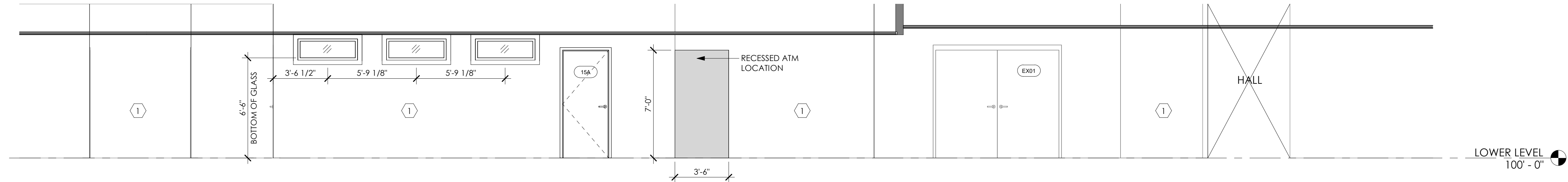
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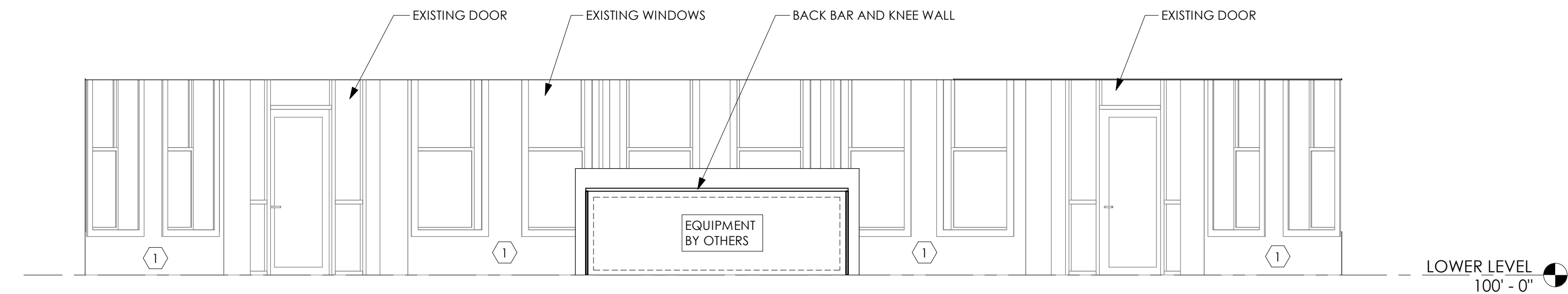
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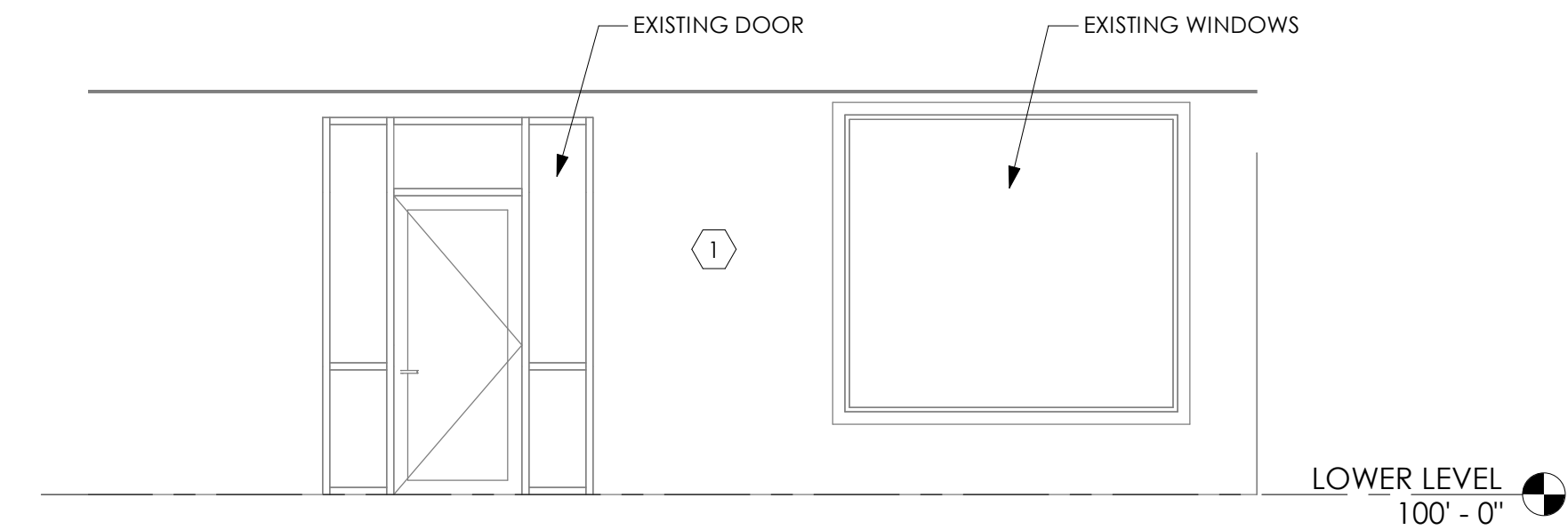
① LOWER LEVEL - HALL 01 - NORTH
1/4" = 1'-0"



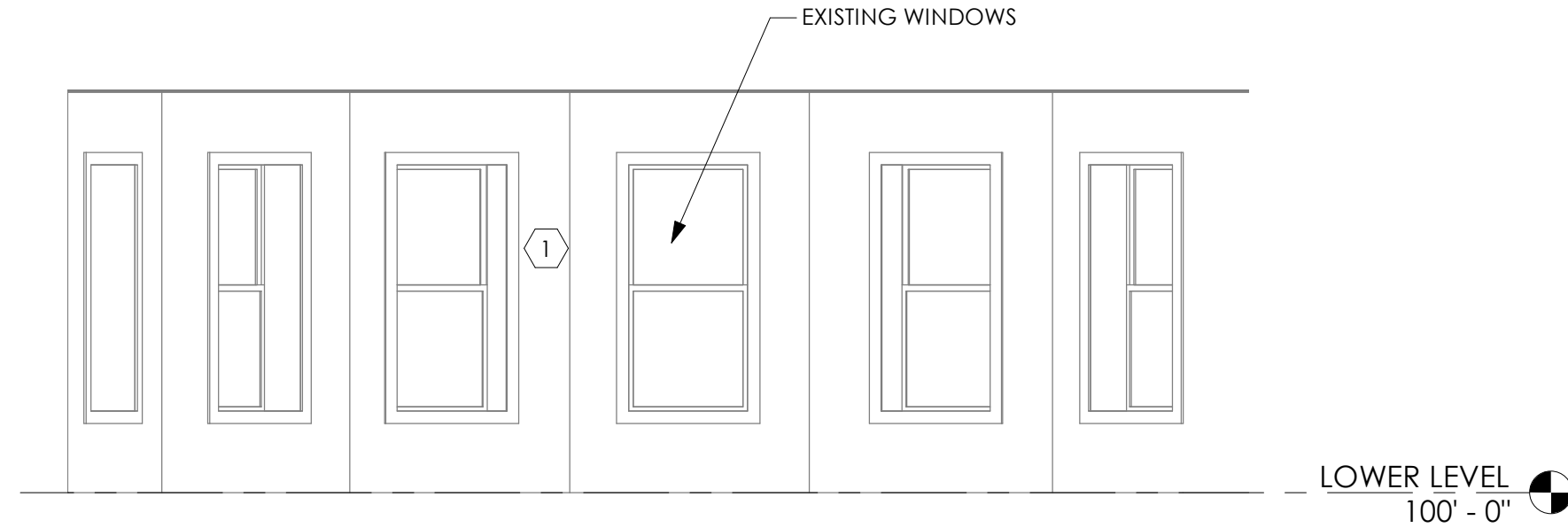
② LOWER LEVEL - HALL 01 - SOUTH
1/4" = 1'-0"



③ LOWER LEVEL - BAR/RESTAURANT - WINDOW ELEVATION
1/4" = 1'-0"



④ LOWER LEVEL - MEETING ROOM 1 - NORTH
1/4" = 1'-0"

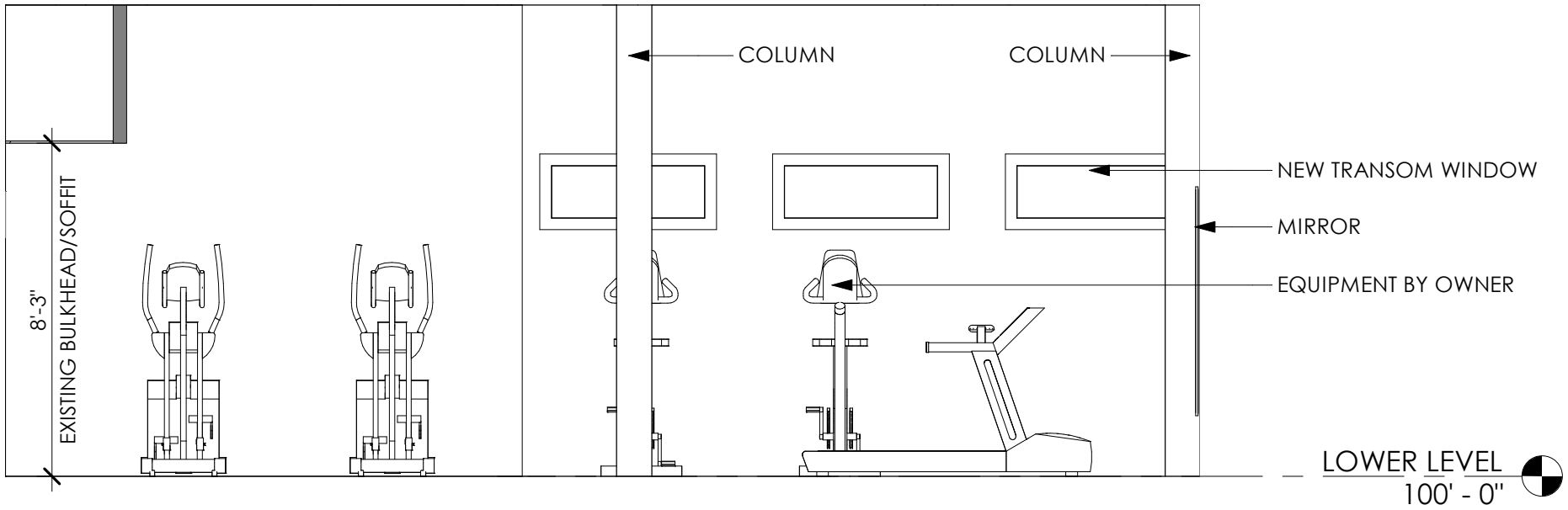


⑤ LOWER LEVEL - MEETING ROOM 2 - NORTH
1/4" = 1'-0"

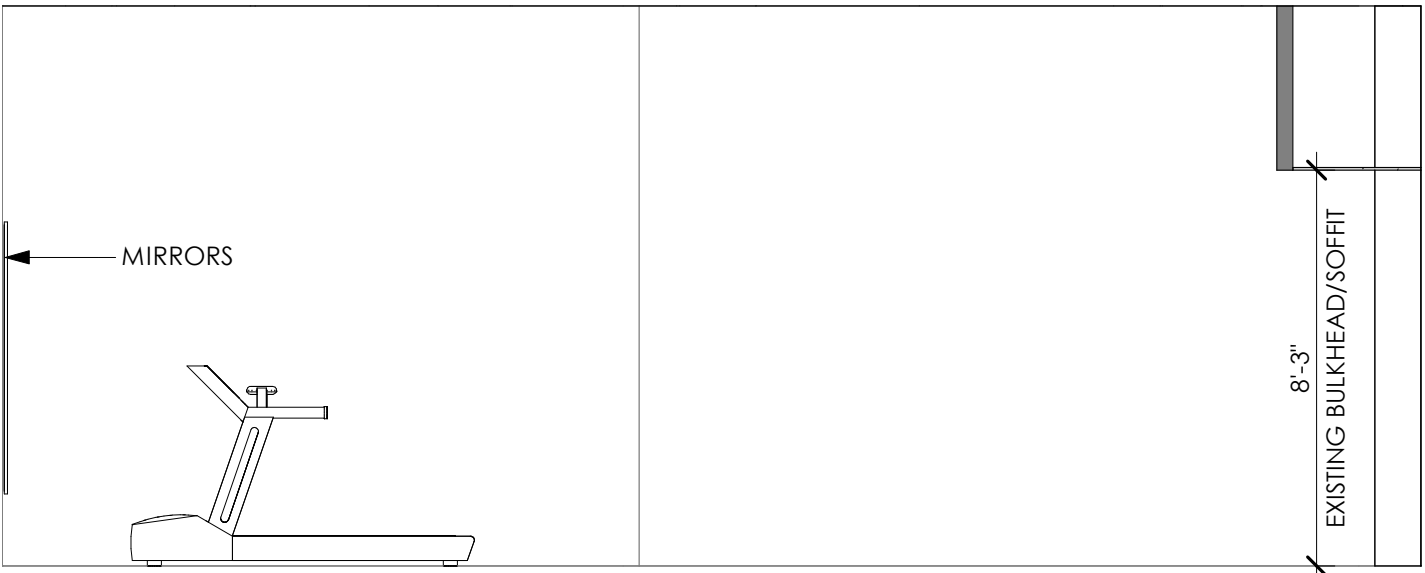
FLOOR PLAN KEYED NOTES

- 1 REPAIR, PATCH, AND PAINT EXISTING WALL/CEILING. SEE FINISH SCHEDULE (BY OTHERS).
- 2 INSTALL SALVAGED TOILET PARTITION WALL.
- 3 ALIGN WALL WITH EXISTING WALL.
- 4 ALIGN WALL WITH CORNER.
- 5 GLASS, MOVABLE WALL & TRACK, DESIGN TBD. STACKING SPACE REQUIRED TBD.

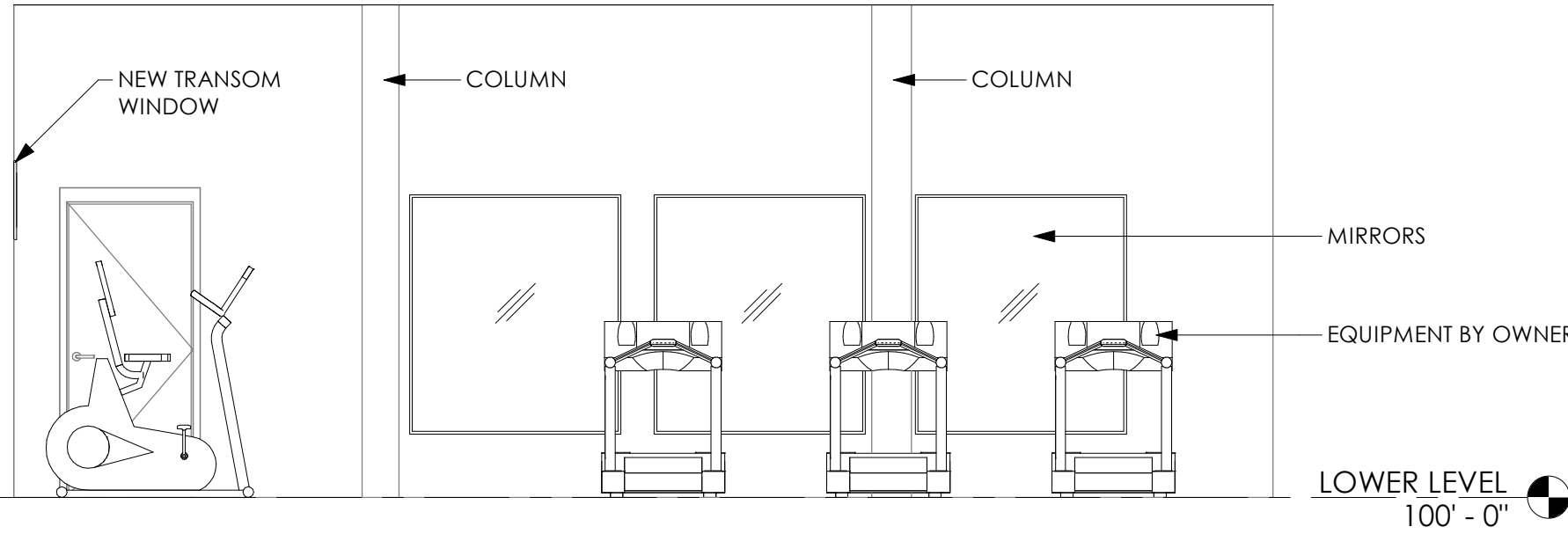
NOTE: ALL FINISHES TO BE DETERMINED BY OTHERS.



