



City of Ashland, Wisconsin

601 Main Street West Ashland, WI 54806 www.coawi.org

PLAN COMMISSION

October 20, 2020 at 6:30pm via Go To Meetings.

The meeting is open to the public and anyone can join from their computer, tablet or smartphone at <https://global.gotomeeting.com/join/492478157>. The meeting can also be accessed by phone using United States (Toll Free): 1 866 899 4679 or United States: +1 (571) 317-3116 using Access Code: 492-478-157

AGENDA

1. Call to Order and Roll Call
2. Approval of Agenda
3. Consent Agenda
 - a. Approval of minutes from the October 6, 2020 Plan Commission meeting
4. Public Comment (non-agenda items)
5. Action Items:
 - a. Review and approval of a Site Plan to construct a new veterinary clinic on parcel 201-04896-0000, zoned Future Development (FD). Applicant: Margaret Koosmann/Ashland Area Vet Clinic
 - b. Review and recommendation of commercial proposal for redevelopment of the Timeless Timber site
6. Announcements/Reports/Comments/Questions
7. Adjournment

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information or speak about a subject, over which they have decision-making responsibility. Any governmental body at the above stated meeting will take no action other than the governmental body specifically referred to above in this notice. The City of Ashland does not discriminate on the basis of sex, race, creed, color, national origin, sexual orientation, age or disability in employment or provision of services, programs or activities. NOTE: Upon reasonable notice, the City of Ashland will accommodate the needs of disabled individuals through auxiliary aids or services. For additional information or to request this service, contact Megan McBride at (715) 682-7041.

City of Ashland – Plan Commission Meeting Minutes

A meeting of the Ashland Plan Commission was held on **Tuesday, October 6, 2020 at 6:30 p.m.** via GoToMeeting.

Committee Members Present: Matt Mackenzie, Katie Gellatly, Laurie Gregor, Ana Tochtermann, Mayor Lewis

Committee Members Absent: David Mettillie, John Beirl

Staff Present: Megan McBride, Lucas Phillips

Mayor Lewis opened the meeting at 6:30 p.m.

Agenda

1) Approval of Agenda

Motion to approve the agenda by Katie Gellatly, seconded by Matt Mackenzie. Passed unanimously.

2) Consent Agenda

Minutes will be amended to note that Ana Tochtermann did not ask a question regarding why the vet clinic was moving, instead this question was asked by Mayor Lewis.

Motion to approve the amended minutes from the September 15, 2020 Plan Commission meeting by Ana Tochtermann. Seconded by Matt Mackenzie. Passed unanimously.

3) Public Comment (non-agenda items)

None

4) Action Items

a) Review and vote on a Public Art Permit to install an eight (8) foot by sixty (60) foot mural at 315 Main St E. Applicant: Sue Martinsen/Ashland Mural Walk Project.

Megan McBride provided background regarding the public art permit – explaining that these permits come forward to consider the compatibility with the building where the mural will be placed, as well as the surrounding community. Staff recommends approval within these conditions, due to the number of murals in the surrounding downtown, as well as the mural contents which highlight the history of the Stagecoach/Cabbies building and the community members who have spent time there.

Sue Martinsen was present at the meeting and was able to show updated, color images of the proposed mural. She gave some background with her involvement with the Ashland Mural Walk Project. She explained that the mural has been in the works for a few years now, and this most recent mural will be on the east-facing wall of the

Stagecoach building. She explained that this mural differs from other murals in that it is more of a “collage” style celebrating the heyday of the building during the 1960s and 70s. She gave explanations of the characters depicted in the mural and the stories being told, including the connections between Cabbies and some of Ashland’s best-known musical groups, such as Badge.

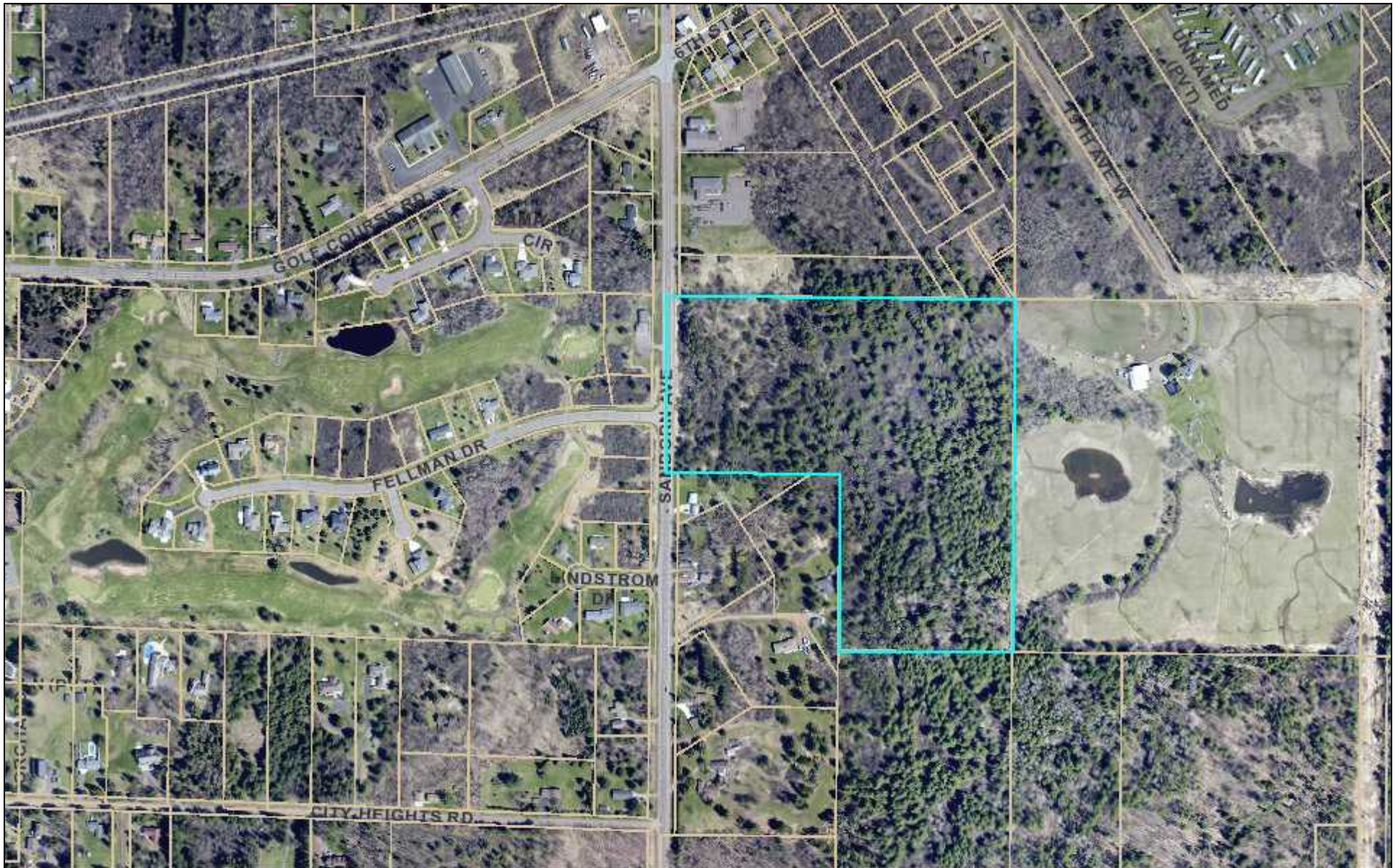
Motion to approve the Public Art Permit by Matt Mackenzie. Seconded by Mayor Lewis. Passed unanimously.