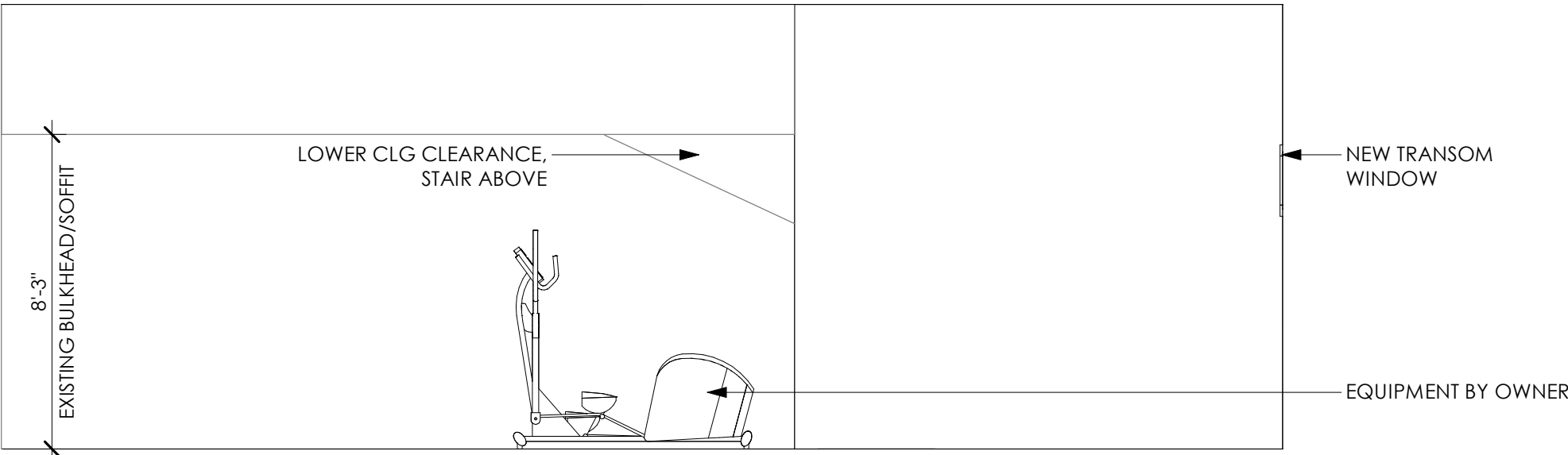
① LOWER LEVEL - FITNESS ROOM - NORTH
1/4" = 1'-0"



② LOWER LEVEL - FITNESS ROOM - SOUTH
1/4" = 1'-0"



③ LOWER LEVEL - FITNESS ROOM - EAST
1/4" = 1'-0"

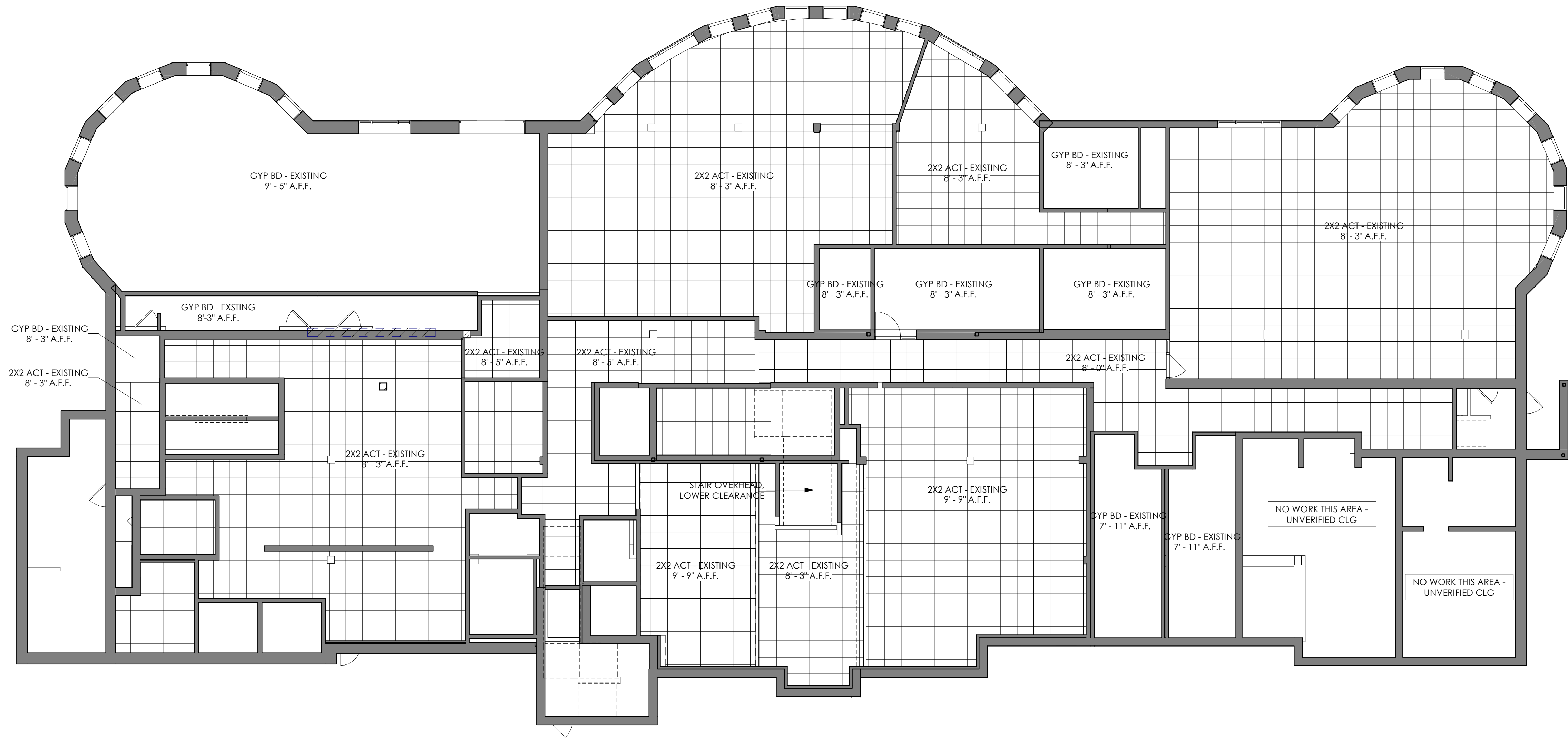


④ LOWER LEVEL - FITNESS ROOM - WEST
1/4" = 1'-0"

FLOOR PLAN KEYED NOTES

- 1 REPAIR, PATCH, AND PAINT EXISTING WALL/CEILING. SEE FINISH SCHEDULE (BY OTHERS).
- 2 INSTALL SALVAGED TOILET PARTITION WALL.
- 3 ALIGN WALL WITH EXISTING WALL.
- 4 ALIGN WALL WITH CORNER.
- 5 GLASS, MOVABLE WALL & TRACK, DESIGN TBD. STACKING SPACE REQUIRED TBD.

NOTE: ALL FINISHES TO BE DETERMINED BY OTHERS.



① DEMO - LOWER LEVEL - REFLECTED CEILING PLAN
1/8" = 1'-0"



CONSULTANTS

Hotel Chequamegon
101 Lake Shore Dr W
Ashland, WI 54806
OWNER:
ISLAND INVESTMENTS INC

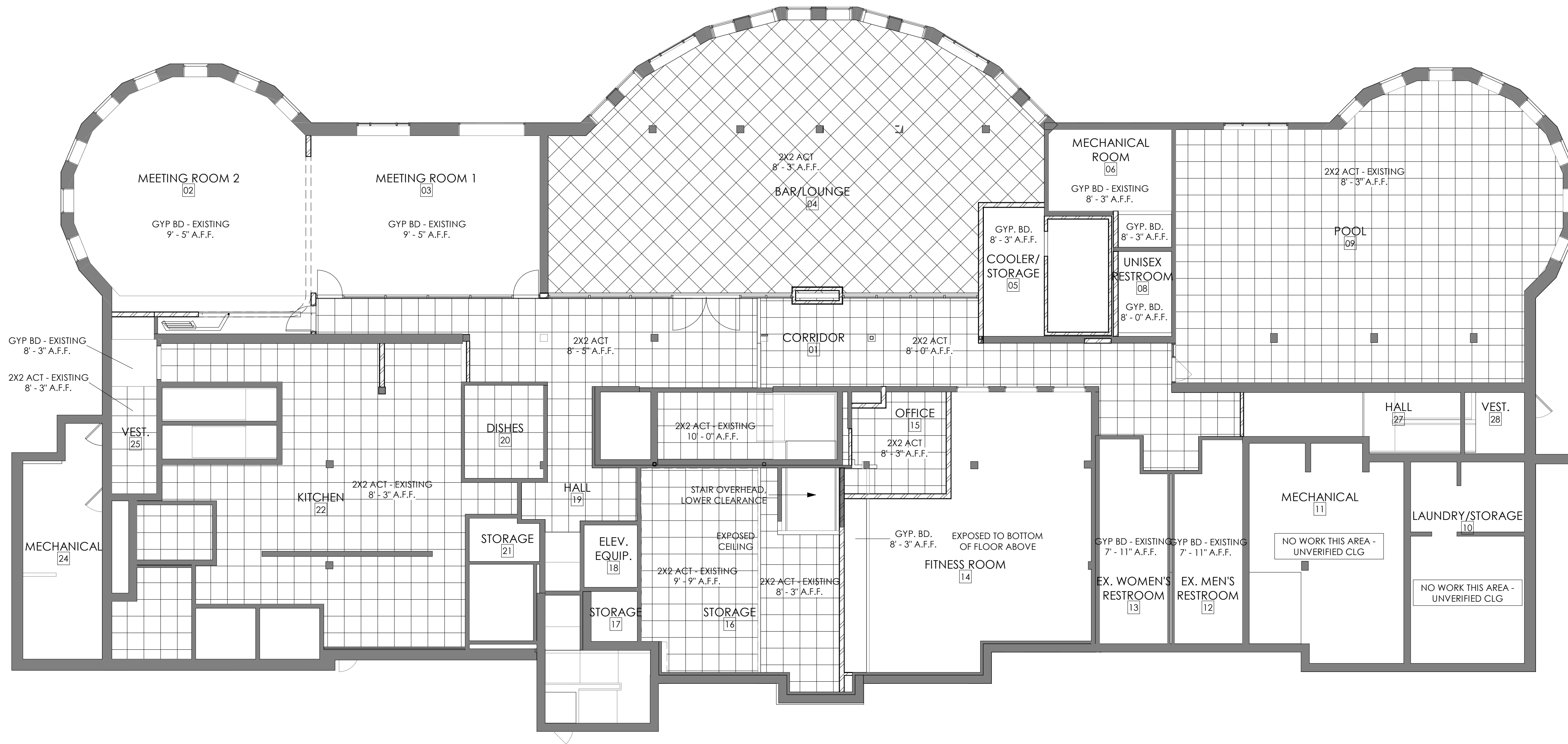
ISSUE DATE
1/31/2019

REVISIONS

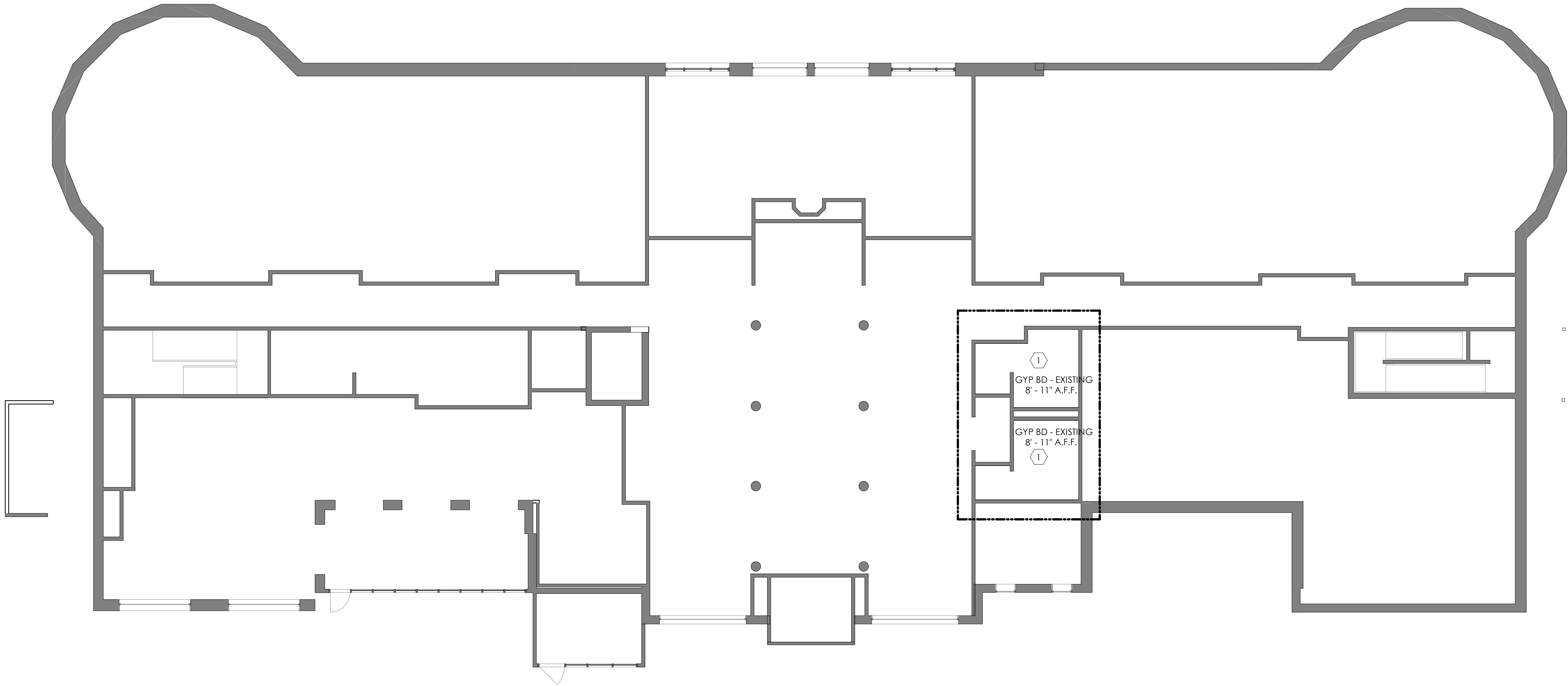
PROJECT NO.
1817

SHEET NO.

A9.0



① LOWER LEVEL - REFLECTED CEILING PLAN
1/8" = 1'-0"



① LEVEL 1 - REFLECTED CEILING PLAN
1/8" = 1'-0"

FLOOR PLAN KEYED NOTES

- 1 REPAIR, PATCH, AND PAINT EXISTING WALL/CEILING. SEE FINISH SCHEDULE (BY OTHERS).
- 2 INSTALL SALVAGED TOILET PARTITION WALL.
- 3 ALIGN WALL WITH EXISTING WALL.
- 4 ALIGN WALL WITH CORNER.
- 5 GLASS, MOVABLE WALL & TRACK, DESIGN TBD. STACKING SPACE REQUIRED TBD.

NOTE: ALL FINISHES TO BE DETERMINED BY OTHERS.



CONSULTANTS

Hotel Chequamegon

101 Lake Shore Dr W
Ashland, WI 54806

OWNER:
ISLAND INVESTMENTS INC

ISSUE DATE
1/31/2019

REVISIONS

PROJECT NO.
1817

SHEET NO.

A9.3



ACCESSIBILITY IMPROVEMENTS - GROUP A

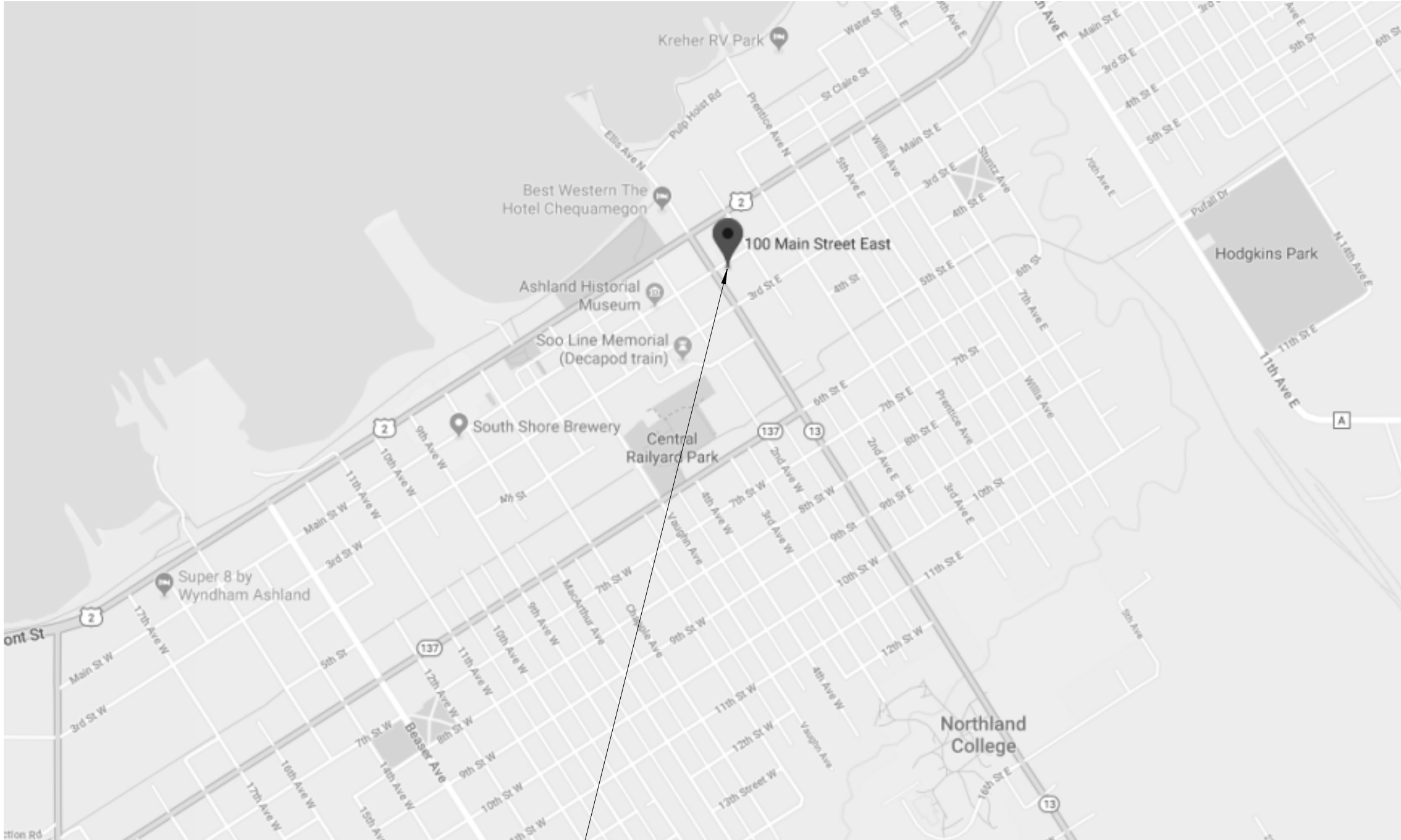
BMO HARRIS BANK

100 EAST MAIN STREET, ASHLAND, WI 54806

PROJECT TEAM

OWNER:	ARCHITECT:
BMO HARRIS BANK, N.A. 111 W. MONROE, FLOOR 24W CHICAGO, IL 60606	SHIVE-HATTERY 440 N WELLS ST, SUITE 320 CHICAGO, IL 60654
MIKE HALTOM MIKE.HALTOM@BMO.COM 847-691-9043	BRIAN DROSTE BDROSTE@SHIVE-HATTERY.COM 312-324-5528
GENERAL CONTRACTOR:	CIVIL ENGINEER:
CG SCHMIDT INC. 10 WEST MIFFLIN STREET, SUITE 400 MADISON, WI 53703	SHIVE-HATTERY 440 N WELLS ST, SUITE 320 CHICAGO, IL 60654
AUSTIN RAUSCH (PROJECT MANAGER) AUSTIN.RAUSCH@CGSCHMIDT.COM 608-255-1177	MICHAEL SEWELL MSEWELL@SHIVE-HATTERY.COM 309-319-2362

PROJECT LOCATION



BMO HARRIS BANK
100 EAST MAIN STREET
ASHLAND, WI 54806

SHEET INDEX

GENERAL	
G000	COVER SHEET
G001	PROJECT GENERAL INFORMATION
G002	REQUIRED MOUNTING HEIGHTS AND DETAILS
G003	ARCHITECTURAL SPECIFICATIONS
G004	ARCHITECTURAL SPECIFICATIONS
G010	LIFE SAFETY PLAN
ARCHITECTURAL	
A101	FLOOR PLANS & DEMOLITION PLANS
CIVIL	
CD000	EXISTING CONDITIONS & DEMOLITION PLAN
C100	SITE LAYOUT & GRADING PLAN
C500	SITE DETAILS

CODE INFORMATION

SCOPE OF WORK:	
THIS PROJECT IS FOR LIMITED ACCESSIBILITY IMPROVEMENTS AT EXISTIN RETAIL BANK BRANCH IN ACCORDANCE WITH 2010 ADAAG TITLE II. SCOPE INCLUDES IMPROVEMENTS TO PARKING, ENTRANCE, CHECK STAND, RESTROOMS, AND COUPON BOOTH.	
CODE ANALYSIS	
PROJECT ADDRESS	100 EAST MAIN STREET ASHLAND, WI 54806
LEGAL JURISDICTION	STATE OF WISCONSIN
OCCUPANCY CLASSIFICATION	B-BUSINESS
AREA OF PROJECT SCOPE	457 GROSS SQ FT PROJECT AREA (12,621 GROSS SQ FT TOTAL AREA)
FIRE PROTECTION SYSTEM	NOT SPRINKLERED
APPLICABLE CODES:	
BUILDING CODE	2015 INTERNATIONAL BUILDING CODE
ELECTRICAL CODE	2015 INTERNATIONAL EXISTING BUILDING CODE
MECHANICAL CODE	2017 NATIONAL ELECTRICAL CODE
PLUMBING CODE	2015 INTERNATIONAL MECHANICAL CODE
FIRE CODE	WISCONSIN UNIFORM PLUMBING CODE
ACCESSIBILITY CODE	2015 INTERNATIONAL FIRE CODE
	2010 ADAAG, ICC/ANSI A117.1
	NOTE: ALL CODES TO ACCOUNT FOR LOCAL AMENDMENTS
DESIGN OCCUPANCIES	B-BUSINESS: 9,624 GROSS SF / 100 = 97 ACCESSORY MECH/STORAGE: 2,223 GROSS SF / 300 = 8
REQUIRED EGRESS WIDTHS	105 OCCUPANTS x 0.2" = 21" EGRESS WIDTH REQUIRED (2) 84" DOORS = 168" EGRESS WIDTH PROVIDED
MAX ALLOWABLE TRAVEL DISTANCE	200' MAX. - B OCCUPANCY - UNSPRINKLERED
ACTUAL TRAVEL DISTANCE	119'-8" ACTUAL
PLUMBING FIXTURES	SEE PLUMBING COUNTS BELOW. NO CHANGE IN OCCUPANCY OR OCCUPANT LOAD

PLUMBING FIXTURES			
PLUMBING FIXTURES	WATER CLOSETS (MALE, FEMALE, UNISEX)	LAVATORIES (MALE, FEMALE, UNISEX)	OTHER
TOTAL FIXTURES REQUIRED	3, 3, -	2, 2, -	1 DRINKING FOUNTAINS, 1 MOP SINK
TOTAL FIXTURES PROVIDED	2, 2, 2	2, 2, 2	2 DRINKING FOUNTAINS, 1 MOP SINK

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GENERAL NOTES

- EACH CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT PRIOR TO SUBMISSION OF BIDS OR PRIOR TO PROCEEDING WITH WORK.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE AND LOCAL MUNICIPAL CODES AND ALL OTHER APPLICABLE GOVERNING AUTHORITIES.
- THE FLAME SPREAD RATINGS AND SMOKE DEVELOPMENT RATINGS OF ALL MATERIALS SHALL CONFORM TO ALL APPLICABLE CODES AND GOVERNING AUTHORITIES.
- ALL WORK NOTED "BY OTHERS" OR "N.I.C." IS TO BE ACCOMPLISHED BY THE OWNER'S SEPARATE CONTRACTOR AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. EACH CONTRACTOR IS TO COORDINATE WITH "OTHER" CONTRACTORS AS REQUIRED.
- EACH CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ALL WALL REINFORCEMENT AND BLOCKING PRIOR TO THE INSTALLATION OF THE DRYWALL AND MILLWORK. INSTALL BLOCKING FOR ALL WALL-MOUNTED ITEMS. ALL BLOCKING SHALL BE CONCEALED.
- PROVIDE CONTROL JOINTS IN CONCRETE, MASONRY, AND DRYWALL AT SPACINGS PER INDUSTRY STANDARDS. LOCATION SHALL BE APPROVED BY ARCHITECT IF NOT SHOWN.
- EACH CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, INSPECTIONS, AND FEES.
- DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. LARGE SCALE DRAWINGS GOVERN OVER DRAWINGS OF A SMALLER SCALE. ARCHITECTURAL DRAWINGS GOVERN OVER ENGINEERING DRAWINGS. VERIFY DISCREPANCIES WITH THE ARCHITECT BEFORE FABRICATION.
- ARCHITECTURAL DIMENSIONS AND DESIGN ARE INDICATED ON ARCHITECTURAL DRAWINGS. IF THE INSTALLATION OF MECHANICAL, ELECTRICAL, OR PLUMBING EQUIPMENT INTERFERE WITH COMPLIANCE OF THE ARCHITECTURAL DRAWINGS, NOTIFY THE ARCHITECT BEFORE PROCEEDING.
- ALL DISSIMILAR METALS SHALL BE GALVANICALLY ISOLATED WHERE REQUIRED BY CODE.
- DRYWALL FINISHING SHALL BE DONE USING SIMULATED FINAL LIGHTING CONDITIONS, ESPECIALLY IN AREAS AROUND RECESSED LIGHTING FIXTURES OR AREAS RECEIVING GLANCING LIGHT COVERAGE, SHALL RECEIVE A LEVEL A FINISH.
- STRUCTURAL INFORMATION ON ARCHITECTURAL SHEETS IS FOR REFERENCE ONLY. INFORMATION ON STRUCTURAL PLANS AND SPECIFICATIONS SHALL GOVERN, UNLESS MORE STRINGENT INFORMATION IS CONTAINED IN ARCHITECTURAL SHEETS.
- ALL TRADES ARE RESPONSIBLE FOR INSTALLING THEIR WORK TO ALLOW FOR CEILING HEIGHTS, MECHANICAL WORK, AND LIGHT FIXTURES TO BE LOCATED AS SHOWN ON DRAWINGS. INFORM THE ARCHITECT IN ADVANCE IF HEIGHTS OR LOCATIONS CAN NOT BE ACHIEVED. PROCEEDING WITH NON-COORDINATED WORK IS WITH THE UNDERSTANDING THAT ANY COSTS FOR CORRECTIVE MODIFICATIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

TRADE PRIORITY SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

1. ELECTRICAL LIGHTING FIXTURES

2. MECHANICAL GRILLES AND DIFFUSERS

3. MECHANICAL DUCTWORK

4. ELECTRICAL CONDUIT

5. PIPING SYSTEMS
- THE CONTRACTOR SHALL VERIFY THAT ALL FLOORS ARE IN GOOD CONDITION AND ARE FLUSH WITH ADJACENT FLOORS IN THE SAME AREA. AT THE CONTRACTOR'S EXPENSE, CORRECT ALL DEVIATIONS WITH THE APPLICATION OF LEVELING COMPOUND BEFORE INSTALLATION OF FINISHED FLOOR COVERING AND/OR EQUIPMENT. VERIFY THAT NEW AND OLD FINISHES ARE FLUSH. FEATHER OUT LEVELING COMPOUND APPROXIMATELY 3'-0" TO CONCEAL TRANSITION, MAXIMUM SLOPE 1/4" PER FOOT U.N.O.
- ALL NEW CONSTRUCTION WHICH ENGAGES EXISTING SHALL BE JOINTED IN A CAREFUL MANNER BEING PROPERLY ALIGNED AND MEMBERED SO AS TO LEAVE NO EVIDENCE OF PATCHING OR JOINTING.
- WALLS CONTAINING FIRE DAMPERS SHALL BE FILLED IN AROUND DAMPERS WITH MATCHING MATERIALS PER THE INSTRUCTIONS OF THE MANUFACTURER TO MAINTAIN THE FIRE-RESISTIVE INTEGRITY OF THE WALL.
- IN THE CASE OF CONFLICTING REQUIREMENTS BETWEEN ANY PORTION OF THE CONSTRUCTION DOCUMENTS, THE MOST STRINGENT SHALL APPLY.
- ANY DAMAGE TO AREAS INSIDE OR OUTSIDE OF THE PROJECT AREA SHALL BE REPAIRED TO THE STATUS PRIOR TO CONSTRUCTION AT NO COST TO THE OWNER.
- WHENEVER THE CONTRACT, THE SPECIFICATIONS, LAWS, ORDINANCES, OR ANY PUBLIC AUTHORITY REQUIRE ANY WORK TO BE SPECIALLY TESTED OR APPROVED, CONTRACTORS SHALL GIVE THE OWNER OR GOVERNING AUTHORITY TIMELY NOTICE OF THEIR READINESS FOR INSPECTION AND OF THE DATE FOR INSPECTION IF ANY WORK SHOULD BE COVERED WITHOUT APPROVAL. IT MUST, IF REQUIRED, BE UNCOVERED FOR EXAMINATION AT THE CONTRACTOR'S EXPENSE.
- NEITHER THE FINAL PAYMENT NOR ANY PROVISION IN THE CONTRACT DOCUMENTS NOR PARTIAL OR ENTIRE OCCUPANCY OF THE PREMISES BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF WORK NOT DONE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR RELIEVE CONTRACTORS OF LIABILITIES IN RESPECT TO ANY EXPRESS WARRANTIES OR RESPONSIBILITY FOR FAULTY MATERIALS OR WORKMANSHIP. AS A GUARANTEE, CONTRACTORS SHALL REMEDY ANY DEFECTS IN THE WORK AND PAY FOR ANY DAMAGE TO OTHER WORK RESULTING THEREFROM, WHICH SHALL APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF FINAL PAYMENT. THE OWNER WILL GIVE NOTICE OF OBSERVED DEFECTS WITH REASONABLE PROMPTNESS.
- SHOULD ANY CHANGES IN THE PLANS AND SPECIFICATIONS BE REQUIRED TO CONFORM TO LOCAL AND STATE RULES AND REGULATIONS, CONTRACTORS SHALL NOTIFY THE OWNER IN WRITING AT THE TIME OF BID SUBMISSION.
- ALL CHANGES OR DEVIATIONS FROM THE CONTRACT, INCLUDING THOSE FOR EXTRA OR ADDITIONAL WORK, MUST BE SUBMITTED IN WRITING FOR AN APPROVAL BY THE ARCHITECT AND OWNER. NO VERBAL ORDERS WILL BE RECOGNIZED.
- "ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATED FINISH FACES IN THE SAME PLANE.
- "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE. DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR.
- IN THE REMODELING AREA, THERE SHALL BE REPAIR AND PATCHING OF ALL INTERIOR DRYWALL, PLASTER, OR MASONRY SURFACES WHICH WILL BE EXPOSED, WHERE DETERIORATION, CRACKS, DAMAGE, DENTS, HOLES, OR ANY OTHER DAMAGE HAS OCCURRED. MATCH ADJACENT MATERIALS IF NOT NOTED.
- ALL BIDS SHALL INCLUDE PERIODIC AND FINAL CLEANING OF ASSOCIATED CONTRACTOR'S DEBRIS.
- THE INDICATION OF TYPE AND LOCATION OF EXISTING MATERIALS ON THE DRAWINGS AND SCHEDULES IS NOT INTENDED AS EXACT DOCUMENTATION OF IN-PLACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS BEFORE SUBMISSION OF BIDS.
- CONTRACTORS SHALL FURNISH OWNER WITH PROOF OF INSURANCE BEFORE STARTING WORK. INSURANCE SHALL INCLUDE WORKMAN'S COMPENSATION, EMPLOYER'S AND COMPREHENSIVE GENERAL LIABILITY.
- SUBMIT SHOP DRAWINGS, SAMPLES, AND SCHEDULES TO ARCHITECT FOR REVIEW FOR ALL NEW PRODUCTS. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL BE AS SPECIFIED IN THE CONTRACT, AND SHALL BE CONSIDERED IN ITS ENTIRETY TO BE A PART OF THESE SPECIFICATIONS.
- STORE ALL SALVAGED MATERIALS AT LOCATION DESIGNATED BY OWNER.