5) Adjournment

Motion to adjourn by Laurie Gregor. Seconded by Mayor Lewis. Passed unanimously.
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Meeting was adjourned at 6:43 pm. Minutes done by Lucas Phillips.

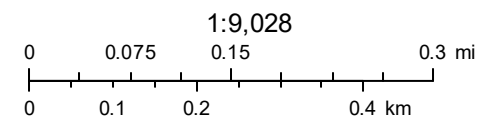
Parcel #201-04896-0000 Aerial Map



9/9/2020, 10:27:54 AM

Parcel Labels

 Parcel Mapping



City of Ashland Public Works Department, GIS Division
PICTOMETRY INTL

PROPOSED NEW BUILDING FOR:

ASHLAND AREA VETERINARY CLINIC

SANBORN AVENUE
ASHLAND, WI 54806

PROJECT NUMBER: 20-3493

GENERAL CONTRACTOR:
DYKSTRA CONSTRUCTION
50181 STATE HIGHWAY 13
ASHLAND, WI 54806

PROJECT TEAM

OWNER:	FMK PROPERTIES, LLC. 2700 FARM ROAD ASHLAND, WI 54806
ARCHITECT:	C&S DESIGN & ENGINEERING, INC. 2023 6th STREET WEST ASHLAND, WI 54806 P: 715-682-0330
STRUCTURAL ENGINEER:	C&S DESIGN & ENGINEERING, INC. 2023 6th STREET WEST ASHLAND, WI 54806 P: 715-682-0330
CONSULTANT:	N/A
PLUMBING DESIGNER:	PKMR ENGINEERING 13300 WEST 98TH STREET LENEXA, KS 66215 P: 913-492-2400
HVAC ENGINEER:	HVAC DESIGN SOLUTIONS W7094 SPENCER ROAD APPLETON, WI 54914 P: 920-419-3100
ELECTRICAL ENGINEER:	C&S DESIGN & ENGINEERING, INC. 2023 6th STREET WEST ASHLAND, WI 54806 P: 715-682-0330

SYMBOLS

	KEY NOTE
	ROOF SLOPE & DIRECTION
	WINDOW TAG
	DOOR TAG
	SLOPE OF SLAB
	INTERIOR ELEVATION TAG
	STEP/ELEVATION CHANGE
	ELEVATION MARKER
	WALL TYPE (SEE PLAN OR LEGEND FOR ADD. INFO)
	ROOF SLOPE
	GRID LINE
	BUILDING ELEVATION
	BUILDING SECTION
	WALL SECTION
	DETAIL/ENLARGED PLAN CALLOUT
	DETAIL CALLOUT

PROJECT DATA

PROJECT NAME:	ASHLAND AREA VETERINARY CLINIC
PROJECT ADDRESS:	SANBORN AVENUE ASHLAND, WI 54806
OWNER:	FMK PROPERTIES, LLC.
PARCEL NUMBERS:	201-04896-0000
LEGAL DESCRIPTION:	A PARCEL OF LAND LOCATED IN THE NW 1/4 OF NW 1/4, SECTION 8, T 47 N, R 4W, CITY OF ASHLAND, ASHLAND COUNTY, WISCONSIN
LAND AREA:	28.69 ACRES
DNR STORMWATER PERMIT REQUIRED:	OVER 1 ACRE DISTURBED YES NO ☒ ☐
ZONING DISTRICT:	FD - FUTURE DEVELOPMENT
GOVERNING CODES:	2015 INTL. BUILDING CODE 2015 INTL. ENERGY CONSERVATION CODE 2015 INTL. EXISTING BUILDING CODE 2015 INTL. FUEL GAS CODE 2015 INTL. MECHANICAL CODE ANSI A117.1-2009 ACCESSIBILITY CODE
OCCUPANCY GROUP:	B, S-2
CONST. TYPE:	VB
BLD GROSS AREA:	B = 4,038 SF S-2 = 642 SF TOTAL = 4,680 SF
PROJECT NET AREA:	B = 4,038 SF S-2 = 642 SF TOTAL = 4,680 SF
BLD VOLUME:	OVER 50,000 CF YES NO ☒ ☐
# OF STORIES:	1 STORY + MECHANICAL MEZZANINE
ALLOWABLE AREA:	9,000 SF / STORY
ALLOWED STORIES:	1 STORY
OCC. SEPARATION:	NONSEPARATED USES
REQ. SEPARATION:	N/A
SPRINKLERED:	YES NO ☐ ☒
FIRE ALARM SYS:	YES NO ☐ ☒
OCCUPANT LOAD:	(B) = 100 GROSS SF / OCC 4,038 / 100 = 41 OCCUPANTS S-2 = 300 GROSS SF / OCC 642 / 300 = 2 OCCUPANTS 44 TOTAL OCCUPANTS
EXITS REQ'D:	(B) = 1 EXITS FOR OCC LOAD < 49 (S-2) = 1 EXIT FOR OCC LOAD < 29
EXIT TRAVEL MAX:	(PER IBC TABLE 1017.2) = 200 FEET
PLUMBING FIXTURES:	B = 41 OCCUPANTS (21 MALE/FEMALE) S-2 = 3 OCCUPANTS (2 MALE/FEMALE) TOTAL = 22 MALE/22 FEMALE
W.C.:	= 1 PER X FEMALE, 1 PER X MALE
LAV.:	= 1 PER 40 FEMALE / MALE = 1 FEMALE & 1 MALE
D.F.:	= 1 PER 100 OCC = 1 TOTAL
PARKING:	N/A
STRUCTURAL LOADS:	GROUND SNOW LOAD: 60.0 psf FLAT ROOF SNOW LOAD: 41.6 psf SLOPED SNOW LOAD: 37.5 psf UNBALANCED SNOW LOAD: 85.3 psf (OUT 17.5' FROM RIDGE) ROOF LIVE LOAD (DESIGN USE): 85.3 psf (OUT 17.5' FROM RIDGE) 37.5 psf (FROM EAVE TO UNBALANCED)
ATTIC FLOOR LIVE LOAD:	
WIND LOAD (HORIZONTAL):	35.1 psf
WIND LOAD (VERTICAL):	30.5 psf (AT CORNERS IN 5.4') 21.2 psf (INTERIOR) 42.8 psf (AT ANY EAVES OR OVERHANGS)
WIND EXPOSURE:	C FULLY EXPOSED
SNOW EXPOSURE FACTOR C _e :	0.9
SNOW IMPORTANCE FACTOR I:	1.0
THERMAL FACTOR C _t :	1.1
SOIL BEARING CAPACITY:	1,500 PSF (CLAY)
CONCRETE COMP. STRENGTH:	4,000 PSI @ 28 DAYS
REINFORCING STEEL:	60,000 PSI TENSILE (GRADE 60)