ACCESSIBILITY NOTES

- ALL WORK REQUIRED TO MEET ACCESSIBILITY REQUIREMENTS SHALL COMPLY WITH THE THE 2010 AMERICANS WITH DISABILITIES ACT GUIDELINES (ADAAG) AND ALL STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.
- ALL DOORS LEADING TO REQUIRED ACCESSIBLE ROOMS AND SPACES SHALL BE A MINIMUM OF 3'-0" WIDE, HAVE LEVER OPERATED HARDWARE, HAVE A MAXIMUM OPERATING FORCE OF 5 LBF, AND FULLY COMPLY WITH ALL APPLICABLE ACCESSIBILITY REQUIREMENTS.
- DURING HANDLING AND INSTALLATION, CLEAN AND PROTECT CONSTRUCTION IN PROGRESS AND ADJOINING MATERIAL IN PLACE. APPLY PROTECTIVE COVERINGS WHERE REQUIRED TO ENSURE PROTECTION FROM DAMAGE OR DETERIORATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ALL EXISTING CONDITIONS AND COMPLETED WORK WHILE FULFILLING THE OBLIGATIONS OF THIS CONTRACT.
- CLEAN AND MAINTAIN COMPLETED CONSTRUCTION AS FREQUENTLY AS NECESSARY THROUGH THE DURATION OF THE CONSTRUCTION PERIOD. ADJUST AND LUBRICATE OPERABLE COMPONENTS TO ENSURE PROPER FUNCTION WITHOUT DAMAGING EFFECTS.
- FINAL CLEANING IS THE RESPONSIBILITY OF EACH PRIME CONTRACTOR.

CONSTRUCTION NOTES

- ALL PENETRATIONS IN RATED CONSTRUCTION SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO REPAIR AND PATCH TO MAINTAIN THE REQUIRED RATING.
- ALL WOOD BLOCKING AND FRAMING SHALL BE FIRE RETARDANT TREATED LUMBER. ALL FASTENERS IN CONTACT WITH FIRE RETARDANT TREATED WOOD SHALL BE GALVANICALLY ISOLATED WHERE REQUIRED BY CODE.
- ALL TEMPORARY DOORS SHALL BE 90 MINUTE RATED. ALL TEMPORARY BARRICADES ARE TO BE OF 1-HOUR CONSTRUCTION.

COORDINATION NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL PARTS OF THE WORK STATED OR IMPLIED SO THAT NO WORK SHALL BE LEFT IN AN UNFINISHED OR INCOMPLETE CONDITION.
- WHERE SPECIAL COORDINATION IS NECESSARY THE GENERAL CONTRACTOR SHALL PREPARE MEMORANDA FOR DISTRIBUTION TO EACH PARTY INVOLVED OUTLINING SPECIAL PROCEDURES REQUIRED FOR COORDINATION. INCLUDE SUCH ITEMS AS REQUIRED NOTICES, REPORTS AND ATTENDANCE AT MEETINGS.
- THE GENERAL CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES INDICATED ON CONTRACT DOCUMENTS TO ENSURE EFFICIENT, ORDERLY, COMPLETE AND OPERATIONAL INSTALLATIONS OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS THAT ARE DEPENDENT UPON EACH OTHER FOR PROPER INSTALLATION, CONNECTION AND OPERATION.
- CONFINE OPERATIONS TO AREAS WITHIN CONTRACT LIMITS INDICATED. PORTIONS OF THE SITE BEYOND AREAS IN WHICH CONSTRUCTION OPERATIONS ARE INDICATED ARE NOT TO BE DISTURBED.
- THE GENERAL CONTRACTOR SHALL COORDINATE TRADES TO PATCH FINISHES THAT ARE DAMAGED AS A RESULT OF CUTTING-IN OF WORK.
- ANY CONCERNS NOT ADDRESSED IN THE CONTENTS OF THESE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER AND CLARIFIED **PRIOR TO THE COMPILING OF BIDS**.

DEMOLITION NOTES

- ANY DEMOLITION OR REMOVAL INDICATED IS SHOWN IN GENERAL TO PROVIDE THE EXTENT OF DEMOLITION AND IS NOT TO BE CONSIDERED AS A RECORD DRAWING OF EXISTING CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR IN FIELD VERIFICATION AND COORDINATION WITH THE ARCHITECT PRIOR TO COMMENCING WORK WITH STATED WORK.
- ALL CONSTRUCTION TO REMAIN WHICH IS AFFECTED BY DEMOLITION SHALL BE PATCHED, BE PROPERLY ALIGNED AND FINISHED SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR. REPAIR OR REPLACE ANY EXISTING CONSTRUCTION, MATERIALS, OR EQUIPMENT DAMAGED DURING DEMOLITION TO LIKE NEW CONDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF MATERIAL DISPOSAL AND SHALL DISPOSE OF ALL DEMOLISHED MATERIALS IN COMPLIANCE WITH REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION, INCLUDING THE LANDLORD'S REQUIREMENTS FOR REMOVAL FROM THE PREMISES. VERIFY WITH OWNER, TENANT, AND LANDLORD FOR ANY ITEMS TO BE SALVAGED PRIOR TO REMOVAL.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL FINISHES (TO REMAIN) IN THE PROJECT AREA. COORDINATE WITH ARCHITECT AND OWNER PRIOR TO DEMOLITION.
- CONTRACTOR SHALL ENSURE THAT DUST AND DEBRIS ARE PREVENTED FROM ENTERING THE EXISTING HVAC SYSTEM AND ADJOINING SPACES WITH TEMPORARY BARRIERS AS REQUIRED PER THE BUILDING.
- INDICATION OF NEW MATERIALS SHALL INFER ALL REMOVAL OR DEMOLITION AND PATCHING REQUIRED OF EXISTING MATERIALS AND SUBSTRATES FOR PROPER ALIGNMENT. MATCH EXISTING FINISHES, UNLESS NOTED OTHERWISE.
- ALL NEW AND EXISTING PENETRATIONS IN EXISTING WALLS, FLOORS AND CEILING DECKS SHALL SHALL RECEIVE UL AND FACILITY APPROVED FIRE SEALANT MATERIALS TO MATCH RATING REQUIREMENT OF AREA BEING PENETRATED.
- GENERAL CONTRACTOR SHALL PROMPTLY INFORM THE OWNER AND ARCHITECT IN WRITING OF ANY HAZARDOUS MATERIALS DISCOVERED DURING THE COURSE OF THE WORK AND SHALL ENSURE THAT ANY SUCH MATERIALS ARE HANDLED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION.

DEMOLITION NOTES

- ALL NEW AND EXISTING PENETRATIONS IN EXISTING WALLS, FLOORS AND CEILING DECKS SHALL SHALL RECEIVE UL AND FACILITY APPROVED FIRE SEALANT MATERIALS TO MATCH RATING REQUIREMENT OF AREA BEING PENETRATED.
- GENERAL CONTRACTOR SHALL PROMPTLY INFORM THE OWNER AND ARCHITECT IN WRITING OF ANY HAZARDOUS MATERIALS DISCOVERED DURING THE COURSE OF THE WORK AND SHALL ENSURE THAT ANY SUCH MATERIALS ARE HANDLED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION.

MECH. & PLUMBING NOTES

- ALL NECESSARY MECHANICAL, PLUMBING, AND FIRE PROTECTION DESIGN AND CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. WHERE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION, THIS SHALL INCLUDE DESIGN DRAWINGS, CALCULATIONS, AND/OR DOCUMENTATION BY A LOCALLY LICENSED PROFESSIONAL ENGINEER HIRED BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ANY NECESSARY MECHANICAL, PLUMBING, AND FIRE PROTECTION PERMITS.**
 - MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD COORDINATION WITH OTHER TRADES TO ALLOW FOR THE PROPER INSTALLATION OF ALL MECHANICAL EQUIPMENT OR DEVICES.
 - MECHANICAL CONTRACTOR SHALL COORDINATE LOCATION OF ALL ACCESS PANELS IN CEILINGS OR WALLS WITH GENERAL CONTRACTOR AND INFORM THE ARCHITECT OF PROPOSED LOCATION FOR APPROVAL PRIOR TO INSTALLATION AND CONSTRUCTION OF NEW WORK.
 - THE MECHANICAL SUBCONTRACTOR SHALL, IN GOOD WORKMANLIKE MANNER, PERFORM ALL WORK AND FURNISH ALL SUPPLIES AND MATERIALS, MACHINERY, EQUIPMENT FACILITIES, AND MEANS NECESSARY OR PROPER TO PERFORM AND COMPLETE ALL WORK REQUIRED FOR THE REWORKING OF THE MECHANICAL AND TEMPERATURE CONTROL SYSTEMS IN THE REMODELED AREAS. ALL WORK SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE PLANS AND RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
 - DUCTWORK SHALL BE CONSTRUCTED ACCORDING TO THE LATEST SMACNA STANDARDS AND THE LATEST ASHRAE GUIDE AND DATA BOOK.
 - CONTROLS, TRANSFORMATION, AND WIRING SHALL BE FURNISHED AND INSTALLED FOR THE COMPLETE OPERATION OF THE HEATING AND COOLING AIR CONDITIONING EQUIPMENT.
 - BLANK-OFF RETURN DUCTWORK IN AREAS OF WORK TO PREVENT, DUST, AND DEBRIS FROM ENTERING MECHANICAL SYSTEM.
- ABV
AC
ACT
ADD
ADJ
ADJT
AFF
ALT
ALUM
APPROX
APX
ARCH
AUTO

ABove
Air Conditioning
Acoustical Tile
Addendum
Adjacent
Adjustable
Above Finished Floor
Alternate
Aluminum
Approximate
Approximate
Architectural)
Automatic
- BD
BEL
BET
BIT
BK
BLK
BLKG
BOT
BRG
BRK
BSMT

Board
Below
Between
Bituminous
Brick
Block
Blocking
Bottom
Bearing
Brick
Basement
- CAB
CIPC
CJ
CJT
CL
CLG
CMU
CO
COL
CONC
CPT
CRS
CSC
CT
CTSK
CW
CH

Cabinet
Cast-in-Place Concrete
Control Joint
Control Joint
Clear
Ceiling
Concrete Masonry Unit
Cased Opening
Column
Concrete
Carpet
Course
Concealed Spline Ceiling
Ceramic Tile
Countersunk Screw
City Water
Coat Hook
- DET
DIM
DISP
DISPEN
DO
DPL
DPR
DR
DW
DWG
DWGS
DWR
DAFFW
DFF

Detail
Dimension
Disposal
Dispenser
Door Opening
Disposal
Dispenser
Door
Drywall
Drawing
Drawings
Drawer
Dens Armor Plus Fireguard Wallboard
Dry Fog Paint
- ELEC
EMER
EMR
EQ
EQUIP
EXG
EXIST
EXT
EP
EGG

Electrical
Emergency
Existing Material to Remove
Equal
Equipment
Existing
Existing
Exterior
Epoxy Paint
Eggshell
- FCO
FD
FE
FEC
FIN
FIXT
FL
FLR
FOIO
FOIC
FP
FURN
FS
FRP
FACP

Floor Clean Out
Floor Drain
Fire Extinguisher
Fire Extinguisher Cabinet
Finish(ed)
Fixture
Floor
Floor(ing)
Fluorescent
Furnished by Owner Installed by Owner
Furnished by Owner Installed by Contractor
Fixed Panel
Furnished
Floor Sink
Fiberglass Reinforced Polyester
Fire Alarm Control Panel
- GA
GL
GV
GWB

Gage, Gauge
Glass
Galvanized
Gypsum Wall Board
- H
HP
HR
HT
HVAC
HW
HWR
HM

High
Handicapped
Hour
Height
Heating-Ventilating-Air-Conditioning
Hot Water
Hot Water Return
Hollow Metal

ABBREVIATIONS

ID	Inside Diameter
INS	Insulate, Insulated, Insulation
INT	Interior
IW	Indirect Waste
IWV	Indirect Waste Vent
JT	Joint
KW	Kilowatt
LAM	Laminate
LAV	Lavatory
LT	Light
MAS	Masonry
MAX	Maximum
MECH	Mechanical
MT	Metal
MIN	Minimum
MISC	Miscellaneous
MO	Masonry Opening
MOV	Moveable
MIRGB	Moisture Resistant Gypsum Wallboard
NIC	Not in Contract
NO	Number
NTS	Not to Scale
OA	Overall
OC	On Center
OF	Owner Furnished
OFI	Owner Furnished and Installed
OFIC	Owner Finished Installed by Contractor
OH	Opposite Hand
OPG	Opening
OPNG	Opening
OTS	Open to Structure
PL	Plate
PLAM	Plastic Laminate
PLAS	Plaster
PLYWD	Plywood
PNL	Panel
PTD	Paper Towel Dispenser
PTN	Partition
PTR	Paper Towel Dispenser
PVC	Poly. Vinyl Chloride
PWD	Plywood
R	Rubber
RA	Return Air
RB	Rubber Base
REF	Refrigerator
REFRIG	Refrigerator
RM	Room
REMOV	Removable
RP	Removable Panel
SHT	Sheet
SIM	Similar
SL	Sliding
SQ	Square
SR	Sheet Rubber
SS	Stainless Steel
ST	Steel
STA	Station
STD	Standard
STL	Steel
STR	Structural
STRUCT	Structural
STUC	Stucco
SUS	Suspended
SV	Sheet Vinyl
SG	Semi-Gloss
SC	Sealed Concrete
THK	Thick(ness)
TKBD	Tackboard
TPD	Toilet Paper Dispenser
TYP	Typical
UCR	Under Counter Refrigerator
V	Vinyl
VCT	Vinyl Composition Tile
VERT	Vertical
VWC	Vinyl Wall Covering
VACT	Vinyl Acoustical Ceiling Tile (washable)
WC	Water Closet
WD	Wood
WDP	Wood Panel on Gypsum Wallboard
WIN	Window
WO	Window Opening
WS	Wall Sconce