GENERAL NOTES

- THE CONTRACTORS ARE TO KEEP A SET OF STATE APPROVED PLANS AT THE JOB SITE AT ALL TIMES.
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE CONTRACTORS BEFORE ANY WORK COMMENCES.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE STATE BUILDING, PLUMBING, ELECTRICAL, AND HVAC CODE CURRENTLY IN EFFECT.
- ALL STATE AND LOCAL BUILDING PERMITS WILL BE OBTAINED BY THE OWNER AND MUST BE POSTED AT THE JOB SITE BY THE CONTRACTOR, U.N.O.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE, OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE DESIGN PROFESSIONAL FROM ANY CLAIM OR SUIT WHATSOEVER ARISING FROM, OR ALLEGED TO HAVE ARISEN FROM, THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
- THE WORK UNDER THE CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC. FOR GENERAL CONSTRUCTION, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL CONSTRUCTION, AS APPLICABLE, FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL PRODUCTS AND MANUFACTURERS OF MATERIALS/FINISHES SET TO PER ARCHITECTURAL DRAWINGS OR SPECIFICATION. SUBSTITUTIONS OF EQUAL QUALITY AND PERFORMANCE PERMITTED AS APPROVED BY DESIGN PROFESSIONAL IN CHARGE.
- ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSTALLED AS PER MANUF. SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS, LOCATED PER PLAN.
- THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE.
- THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER, OR CHARGE OF, AND WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCE OR PROCEDURES IN REGARDS TO THE MANNER IN WHICH THE STRUCTURE IS BUILT.
- ALL PROPERTY LINES ARE ASSUMED UNLESS A CERTIFIED SURVEY MAP HAS BEEN PROVIDED FOR THE PROPERTY.
- ALL BUILDING SETBACKS ARE MEASURED FROM THE EAVE LINE OF THE BUILDING.
- THE CONTRACTOR IS TO HAVE ALL THE UTILITY LINES VERIFIED BY THE APPROPRIATE UTILITY LOCATING SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE A LOCATE DONE PRIOR TO BREAKING OF GROUND.
- THE CONTRACTOR SHALL BE AWARE OF ALL PRIVATE UTILITIES LOCATIONS SUCH AS WATER, SEWER, AND GAS.
- ALL DAMAGE TO EXISTING DRIVEWAYS, ROADWAYS, STREETS, CONCRETE SIDEWALKS, LAWNS, ETC. MUST BE RESTORED TO THE CONDITION THEY WERE BEFORE CONSTRUCTION COMMENCED.
- PROVIDE A MINIMUM OF 2% DRAINAGE SLOPE AWAY FROM THE ENTIRE PERIMETER OF THE BUILDING FOR THE FIRST 20 FEET, U.N.O.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF ERECTING BRACING, SHORING AND TEMPORARY SUPPORTS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND FINISH MATERIALS.
- THE GENERAL CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK, JOIN MATERIALS TO UNIFORM ACCURATE FITS SO THAT THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS, INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.
- ALL EXISTING BUILDING DIMENSIONS MUST BE FIELD VERIFIED.
- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR(S) TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES.
- ALL DIMENSIONS TO FACE OF STUD OR CONCRETE WALLS, U.N.O.
- SEE SITE PLAN FOR NOTES AND DIMENSIONS NOT SHOWN.
- SEE ELEVATIONS, INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR MATERIALS NOT CALLED OUT.
- IF APPLICABLE, THE FIRE RATINGS OF WALLS AND CEILINGS MUST BE MAINTAINED BEHIND ALL INSTALLED FIXTURES (BATH UNITS, VANITIES, CEILING FANS, ELECTRICAL BOXES, EXHAUST FANS, ETC.
- THE CONTRACTOR SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT-INS AND FINISHES.
- THE CONTRACTOR SHALL PROVIDE ALL OPERATING AND MAINTENANCE DATA AND ALL MANUFACTURER'S, INSTALLER'S AND APPLICATOR'S GUARANTEES, BONDS, WARRANTIES AND SERVICE INSTRUCTIONS.
- CONFIRM WINDOW OR DOOR NUMBER WITH MFR. AND SITE CONDITIONS. ALL OPERABLE WINDOWS AND DOORS SHALL HAVE REMOVABLE SCREENS.
- CONTRACTOR TO VERIFY R.O. REQUIREMENTS FOR WINDOWS & EXTERIOR DOORS WITH WINDOW MANUFACTURER PRIOR TO ORDERING.
- REFERENCE ELEVATIONS AND/OR BUILDING SECTIONS FOR WINDOW OPERATIONS.
- REFER TO ENGINEERED TRUSS DRAWINGS, IF APPLICABLE, FOR PLACEMENT OF TRUSS COMPONENTS. CONTRACTOR IS TO FIELD VERIFY ALL TRUSS DIMENSIONS BEFORE PRODUCTION OF TRUSSES.
- ALL GAS PIPING INSTALLATIONS SHALL COMPLY WITH NFPA 54-2015, NATIONAL FUEL GAS CODE.

INDEX TO DRAWINGS

ATS	TITLE SHEET
C100	SITE PLAN
C101	ENLARGED SITE PLAN
A100	FOUNDATION PLAN
A101	FLOOR PLAN
A102	ATTIC / ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A202	3D DRAWING
A300	SECTIONS
A600	SCHEDULES
E100	ELECTRICAL
E101	ATTIC ELECTRICAL

PROPOSED NEW BUILDING FOR:
ASHLAND AREA VETERINARY CLINIC
SANBORN AVENUE, ASHLAND, WI 54806

TITLE PAGE



2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdengineering.com

DESIGNED: **L.D.**

DRAWN: **T.L.P.**

SCALE: **AS NOTED**

DATE: **OCTOBER 2020**

PROJECT NO.
20-3493

REVISIONS:

APPROVED:

NOT FOR CONSTRUCTION OR FINAL PRICING

SHEET NO.

ATS

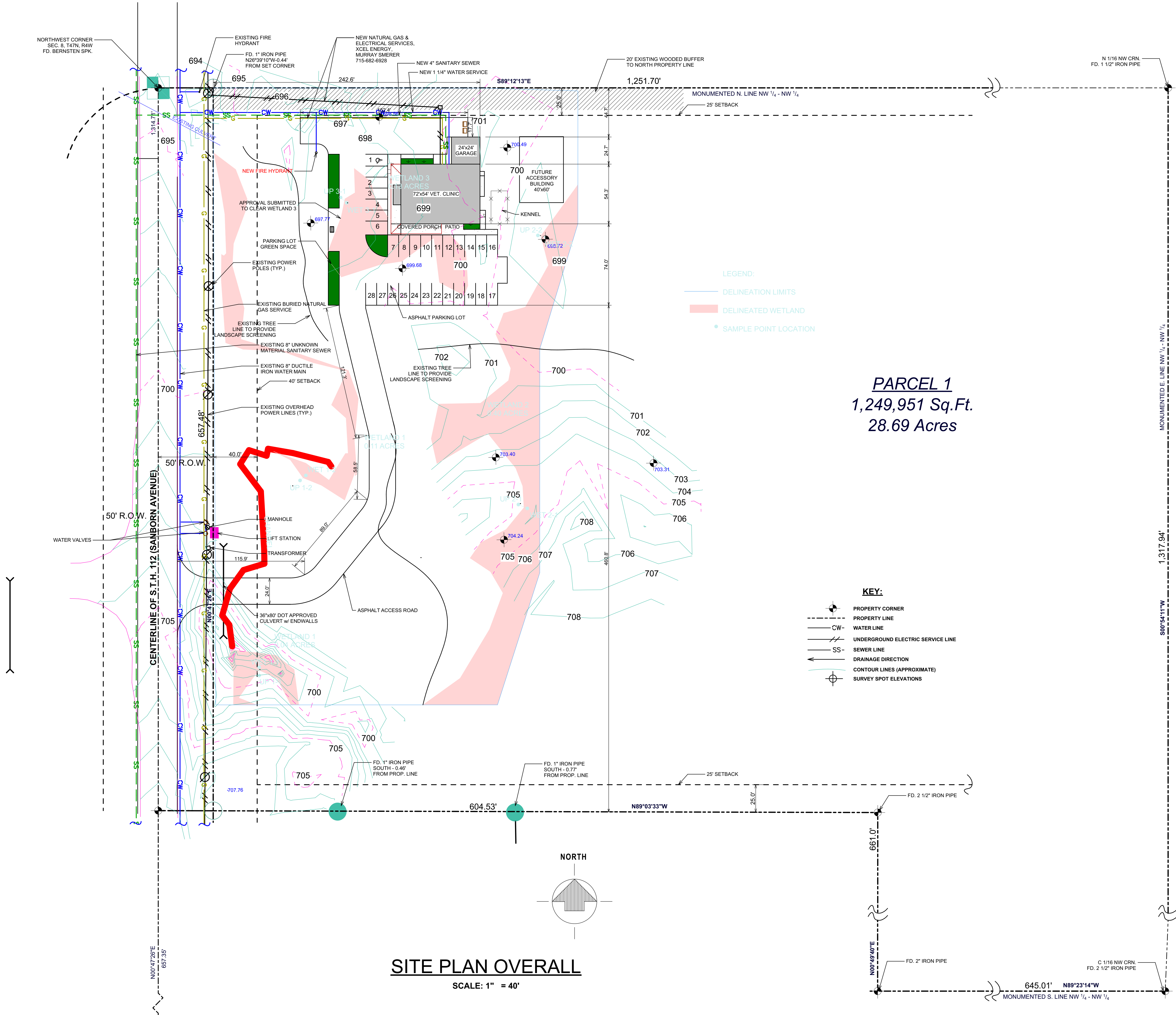
SUSTAINABLE FEATURES

IT IS OUR RECOMMENDATION THAT THE FOLLOWING ENVIRONMENTALLY SUSTAINABLE FEATURES BE CONSIDERED FOR THIS PROJECT:

- REUSED, RECYCLED, RECYCLABLE AND LOCAL BUILDING PRODUCTS SHOULD BE USED WHENEVER POSSIBLE.
- THE USE OF LOW V.O.C. PAINTS AND ADHESIVES SHOULD BE USED.
- NEW WINDOWS OR GLASS ARE TO HAVE LOW E GLASS WITH ARGON GAS AND MEET CURRENT ENERGY REQUIREMENTS. WATER CLOSETS ARE TO USE LOW FLOW OR DUAL FLUSH TECHNOLOGY.
- HEATING, VENTILATING AND AIR CONDITIONING UNITS ARE TO HAVE A MINIMUM OF 92% EFFICIENCY OR 14 SEER AND PROGRAMMABLE THERMOSTATS.
- THE USE OF LED LIGHT FIXTURES ARE TO BE USED ALONG WITH OCCUPANCY OR DAYLIGHT CONTROLS.
- EXISTING TREES ON SITE ARE TO BE PRESERVED AS MUCH AS POSSIBLE.

STANDARD ABBREVIATIONS

ABOVE FINISH FLOOR FIRE EXTINGUISHER ADDITIONAL ADJUSTABLE ALIGN WITH BELOW ALTERNATE ALUMINUM AMERICAN DISABILITIES ACT APPROXIMATELY	A.F.F. C.J. ADD. ADJ. A.W.B. ALT. ALLUM. ADA APPROX.	CONTRACTOR CONTROL JOINT COURSES CUBIC FOOT (AGE) FIX. FLASHING FLOOR FLOORING FLOOR PLAN FOOTING FOUNDATION FLUORESCENT	C.N.T. C.J. CRS. CF DET. DIM. DISP DR. DN. DS. D.F. DWG. (S)	FIRE EXTINGUISHER FIRE RATED FLASHING FLOOR FLOORING FLOOR PLAN FOOTING FOUNDATION FLUORESCENT GALVANIZED GAUGE GENERAL CONTRACTOR GLASS GYPSUM GYPSUM WALLBOARD HANDICAP ACCESSIBLE HARDWARE HEATER HEATING, VENTING, AND AIR CONDITIONING HEIGHT HIGH POINT HOLLOW CORE HOLLOW METAL HORIZONTAL HOUR	F.E. F.E.C. FR. FR. FLASHG FLR. FLRG FLRG F.P. FTG. FDT. FLUOR GALV. GA. G.C. GL. GYP. GYB. H.C. HDW. HTR. HVAC HGT. H.P. H.C. H.M. H.N.C. HORIZ. HR.	JANITOR JOINT JOIST LAMINATED LAVATORY LEVEL LIGHTING LINE LINOLEUM LONG LEG HORIZONTAL LONG LEG VERTICAL LOW POINT	JAN. JNT. JST. LAM. LAV. LVL. LTG. LN. LND. LLH LLV LP.	OVERFLOW DRAIN PAINT PAINTED PANEL PARTITION PERFORATED PLASTIC LAMINATE PLATE POLYVINYL CHLORIDE POUNDS PER SQUARE INCH PRESERVATIVE TREATED PROPERTY	O.F.D. PTD. PNL. PTN. PERF. PLAM. PL. PVC PSI P.T. PROP.	STEEL STORAGE STREET STRUCTURAL SUSPEND (ED) TELEPHONE THERMOPLASTIC POLYOLEFIN THICKNESS T.O. TOP OF CONCRETE TOP OF FOOTING TOP OF RAIL TOP OF STEEL TOP OF WALL TREATED TRENCH DRAIN TYPICAL UNDERWRITERS LABORATORIES UNLESS NOTED OTHERWISE VINYL COMPOSITION TILE VINYL WALL COVERING	STL. STOR. ST. STRUT SUSP. (D) TEL. TPO THK. T.O. T.O.C. T.O.F. T.O.R. T.O.S. T.O.W. T. TRT T.D. TYP. U.L. U.N.O. V.P. V.I.F. VERT. VCT. W.C. W.C.V. W.F. W.V.F. W.D.W. W. W/O W.D.
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PROPOSED NEW BUILDING FOR:

ASHLAND AREA VETERINARY CLINIC

SANBORN AVENUE, ASHLAND, WI 54806

OVERALL SITE PLAN



DESIGNED: L.D.

DRAWN: T.L.P.

SCALE: AS NOTED

DATE: OCTOBER 2020

PROJECT NO.

20-3493

REVISIONS:

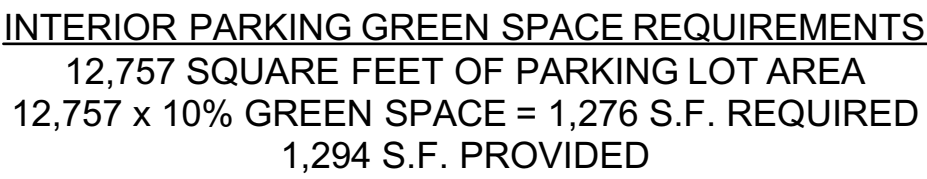
APPROVED:

**NOT FOR
CONSTRUCTION
OR FINAL PRICING**

SHEET NO.

C100

Diagram illustrating the Interior Parking Planting Plan. The plan shows a triangular arrangement of various plant species, including trees, shrubs, and groundcover, organized within a parking lot layout. The plan is labeled with a scale of 1/4" = 1'-0".

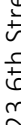


PROPOSED NEW BUILDING FOR:

ASHLAND AREA VETERINARY CLINIC
PROPOSED NEW BUILDING FOR:
SANDORN AVENUE ASHLAND WILSON

SANBORN AVENUE, ASHLAND, WI 54806

ENLARGED SITE PLAN



**DESIGN &
ENGINEERING**
with framework design inc

2023 6th Street West, Ashland, WI 54806

DESIGNED: **L.D.**

DRAWN: T.L.P.