ACCESSIBILITY IMPROVEMENTS - GROUP A

PROJECT GENERAL INFORMATION

DRAWN:	BGD
APPROVED:	BGD
ISSUED FOR:	BID AND PERMIT
DATE:	3/15/19
PROJECT NO:	160300-07
FIELD BOOK:	

SEAL

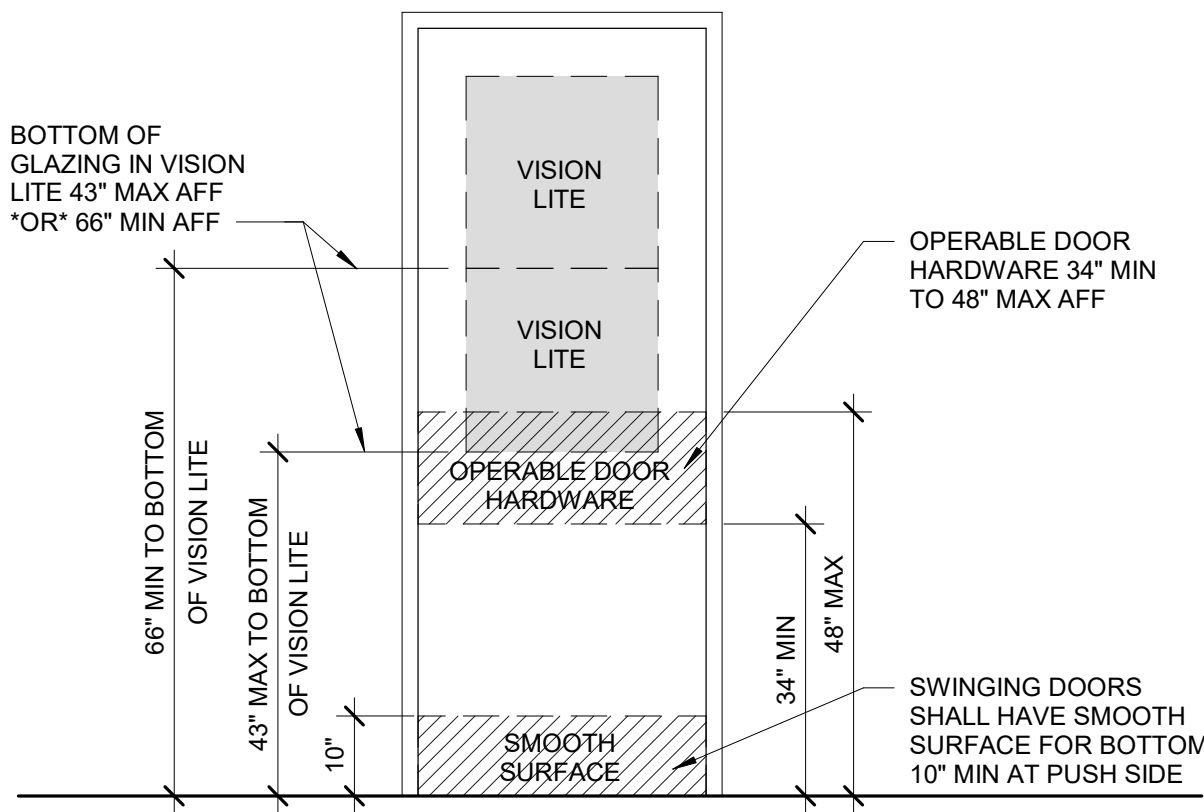
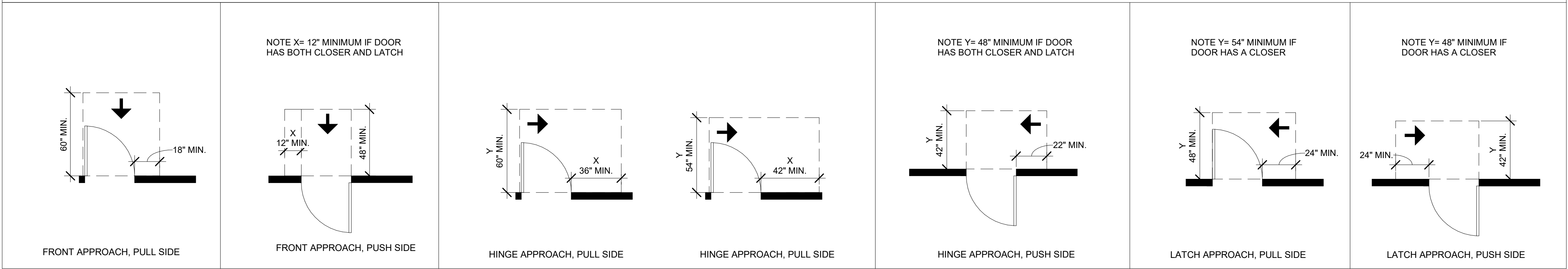
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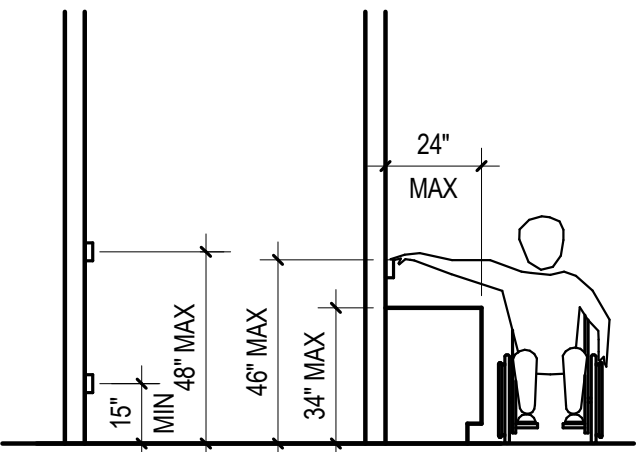
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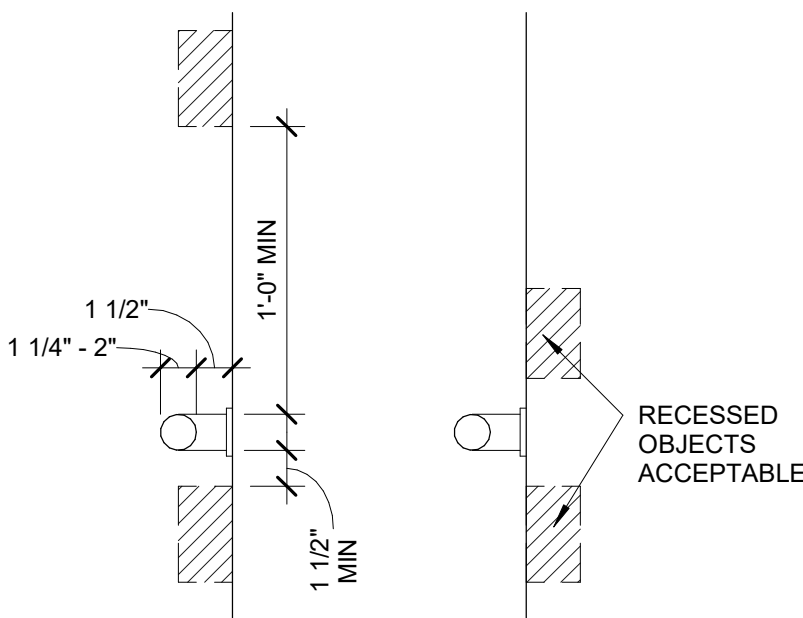
STANDARD ACCESSIBLE DOOR CLEARANCES - SWINGING DOORS