SCALE: **AS NOTED**

DATE: **OCTOBER 2020**

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20-3493

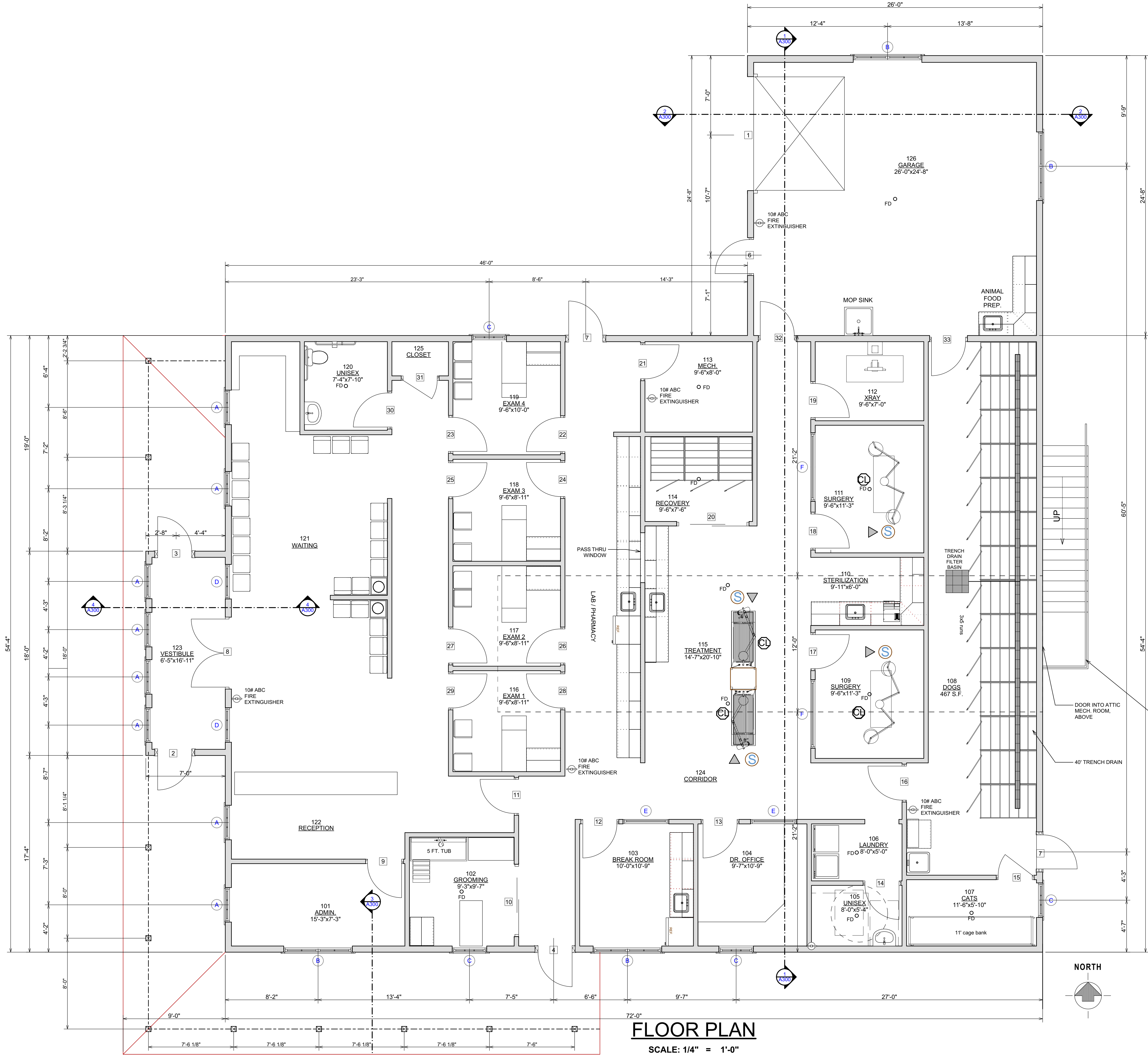
REVISIONS:

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OR FINAL PRICING**

SHEET NO.

C101



PROPOSED NEW BUILDING FOR:

ASHLAND AREA VETERINARY CLINIC

SANBORN AVENUE, ASHLAND, WI 54806

FLOOR PLAN



2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

DESIGNED: **L.D.**

DRAWN: **T.L.P.**

SCALE: **AS NOTED**

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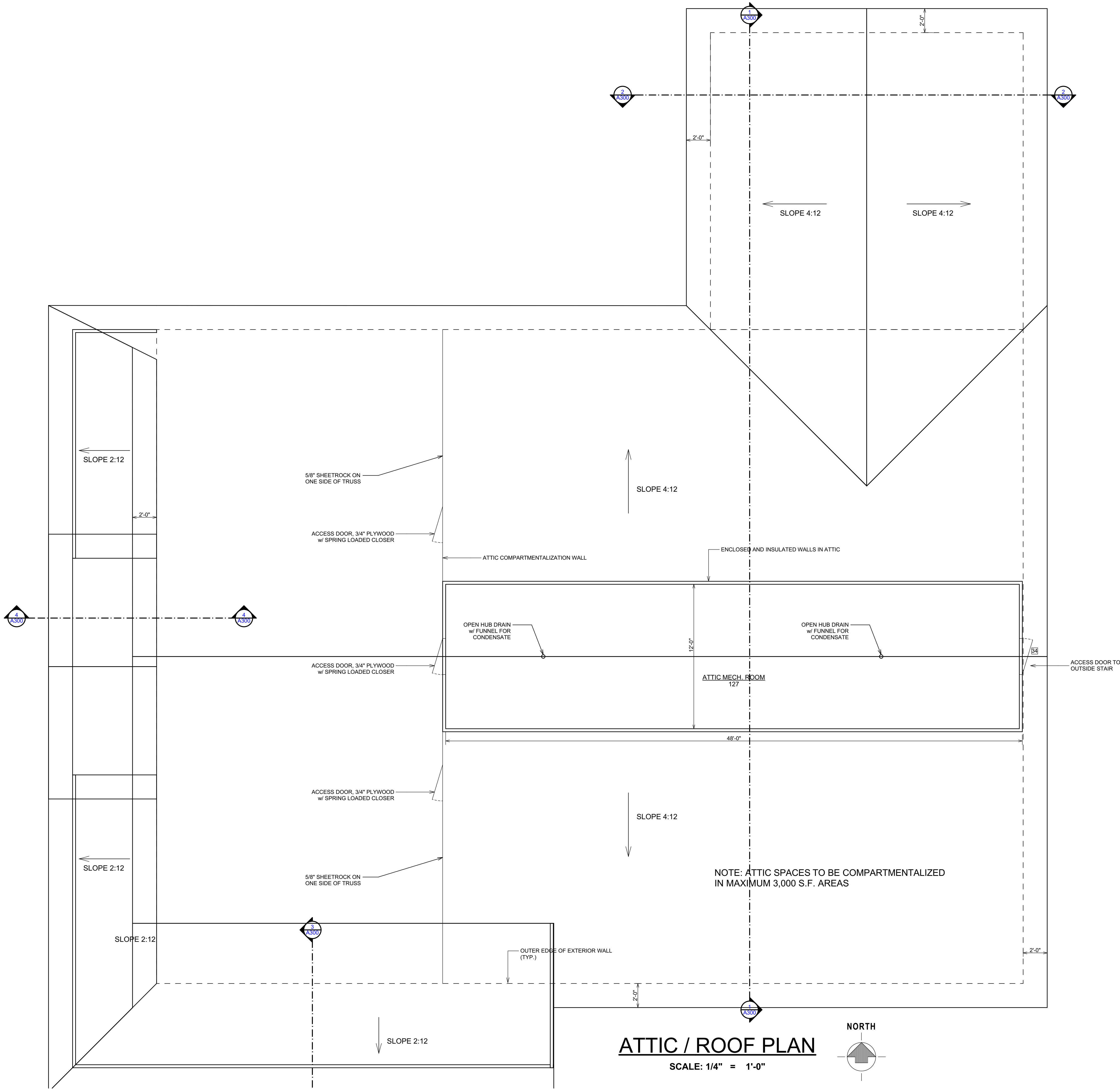
REVISIONS:

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SHEET NO.

A101



PROPOSED NEW BUILDING FOR:

ASHLAND AREA VETERINARY CLINIC

SANBORN AVENUE, ASHLAND, WI 54806

ATTIC / ROOF PLAN

DESIGN & ENGINEERING

with framework design inc

2023 6th Street West, Ashland, WI 54806

Telephone (715) 682-0330 www.csdesignengineering.com

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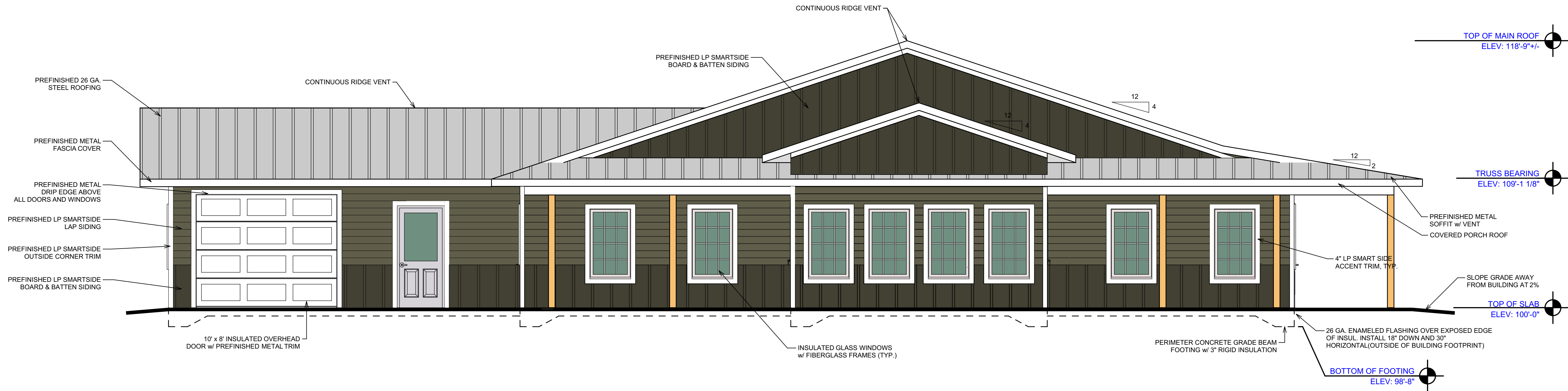
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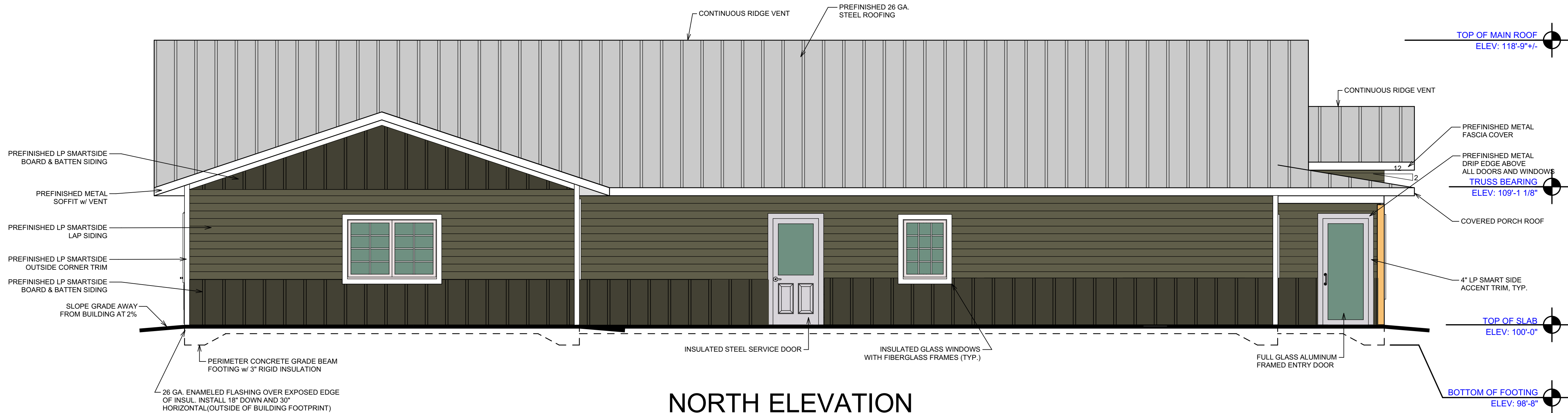
A102

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WEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED NEW BUILDING FOR:
ASHLAND AREA VETERINARY CLINIC

SANBORN AVENUE, ASHLAND, WI 54806

ELEVATIONS



DESIGNED: **L.D.**

DRAWN: **T.L.P.**

SCALE: **AS NOTED**

DATE: **OCTOBER 2020**

PROJECT NO. **20-3493**

REVISIONS:

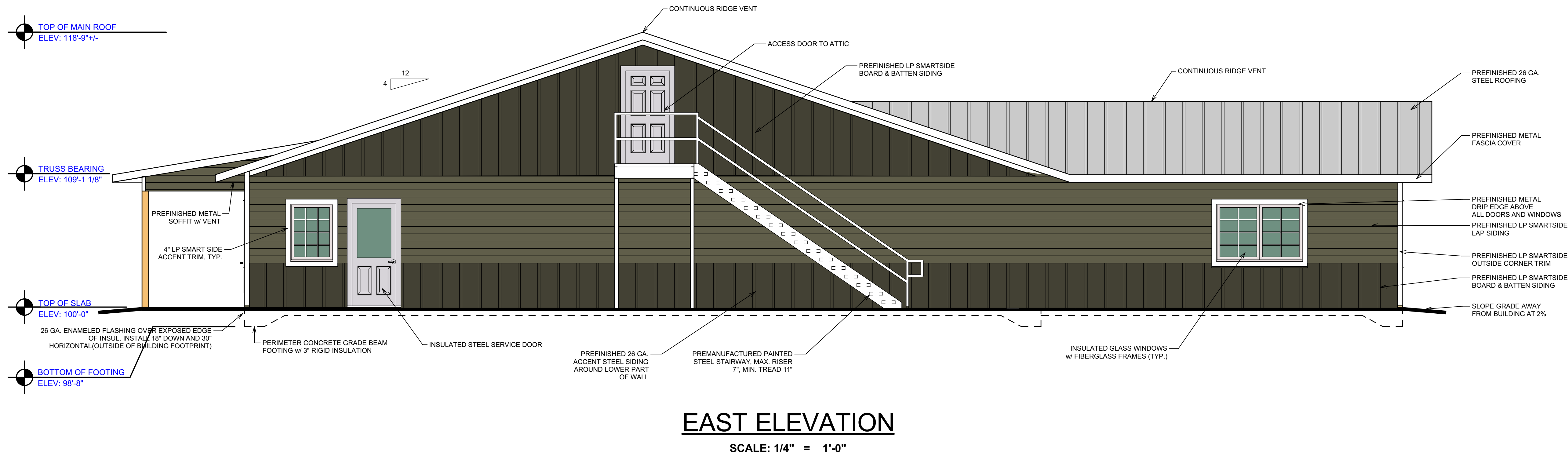
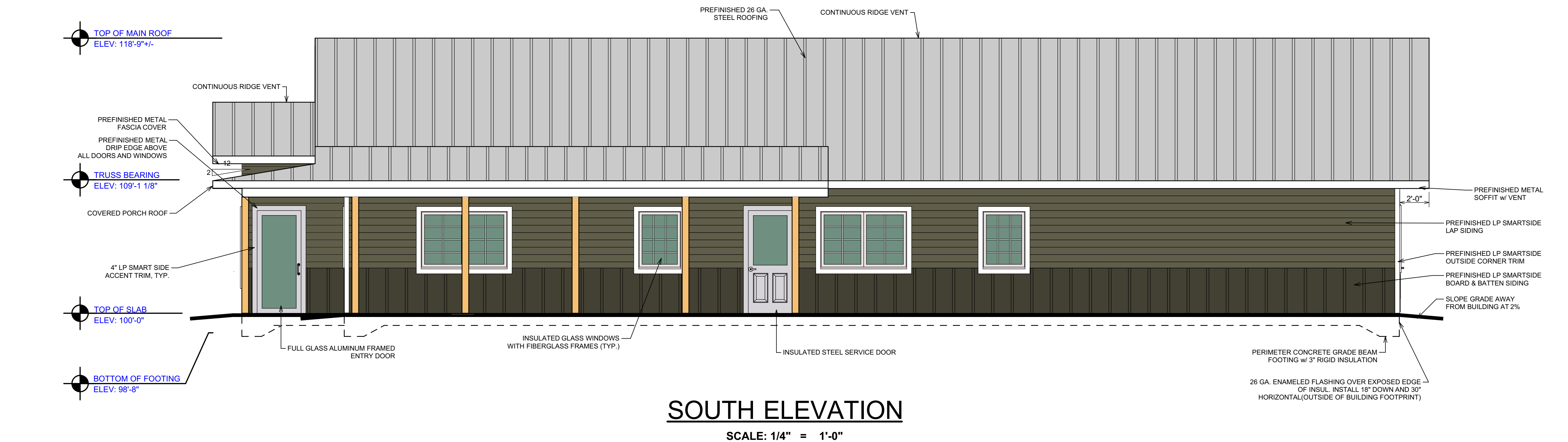
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SHEET NO.