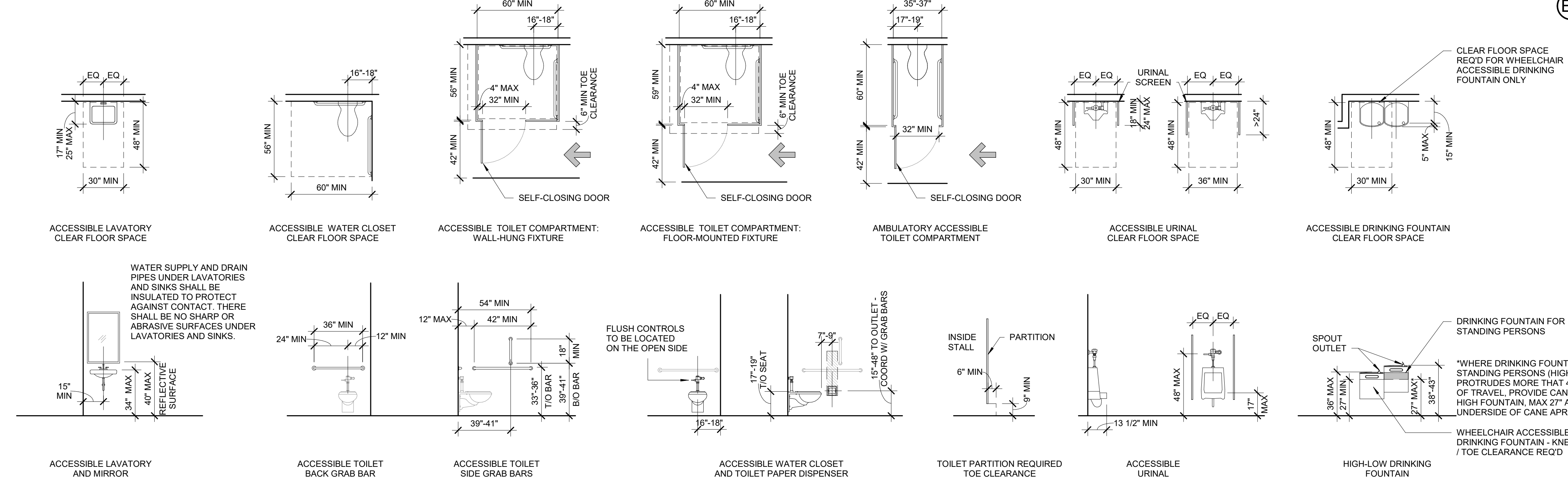
E1 DOOR HARDWARE MOUNTING HEIGHTS



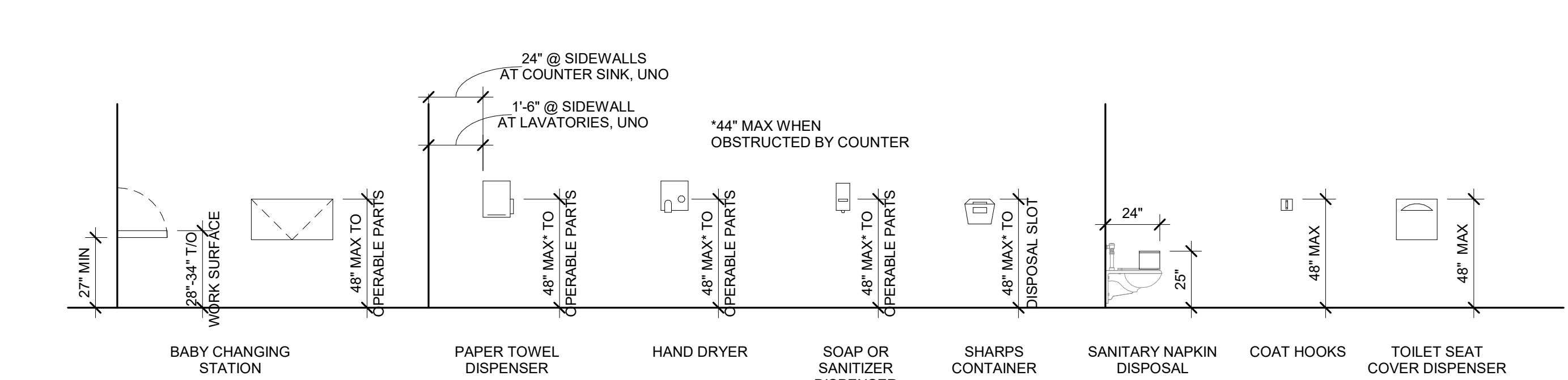
E2 MOUNTING HEIGHT OVER OBSTRUCTION



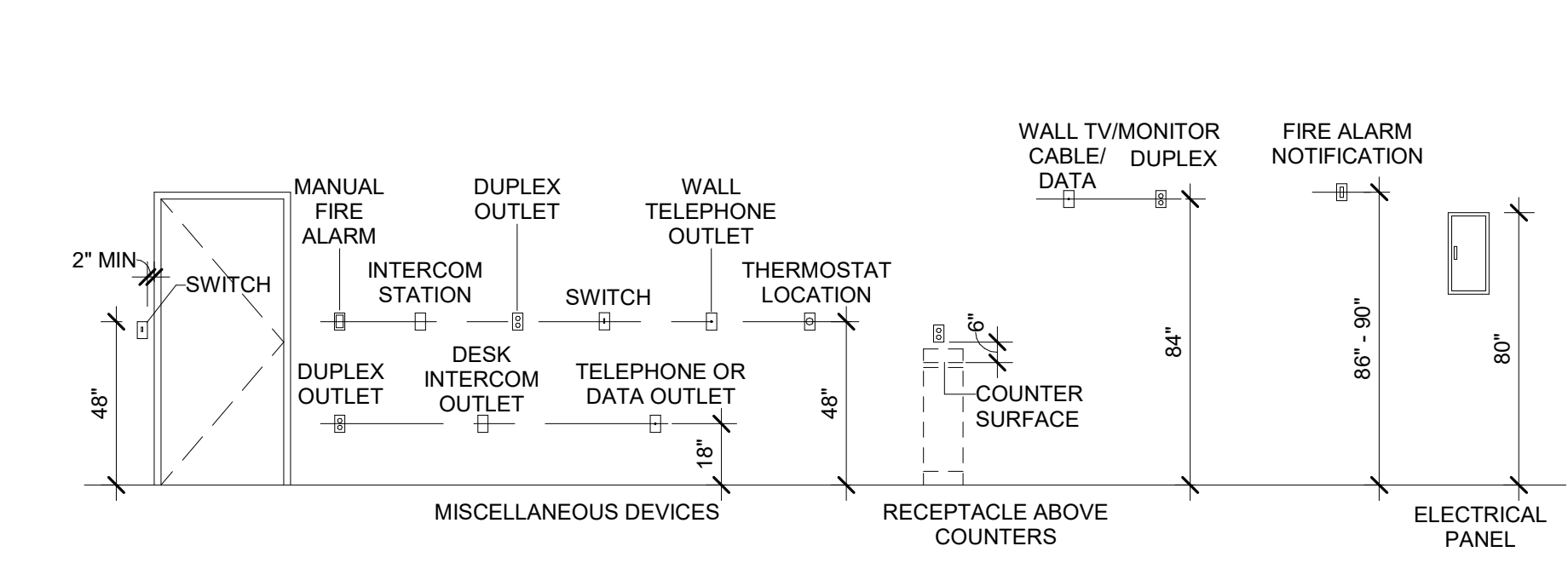
E3 GRAB BAR CLEARANCES - SECTION



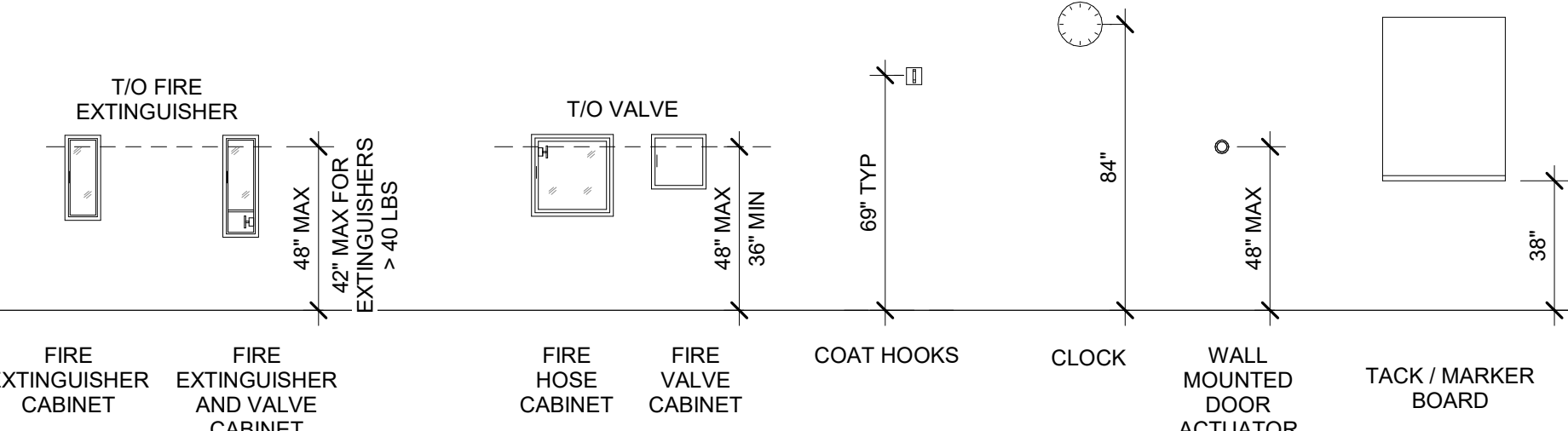
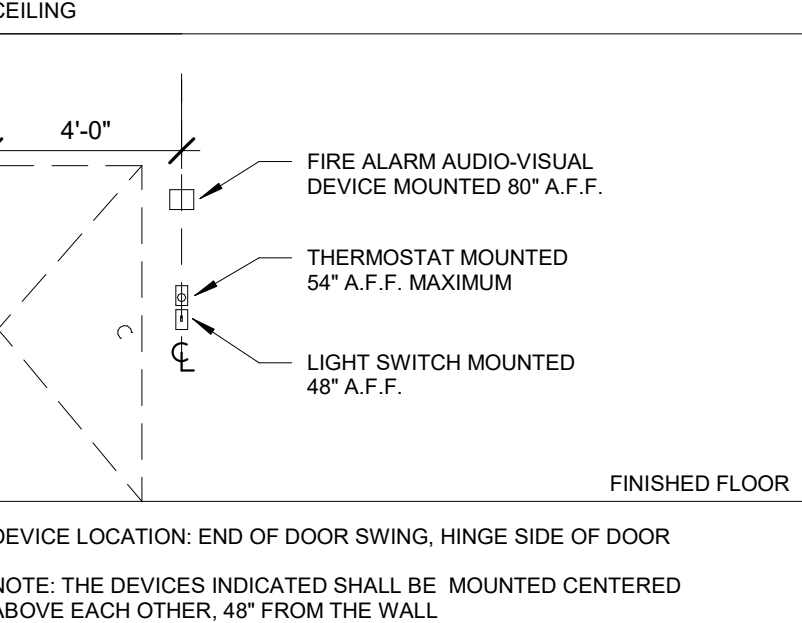
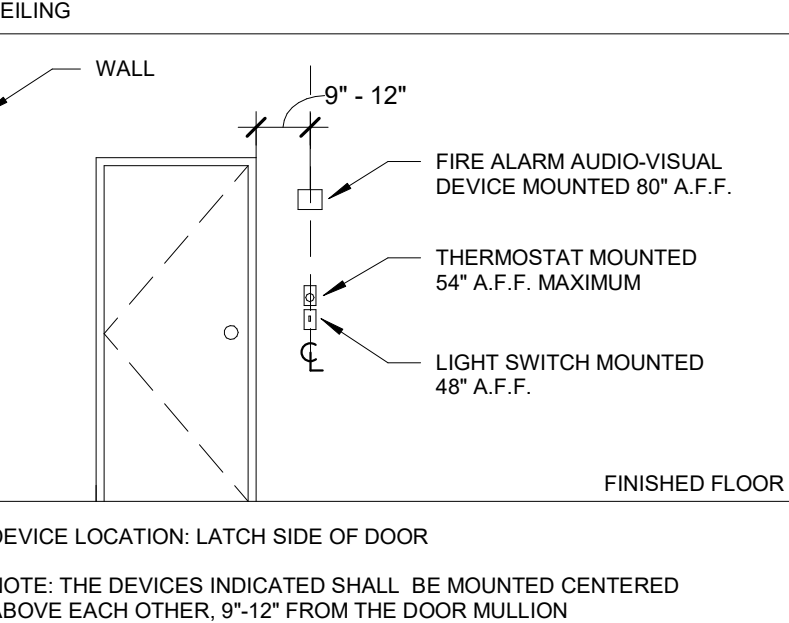
A3 ACCESSIBLE RESTROOM FIXTURE REQUIREMENTS



A4 ACCESSIBLE RESTROOM ACCESSORY MOUNTING REQUIREMENTS



A4.3 ELECTRICAL DEVICE MOUNTING HEIGHT



D4 OTHER ACCESSORY REQUIRED MOUNTING HEIGHTS

ACCESSIBILITY IMPROVEMENTS - GROUP A

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DRAWN: BGD
APPROVED: BGD
ISSUED FOR: BID AND PERMIT
DATE: 3/15/19
PROJECT NO: 183030-07
FIELD BOOK:

REQUIRED MOUNTING HEIGHTS AND DETAILS

G002

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	A	B	C	D	E	F
	PAINING CONTINUED INTERIOR PAINTING SCHEDULE CMU SUBSTRATES: LATEX LOW LUSTER EGGSHELL SYSTEM: a. PRIME COAT: INTERIOR/EXTERIOR LATEX BLOCK FILLER. b. PRIME COAT: INTERIOR/EXTERIOR LATEX BLOCK FILLER. c. INTERMEDIATE COAT: HIGH-PERFORMANCE EPOXY. d. TOPCOAT: HIGH-PERFORMANCE EPOXY. FERROUS METAL SUBSTRATES: LATEX WATERBORNE SEMIGLOSS ACRYLIC a. PRIME COAT: METAL PRIMER. b. INTERMEDIATE COAT: LATEX WATERBORNE SEMIGLOSS ACRYLIC ENAMEL c. TOPCOAT: LATEX WATERBORNE SEMIGLOSS ACRYLIC ENAMEL GALVANIZED-METAL SUBSTRATES: LATEX WATERBORNE SEMIGLOSS ACRYLIC a. PRIME COAT: METAL PRIMER. b. INTERMEDIATE COAT: LATEX WATERBORNE SEMIGLOSS ACRYLIC ENAMEL c. TOPCOAT: LATEX WATERBORNE SEMIGLOSS ACRYLIC ENAMEL GYPSUM BOARD SUBSTRATES: LATEX FLAT SYSTEM: a. PRIME COAT: INTERIOR LATEX PRIMER. b. INTERMEDIATE COAT: INTERIOR LATEX FLAT ENAMEL. c. TOPCOAT: INTERIOR LATEX FLAT ENAMEL. LATEX LOW LUSTER EGGSHELL SYSTEM: a. PRIME COAT: INTERIOR LATEX PRIMER. b. INTERMEDIATE COAT: INTERIOR LATEX LOW LUSTRE ENAMEL. c. TOPCOAT: INTERIOR LATEX LOW LUSTRE ENAMEL. TRANSPARENT WOOD FINISH – RED OAK TRIM AND PANELS: OIL STAIN AND WATERBORNE POLYURETHANE VARNISH: a. PRIME COAT: OIL STAIN. b. INTERMEDIATE COAT: WATERBORNE POLYURETHANE VARNISH. c. INTERMEDIATE COAT: WATERBORNE POLYURETHANE VARNISH. d. TOPCOAT: WATERBORNE POLYURETHANE VARNISH. RESILIENT FLOORING & WALL BASE SUBJECT TO PROJECT-SPECIFIC REQUIREMENTS, PROVIDE THE FOLLOWING (WHERE INDICATED): VINYL COMPOSITION TILE (VCT) MANUFACTURER: ARMSTRONG SERIES: IMPERIAL TEXTURE STANDARD EXCELOEN SIZE: 12"x12" COLOR: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE INSTALLATION: MONOLITHIC PATTERN. CLEAN AND PROVIDE WAX TOPCOAT AFTER INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS VINYL WALL BASE MANUFACTURER: ARMSTRONG SERIES: V48XX COVE ROLL SIZE: 4" HIGH COLOR: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE INSTALLATION: PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS TOILET COMPARTMENTS TYPE, SUBJECT TO PROJECT-SPECIFIC REQUIREMENTS: PHENOLIC-CORE UNITS – FLOOR ANCHORED MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: ACCURATE PARTITIONS CORPORATION – FLOOR ANCHORED. AMPKO – FLOOR ANCHORED BOBRICK WASHROOM EQUIPMENT, INC. – DURALINE SERIES, FLOOR ANCHORED GENERAL PARTITIONS MFG. CORP. – SERIES 40 GLOBAL STEEL PRODUCTS CORP. – FLOOR ANCHORED METPAR CORP. – CORINTHIAN FLOOR ANCHORED DOOR, PANEL AND PILASTER CONSTRUCTION: SOLID PHENOLIC-CORE PANEL MATERIAL WITH MELAMINE FACING ON BOTH SIDES FUSED TO SUBSTRATE DURING PANEL MANUFACTURE (NOT SEPARATELY LAMINATED), AND WITH EASED AND POLISHED EDGES. PROVIDE MINIMUM 3/4-INCH- (19-MM-) THICK DOORS AND PILASTERS AND MINIMUM 1/2-INCH- (13-MM) THICK PANELS. FACING SHEET COLOR: TWO COLORS IN EACH ROOM AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF COLORS. CORE COLOR: MANUFACTURER'S STANDARD DARK COLOR. PLASTER SHOES AND SLEEVES (CAPS): STAINLESS STEEL, ASTM A 666, TYPE 302 OR 304, NOT LESS THAN 0.0312 INCH (0.8 MM) SPECIFIED THICKNESS AND 3 INCHES (75 MM) HIGH, FINISHED TO MATCH HARDWARE. BRACKETS (FITTINGS): STIRRUP TYPE: EAR OR U-BRACKETS, STAINLESS STEEL. ACCESSORIES HARDWARE AND ACCESSORIES: MANUFACTURER'S STANDARD DESIGN, HEAVY-DUTY OPERATING HARDWARE AND ACCESSORIES, ADA-COMPLIANT MATERIAL: STAINLESS STEEL ANCHORAGES AND FASTENERS: MANUFACTURER'S STANDARD EXPOSED FASTENERS OF STAINLESS STEEL OR CHROME-PLATED STEEL OR BRASS, FINISHED TO MATCH HARDWARE, WITH THEFT-RESISTANT-TYPE HEADS. PROVIDE SEX-TYPE BOLTS FOR THROUGH-BOLT APPLICATIONS. FOR CONCEALED ANCHORS, USE HOT-DIP GALVANIZED OR OTHER RUST-RESISTANT, PROTECTIVE-COATED STEEL. FIRE-PROTECTION SPECIALTIES PORTABLE FIRE EXTINGUISHERS MANUFACTURERS: JL INDUSTRIES, INC. KIDDE FYRNETICS. LARSEN'S MANUFACTURING COMPANY. POTTER ROEMER; DIV. OF SMITH INDUSTRIES, INC. GENERAL: PROVIDE FIRE EXTINGUISHERS OF TYPE, SIZE, AND CAPACITY FOR EACH FIRE-PROTECTION CABINET AND MOUNTING BRACKET INDICATED. MULTIPURPOSE DRY-CHEMICAL TYPE IN STEEL CONTAINER : UL-RATED 4-A-60-B-C, 10-LB (4.5-KG) NOMINAL CAPACITY. WITH MONOAMMONIUM PHOSPHATE-BASED DRY CHEMICAL IN ENAMELED-STEEL CONTAINER. FIRE-PROTECTION CABINET MANUFACTURERS: JL INDUSTRIES, INC. – AMBASSADOR 1025 V17 LARSEN'S MANUFACTURING COMPANY. – ARCHITECTURAL SERIES, VERTICAL DUO POTTER ROEMER; DIV. OF SMITH INDUSTRIES, INC. – DUO VERTICAL PANEL (DV) 7040 RECESSED CABINET: CABINET BOX RECESSED IN WALLS OF SUFFICIENT DEPTH TO SUIT STYLE OF TRIM INDICATED. EXPPOSED FLAT TRIM: ONE-PIECE COMBINATION TRIM AND PERIMETER DOOR FRAME OVERLAPPING SURROUNDING WALL SURFACE WITH EXPOSED TRIM FACE AND WALL RETURN AT OUTER EDGE (BACKBEND) OF 1/4 TO 5/16 INCH (6 TO 8 MM). CABINET TRIM MATERIAL: ALUMINUM SHEET, EXTRUDED-ALUMINUM SHAPES DOOR MATERIAL: ALUMINUM SHEET. DOOR STYLE: VERTICAL DUO PANEL WITH FRAME. DOOR GLAZING: TEMPERED FLOAT GLASS (CLEAR) IDENTIFY FIRE EXTINGUISHER IN FIRE-PROTECTION CABINET WITH THE WORDS "FIRE EXTINGUISHER." 1) LOCATION: APPLIED TO CABINET DOOR. 2) APPLICATION PROCESS: PRESSURE-SENSITIVE VINYL LETTERS. 3) LETTERING COLOR: BLACK. 4) ORIENTATION: VERTICAL. FINISHES: MANUFACTURER'S STANDARD BAKED-ENAMEL PAINT FOR THE FOLLOWING: INTERIOR OF CABINET AND DOOR. ALUMINUM: CLEAR ANODIC. MOUNTING BRACKETS MOUNTING BRACKETS: MANUFACTURER'S STANDARD STEEL, DESIGNED TO SECURE FIRE EXTINGUISHER TO WALL OR STRUCTURE, OF SIZES REQUIRED FOR TYPES AND CAPACITIES OF FIRE EXTINGUISHERS INDICATED, WITH PLATED OR BAKED-ENAMEL FINISH. TOILET AND BATH ACCESSORIES SUBJECT TO PROJECT-SPECIFIC REQUIREMENTS, PROVIDE THE FOLLOWING (WHERE INDICATED): MANUFACTURER: BOBRICK B-6806 GRAB BAR – 18", 36", AND 42" LONG. REFER TO PROJECT-SPECIFIC LOCATIONS B-369 PAPER TOWEL DISPENSER/WASTE RECEPTACLE – WHERE INDICATED B-2111 SOAP DISPENSER – WHERE INDICATED B-2740 TOILET TISSUES HOLDER – WHERE INDICATED B-165 CHANNEL FRAME MIRROR 24" X 36"- WHERE INDICATED, SEE ELEVATIONS FOR MOUNTING HEIGHT. B-2706 NAPKIN/TAMPON VENDOR - CONFIRM DESIRED MODEL WITH OWNER	PLUMBING FIXTURES SUBJECT TO PROJECT-SPECIFIC REQUIREMENTS, PROVIDE THE FOLLOWING (WHERE INDICATED): LAVATORY: AMERICAN STANDARD LUCERNE ADA-COMPLIANT, WHITE FINISH LAVATORY FAUCET: ELKAY LK422L4 OR ELKAY LK804CF06T4 KITCHENETTE SINK: ELKAY LRAD221955 SINGLE BOWL ADA-COMPLIANT TOP-MOUNT, STAINLESS STEEL KITCHENETTE FAUCET: CHICAGO FAUCET 895-317 W/ ADA-COMPLIANT LEVERS AND GN8 SPOUT WATER CLOSET (FLOOR MOUNTED); AMERICAN STANDARD CADET 1.6GPF ADA-COMPLIANT, WHITE WATER CLOSET (WALL MOUNTED); AMERICAN STANDARD GLENWALL 1.6GPF ADA-COMPLIANT, WHITE URINAL (WALL MOUNTED); AMERICAN STANDARD SIPHON-JET TOP SPUD 1.0GPF, WHITE ELECTRIC WATER COOLER (SINGLE); ELKAY EZS4 WITH LKAZPREZL CANE APRON AT "HIGH" FOUNTAIN ELECTRIC WATER COOLER (HI-LO); ELKAY EZSTL8LC WITH LKAZPREZL CANE APRON AT "HIGH" FOUNTAIN				
1						
2						
3						
4						