A200

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ASHLAND AREA VETERINARY CLINIC

SANBORN AVENUE, ASHLAND, WI 54806

ELEVATIONS



DESIGNED: **L.D.**

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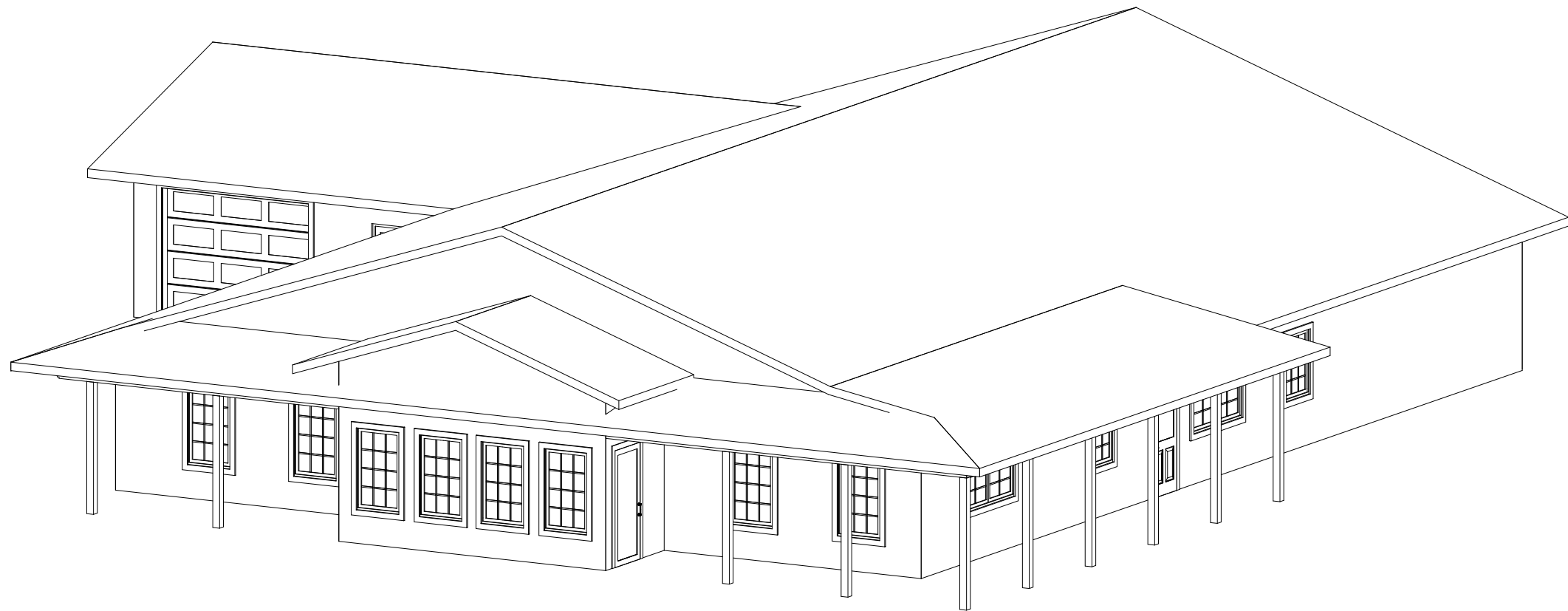
REVISIONS:

APPROVED:

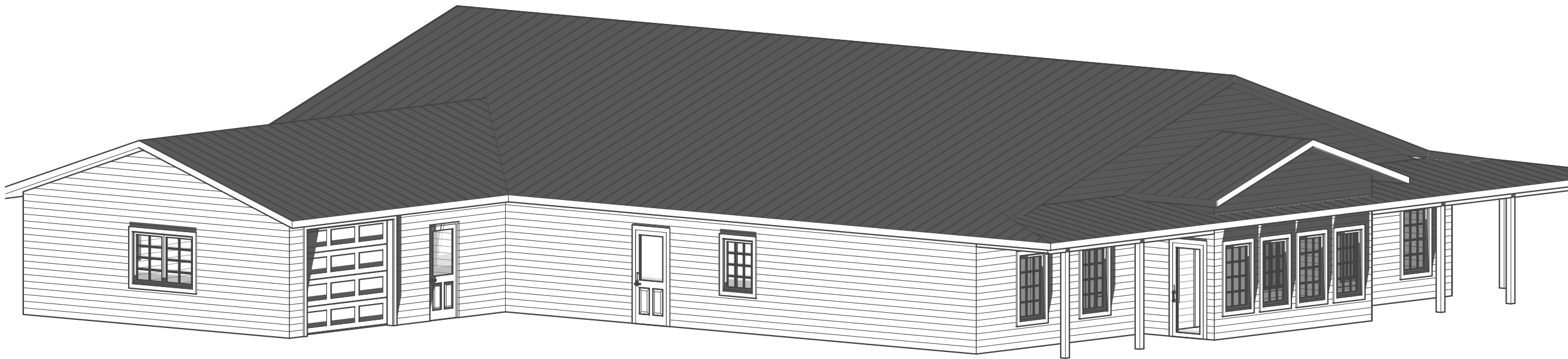
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CONSTRUCTION
OR FINAL PRICING**

SHEET NO.