ARCHITECTURAL SPECIFICATIONS

G004

DRAWN: BGD
APPROVED: BGD
ISSUED FOR: BID AND PERMIT
DATE: 3/15/19
PROJECT NO: 7183030-07
FIELD BOOK:

ACCESSIBILITY IMPROVEMENTS - GROUP A

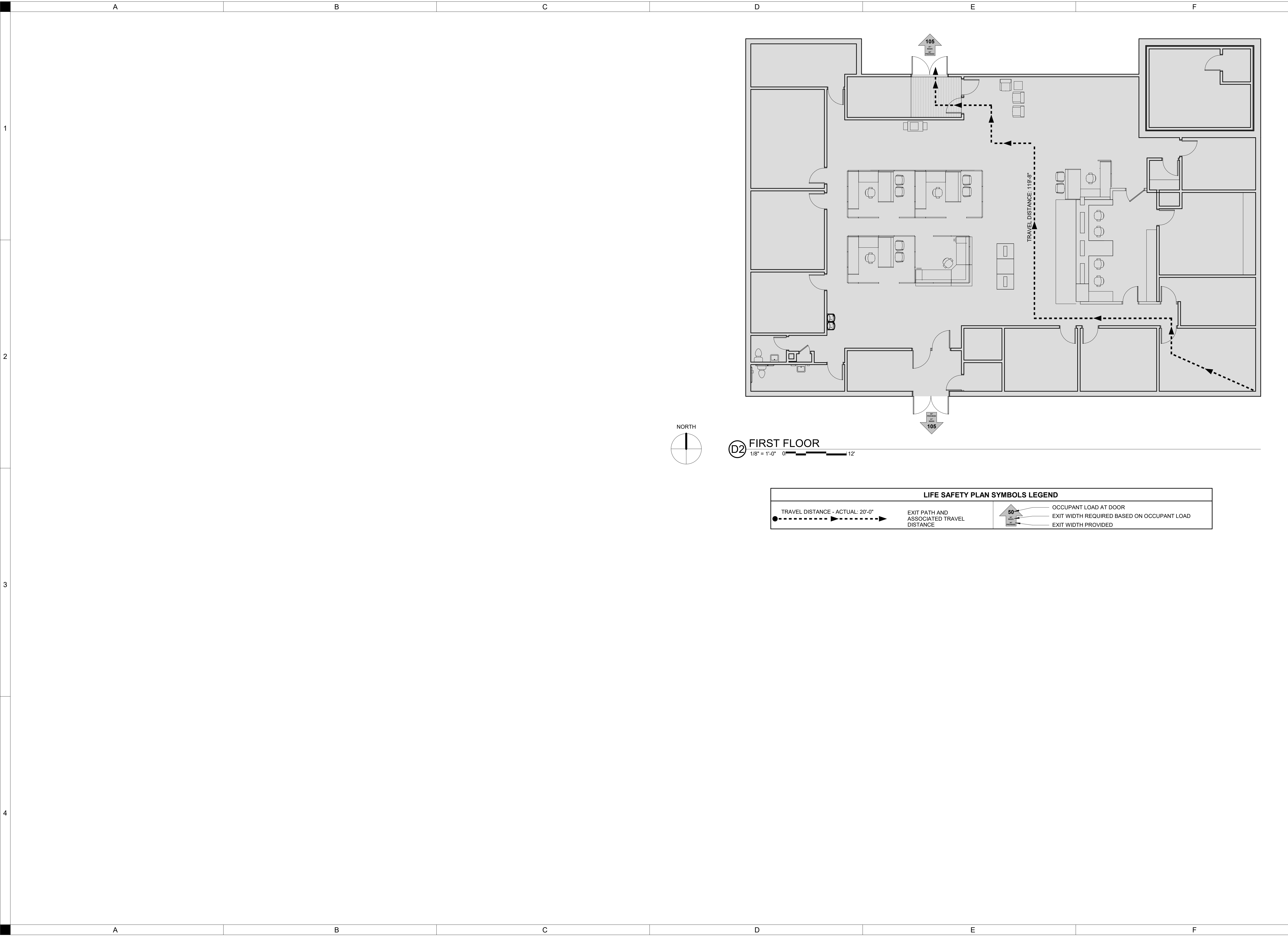
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Autodesk Revit 2019



LIFE SAFETY
PLAN

G010

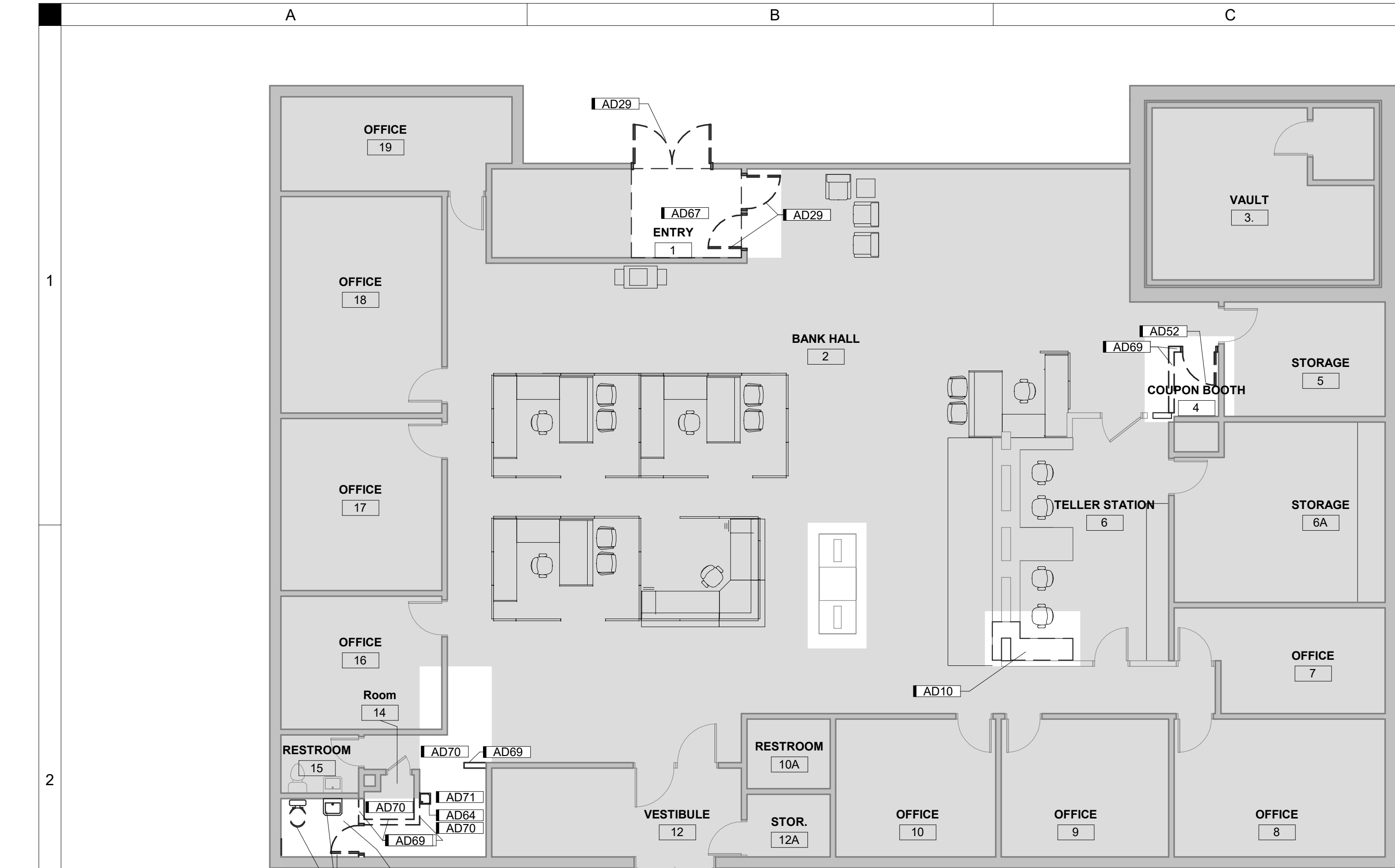
DRAWN: RWS
APPROVED: BGD
ISSUED FOR: BID AND PERMIT
DATE: 3/15/19
PROJECT NO: 718300-07
FIELD BOOK:

ACCESSIBILITY IMPROVEMENTS -
GROUP A

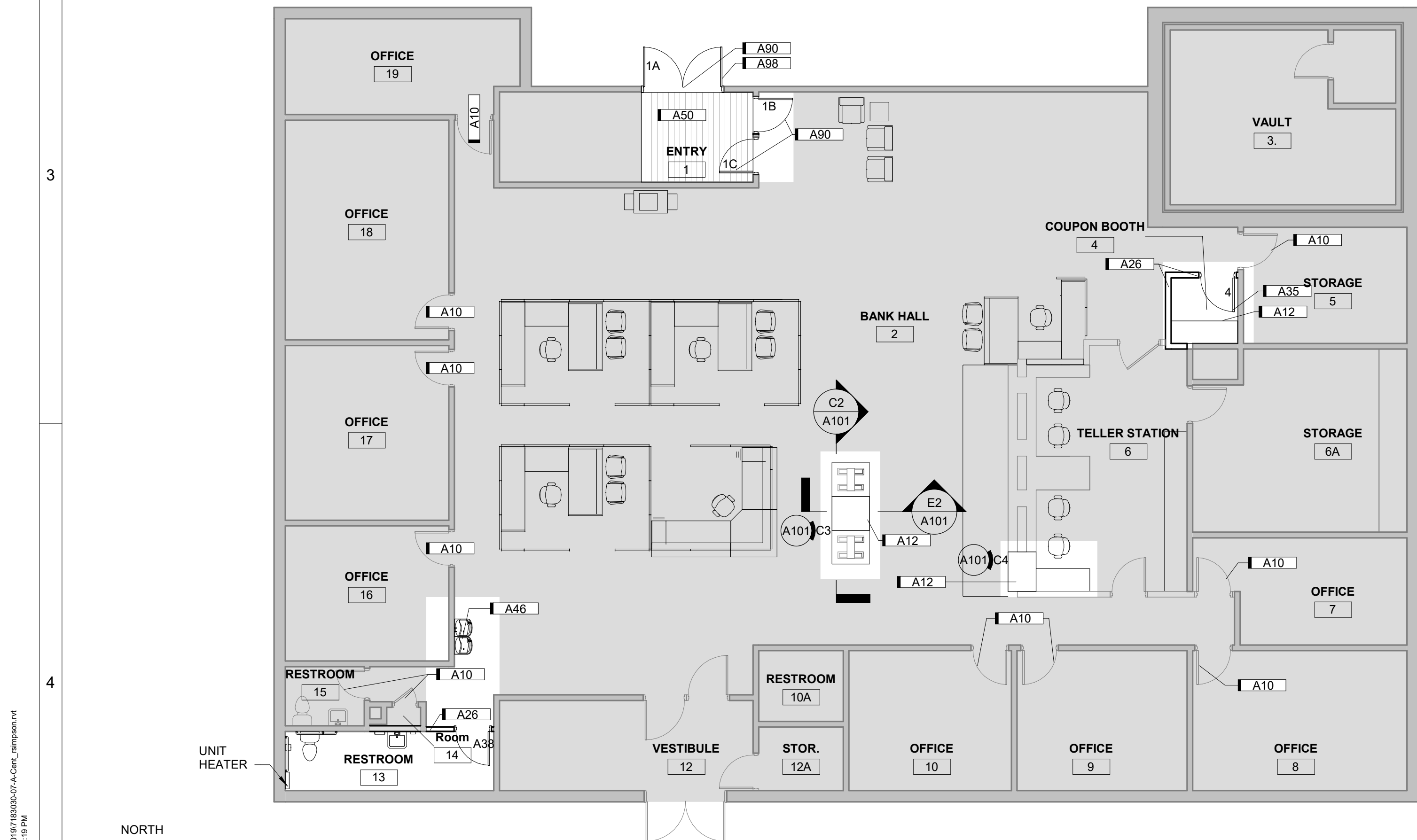
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100 EAST MAIN STREET, ASHLAND, WI 54806

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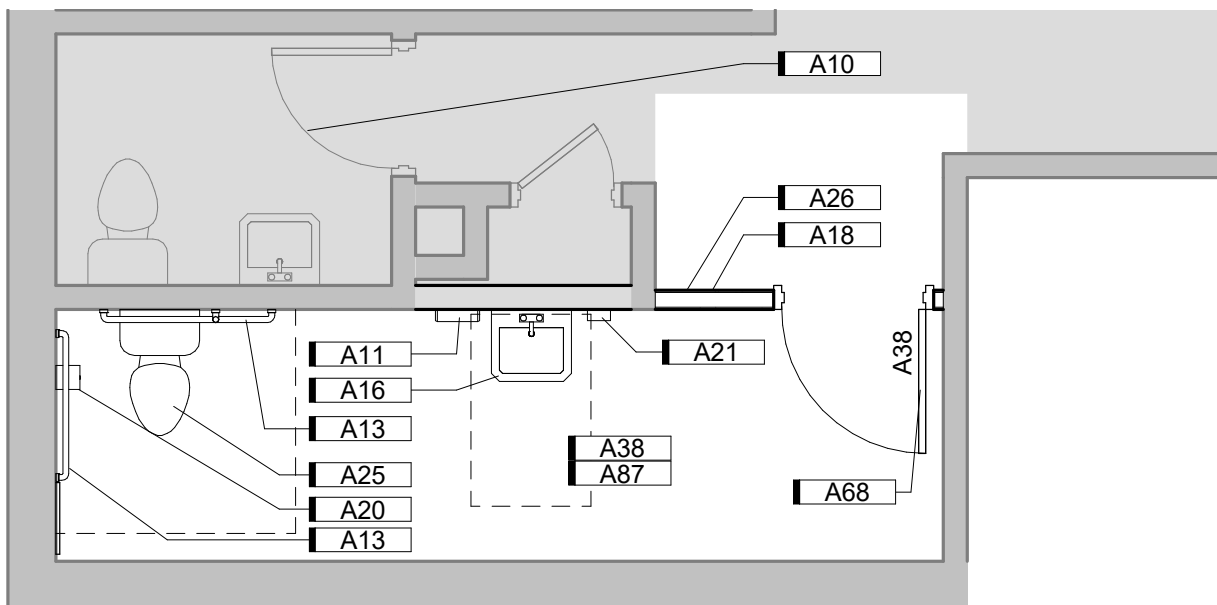
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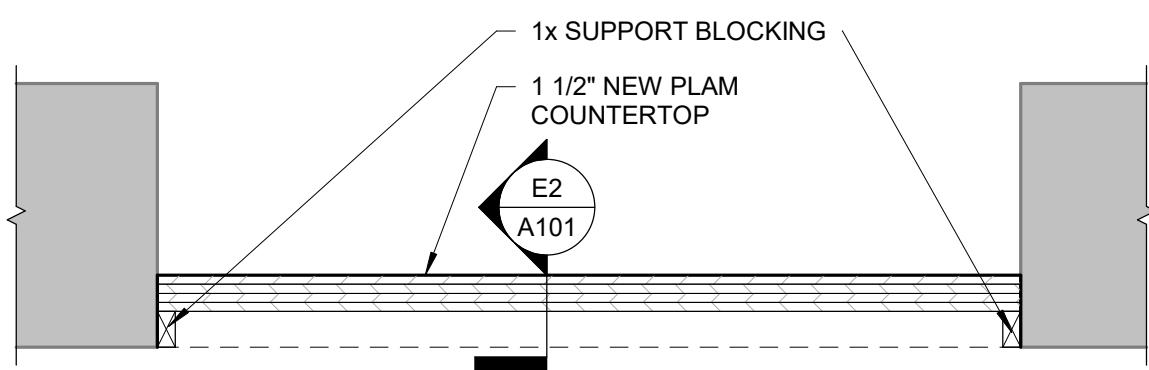
A3 FIRST FLOOR - Demo
1/8" = 1'-0" 0 12'