A201



SOUTHWEST VIEW
NOT TO SCALE



NORTHWEST VIEW
NOT TO SCALE

PROPOSED NEW BUILDING FOR:

ASHLAND AREA VETERINARY CLINIC

SANBORN AVENUE, ASHLAND, WI 54806

3D DRAWING

DESIGN & ENGINEERING

with framework design inc

CS

2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

DESIGNED:	L.D.
DRAWN:	T.L.P.
SCALE:	AS NOTED
DATE:	OCTOBER 2020
PROJECT NO.	20-3493
REVISIONS:	
APPROVED:	NOT FOR CONSTRUCTION OR FINAL PRICING
SHEET NO.	A202



STAFF REPORT

Plan Commission – October 20th, 2020

Agenda Item # 5a: Site Plan review for a new vet clinic building
Applicant: Margaret Koosmann/Ashland Area Vet Clinic
Property Owner: Margaret Koosmann
Parcel No: 201-04896-0000
Zoning District: Future Development (FD), Gateway-Overlay (GTWY-O)
Staff Contact: Megan McBride

Background

Margaret Koosmann, owner of Ashland Area Vet Clinic, is requesting Site Plan approval for construction of a new veterinary clinic building on parcel #201-04896-0000. This site is located on Sanborn Avenue, directly across from Fellman Drive. The clinic will be 74' x 54' (3,996 sq ft) in size, with an attached 24' x 24' (576 sq ft) garage on the northeast corner of the building. They have also identified a location for a future 40' x 60' (2,400 sq ft) detached accessory structure located on the east side of the property, obscured from view from Sanborn Avenue by the principal structure. The proposed site plan would meet the needs for Ashland Area Vet Clinic to continue to serve area animals, while meeting the standards and intent of the Future Development and Gateway-Overlay zoning districts in which it is located.

Standards for Review

The City of Ashland's Unified Development Ordinance, Section 781 Section 3.20 Site Plan Approval (all subsections thereof), creates the legal framework to regulate, administer, and enforce the site plan review process for the City of Ashland.

Site Plan Review

The following criteria were used to review the submitted site plan:

1. Consistency with Comprehensive Plan.

The proposed development is consistent with the goals and principles established in the Comprehensive Plan, which specifically states that the City will not "permit development outside our city's core, so that demand can be channeled for greatest economic impact" (p. 19). While a veterinary clinic for small and large animals would not be a compatible use in the City Center district, this location along the 800 block of Sanborn Avenue is more centrally located than their current location on Farm Rd adjacent to Binsfield Rd. This will not only help an existing business to expand and construct a new building that meets their needs, while also drawing the 16 full-

time and 18 part-time jobs, along with their wide reach of clients, closer to other businesses and services in the economic center of the City.

2. Project Compatibility.

The proposed new building is compatible with the site on which it is located, the surrounding residential area, and its location in the Future Development (FD) and Gateway-Overlay (GTWY-O) zoning districts. The required 20ft landscape buffer strip between new commercial and existing residential units has been included on the north side of the property, which will provide needed neighbor protection for this property which is located in closest proximity to the new development. This 20' buffer will help create separation between the residential home and new commercial development, and shield views of incoming headlights which will face north as cars pull in. Existing trees will also be preserved on the west and south sides of the property, which will provide a significant buffer from the residential properties to the south, screen views of the parking area, and add stormwater management benefits.

3. Site Design

a. Site Organization.

The organization of buildings, driveways, parking areas, open spaces, outdoor kennels, landscaping, and other site features has been arranged to achieve a functional, safe, and harmonious site relationship. The parking area has been oriented to primarily be located to the side of the principal building, with minimal parking in front of the building, as is recommended for the Gateway-Overlay district. The kennel and future accessory structure have also been tucked behind the principal structure, as was discussed during the Conditional Use Permit consideration.

The site organization is also compatible with existing positive characteristics of the site. This large, 35-acre site predominantly consists of wooded areas and wetlands. Existing trees will be preserved on all side of the building as much as possible, which will provide stormwater management benefits as well as ample screening from Sanborn Avenue and adjacent residential uses.

b. Location of Buildings.

The principal building is located a minimum of 20 feet from the adjacent residential property to the north, with a landscaping buffer strip to separate them as is required in the UDO. The principal building is located so far north on the site to avoid conflict with existing wetlands. The principal building will be the primary focal point of the site, as is recommended in the Gateway-Overlay district. This will be achieved by locating the parking primarily to the south side of the building, the attached accessory structure set back from the front of the building, and locating the kennel and future accessory structure behind the principal building.

c. Drives, Parking, and Circulation.

Dimensions for all proposed parking and driveway areas conform to UDO standards.

- **Driveway.**

An access drive will connect Sanborn Avenue to the parking area from the south side of the lot. The driveway location is based on direction from the Department of Transportation (DOT), who has jurisdiction over this portion of Sanborn Avenue. In addition to any DOT approvals required, the developer will also be required to obtain a Right-of-Way Permit through the City Public Works Department in order to make this connection to public right-of-way. The driveway

is adequate width to accommodate clients, emergency vehicles, and large trucks which make periodic deliveries.

- Parking.

The proposed number of parking spaces (28) is below the maximum number of spaces allowed based on the number of full-time practitioners, and full-time staff at maximum shift (32 allowed). The required minimum 10% of parking area includes landscaping islands as indicated on the landscape plan. An ADA compliant space has been indicated on the site plan. The bicycle parking requirement has also been indicated on the west side of the parking area located in front of the building.

- Pedestrian Access.

A covered porch and walkway are proposed to provide accessible entrance to the clinic for all clients. The section of Sanborn Avenue in which this is located is DOT jurisdiction, so requiring sidewalk installation in the DOT right-of-way with no existing sidewalk in the area is not feasible. Installation of sidewalk along Sanborn Avenue south of 6th Street West would require larger planning efforts in partnership with the DOT.

- a. Grading / Drainage / Stormwater.

- Erosion Control – Silt fencing will be utilized for erosion control during construction.
- Stormwater/Drainage – Based on the area of land being disturbed for this development, review and permit issuance from the Wisconsin Department of Natural Resources (WDNR) will be required. Copies of WDNR approvals shall be submitted to the Planning & Development Department prior to Building Permit issuance.

- b. Utility Services.

Sanitary sewer infrastructure is currently located across Sanborn Avenue from the subject parcel, and thus will require DOT approval before any work can be done in the right-of-way to extend these utilities to the site. A recommended condition of Site Plan approval shall be review and approval of a full utilities plan by the City Public Works Department, including copies of DOT permit and City Right-of-Way Permit.

- c. Fire Prevention.

A new fire hydrant shall be installed on the southwest corner of the parking area to provide efficient access for the Fire Department. The City requires a Knox Box on all new construction and rehabs if the business is not open 24-7. Following final design of the plans, the applicant shall provide a CD copy of the final Building Floor Plan Layout and Utility Plan (in a .dxf format), for the Fire Department's pre-fire planning of the structure's layout. Such information shall be provided to the Fire Department prior to the issuance of the Occupancy Permit.

- d. Views.

The proposed development will not have a detrimental impact on any scenic vistas or view sheds. The site plan does utilize existing trees on site, as well as landscaping on the west side of the parking lot, to shield views of the parking area from Sanborn Avenue.

e. Environmental Issues.

The applicant is working to obtain necessary WDNR permits related to wetland exemption and/or mitigation. The wetland impacted by the proposed building area is non-jurisdictional, and documentation of WDNR approval shall be provided to the Department of Planning & Development prior to Building Permit issuance. There are no other known environmental considerations for the site.

f. Landscaping/Screening.

The proposed landscape plan conforms to all UDO standards, with the minimum 10% of the parking lot area including landscape islands. These landscape islands have a planting schedule included, which are primarily made up of native grasses and perennial flowers. Existing trees will be retained on all sides of the building to provide ample screening of the driveway and parking area to the south and west.

g. Signs.

Any new signage will require a Sign Permit to be obtained through the Planning & Development Department to ensure it conforms to UDO standards.

h. Lighting.

Any proposed exterior lighting shall require the electrician to submit full exterior lighting plans to the Planning & Development Department for review to ensure it conforms to all UDO standards. All exterior lighting must be full cutoff.

4. Building Design.

The proposed building design meets all design standards identified in the UDO for the Future Development district as well as Gateway-Overlay district. The siding will be comprised of board and batten and lap LP smart siding, with a steel roof. Materials have not yet been identified