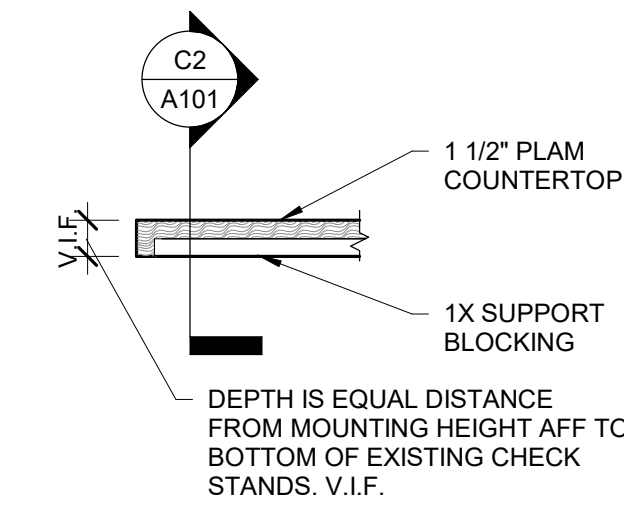
A4 FIRST FLOOR - Floor
1/8" = 1'-0" 0 12'



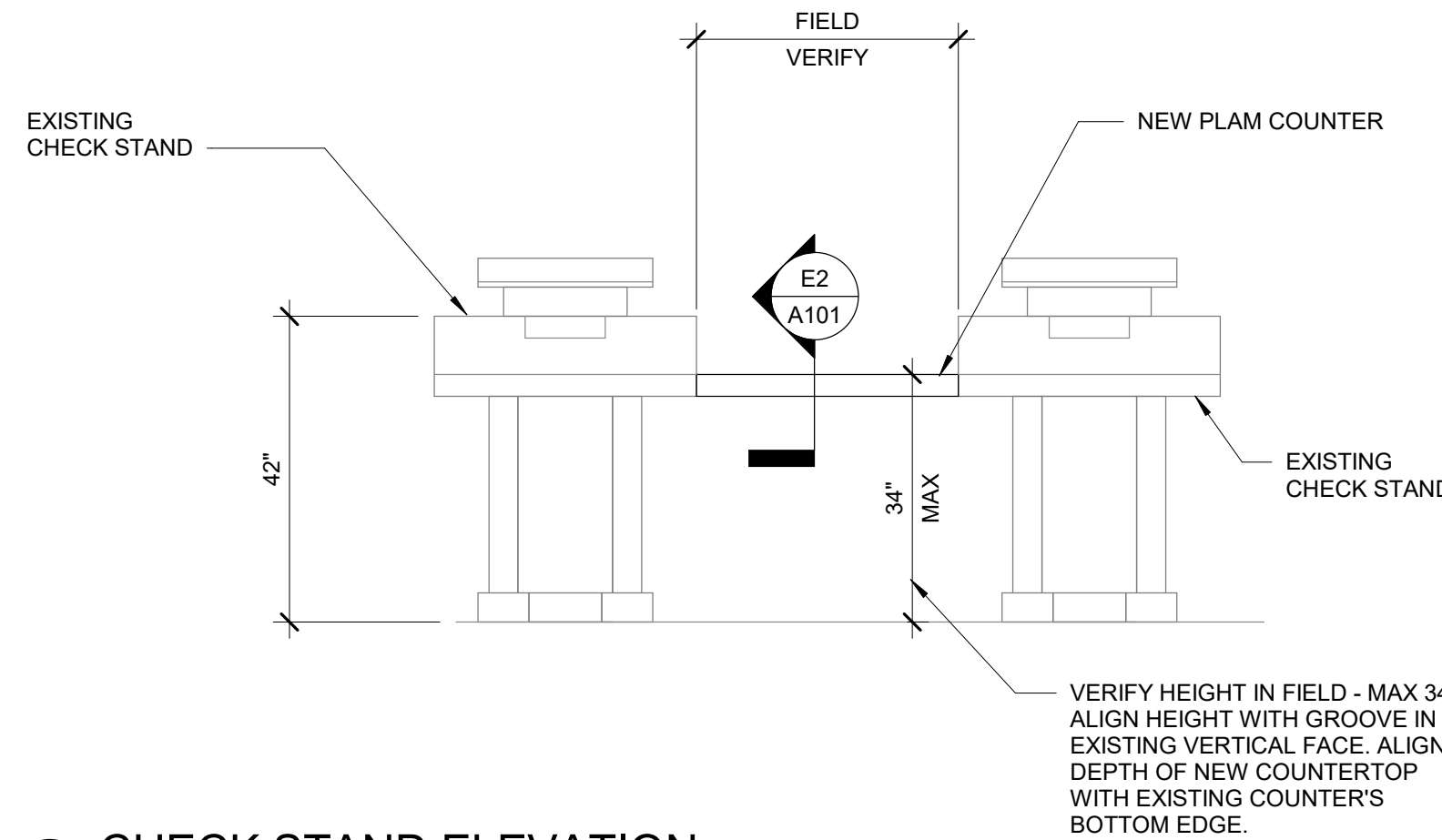
ENLARGED RESTROOM PLAN
1/4" = 1'-0" 0 6'



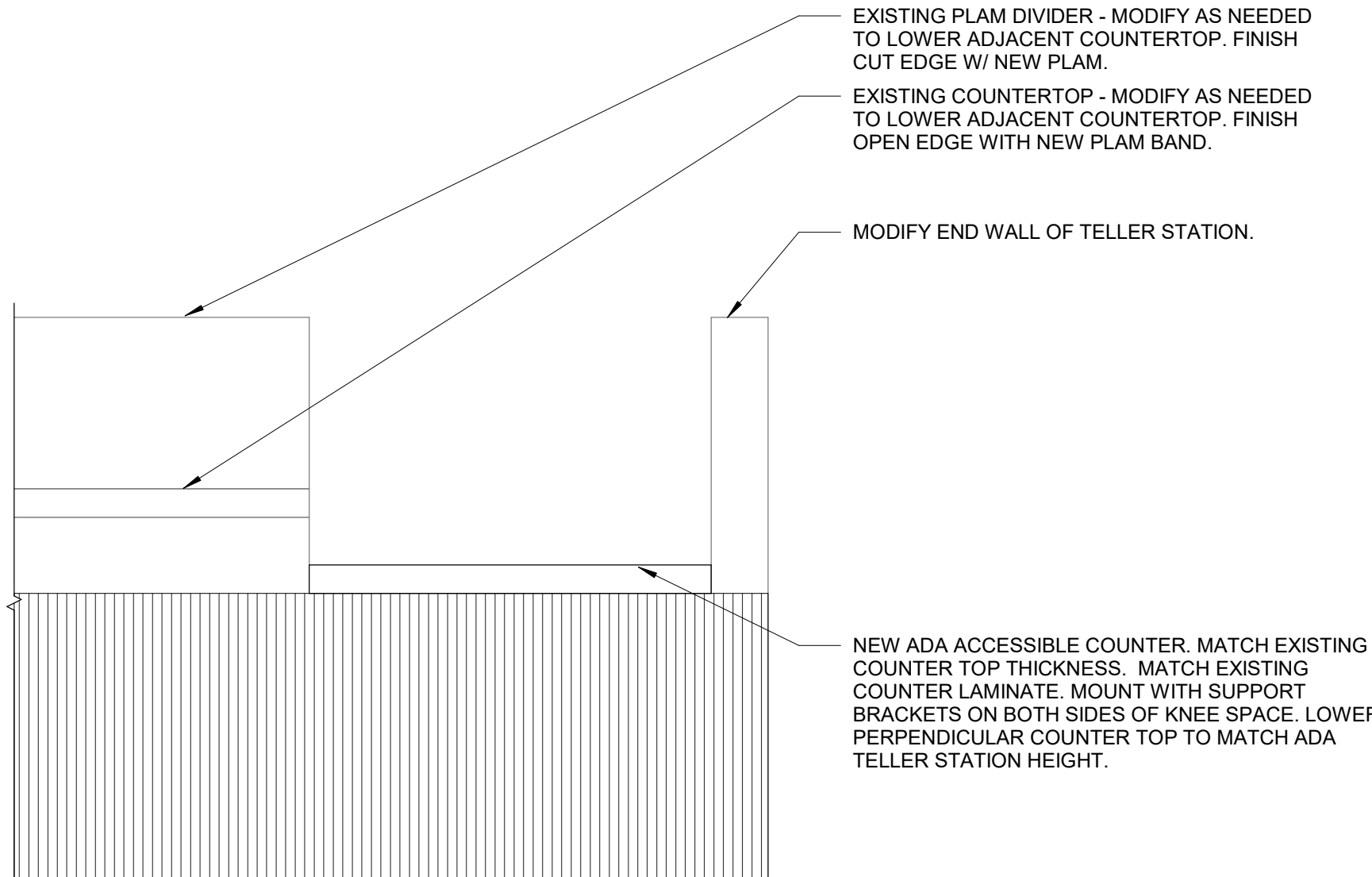
NEW ADA PLAM COUNTER AT CHECK STAND MOUNTING DETAIL
1 1/2" = 1'-0" 0 1'



NEW ADA PLAM COUNTER AT CHECK STAND SECTION
3/4" = 1'-0" 0 2'



C3 CHECK STAND ELEVATION
1/2" = 1'-0" 0 3'



C4 TELLER STATION ADA ADJUSTMENT ELEVATION
3/4" = 1'-0" 0 2'

GENERAL NOTES

ALL NECESSARY MECHANICAL, ELECTRICAL, PLUMBING, AND/OR FIRE PROTECTION INFRASTRUCTURE SHALL BE DESIGN/BUILD BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL PROCURE ALL NECESSARY PERMITS FOR THE COMPLETE SCOPE OF WORK AS REQUIRED. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.

PLAN LEGEND

AREA NOT IN CONTRACT

KEYNOTE LEGEND

KEY	NOTE
A10	PROVIDE NEW ADA COMPLIANT LOCKSET, MATCH EXISTING FUNCTION, SEE SPECIFICATIONS.
A11	EXISTING PAPER TOWEL/TRASH UNITS IN NEW LOCATION, MOUNT WITH OUTLET MAX 4' AFF
A12	NEW 1-1/2" PLAM COUNTERTOP AT ACCESSIBLE HEIGHT, MATCH EXISTING FINISHES, V.I.F., CONFIRM FINISH SELECTION WITH ARCHITECT. MODIFY AND REPLACE RELATED MILLWORK AS REQUIRED (SEE ELEVATIONS) MATCH EXISTING COUNTERTOP LENGTH AND WIDTH, PROVIDE ADDITIONAL SUPPORTS AS REQUIRED.
A13	NEW GRAB BAR(S), REFER TO G003 AND G004 - ARCHITECTURAL SPECIFICATIONS FOR DETAILS AND G002 FOR REQUIRED MOUNTING INFORMATION.
A16	NEW WALL-HUNG LAVATORY, REFER TO G003 AND G004 - ARCHITECTURAL SPECIFICATIONS FOR DETAILS AND G002 FOR REQUIRED MOUNTING INFORMATION.
A18	INSTALL ADA UNISEX RESTROOM SIGNAGE.
A20	REINSTALL SALVAGED TOILET PAPER DISPENSER, SEE REQUIRED MOUNTING INFORMATION.
A21	REINSTALL SOAP DISPENSER AT COMPLIANT HEIGHT.
A25	NEW FLOOR MOUNTED WATER CLOSET, PLUMBING TO BE REROUTED FROM CURRENT LOCATION, REFER TO G003 AND G004 - ARCHITECTURAL SPECIFICATIONS FOR DETAILS AND G002 FOR REQUIRED MOUNTING INFORMATION.
A26	NEW PARTITION, 1 LAYER EACH SIDE 5/8" GYPSUM WALLBOARD OVER 3-5/8" MTL STUDS TO MIN. 6' ABOVE CEILING.
A35	PROVIDE NEW WOOD DOOR AND HM FRAME, DOOR SHALL BE 36" WIDE, MATCH EXISTING HEIGHT AND FINISHES, V.I.F. PROVIDE NEW PUSH BUTTON OFFICE FUNCTION LOCKSET. SEE G002 AND G003.
A38	PATCH AND REPAIR CEILING TO MATCH EXISTING CONDITIONS AS REQUIRED.
A46	PROVIDE NEW HIGH-LOW EWC WITH CANE GUARD, TIE INTO EXISTING PLUMBING AND ELECTRICAL AS REQUIRED, REFER TO SPECIFICATIONS AND REQUIRED MOUNTING HEIGHTS FOR ADDITIONAL INFORMATION.
A50	INSTALL RECESSED WALK-OFF CARPET IN VESTIBULE TO EXTENT SHOWN, PROVIDE INTERFACE FLOOR ENTRY LEVEL/BLACK GLASSBACK TILE - STYLE #12901, COLOR #7187
A68	INSTALL NEW DOOR, FRAME, AND HARDWARE. SEE SPECIFICATIONS AND REQUIRED MOUNTING INFORMATION, MATCH EXISTING BUILDING DOORS FOR HEIGHT AND FINISH.
A87	PROVIDE 4"x4" CERAMIC TILE AT ALL WET WALLS TO 48" AFF MINIMUM, MATCH EXISTING TILE BASE, V.I.F., PROVIDE NEW SEMI-GLOSS PAINT FINISH ABOVE TILE AND AT ALL OTHER WALLS.
A90	NEW ALUMINUM DOUBLE ENTRY DOORS, MATCH EXISTING SYSTEM, COLOR, AND FINISH, TOP AND SIDE RAILS TO MATCH EXISTING WITH 10" CLEAR MIN. BOTTOM RAIL.
A98	PROVIDE INTERNATIONAL SYMBOL ADA ACCESS SIGN
AD10	MODIFY EXISTING MILLWORK TO PROVIDE COUNTERTOP MAXIMUM 34" AFF
AD13	REMOVE WATER CLOSET. DEMO/REROUTE EXISTING PLUMBING AS REQUIRED, PATCH REMAINING CONSTRUCTION AS REQUIRED
AD21	REMOVE EXISTING LAVATORY
AD24	REMOVE DOOR, FRAME, AND HARDWARE
AD29	REMOVE EXISTING DOOR
AD52	REMOVE DOOR AND FRAME
AD64	REMOVE EXISTING ELECTRIC WATER COOLER.
AD67	REMOVE PORTION OF EXISTING FLOOR TILE. PREPARE FLOOR TO RECEIVE PERMANENTLY INSTALLED WALK-OFF CARPET OR WALK-OFF SYSTEM.
AD69	REMOVE PORTION OF WALL, AS INDICATED IN ITS ENTIRETY. PATCH ADJACENT CONSTRUCTION AS NEEDED.
AD70	REMOVE CEILING IN AREA OF RESTROOMS AND CORRIDOR AFFECTED BY RESTROOM WORK. PREPARE AREA FOR NEW LAY-IN CEILING.
AD71	REMOVE FLOORING IN AREA OF RESTROOMS AND CORRIDOR AFFECTED BY RESTROOM WORK. PREPARE AREA FOR NEW CERAMIC TILE.

ACCESSIBILITY IMPROVEMENTS - GROUP A

FLOOR PLANS & DEMOLITION PLANS

A101

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SEAL

BMO HARRIS BANK
100 EAST MAIN STREET, ASHLAND, WI 54806

DRAWN: RWS
APPROVED: BGD
ISSUED FOR: BID AND PERMIT
DATE: 3/15/19
PROJECT NO: 183030-07
FIELD BOOK: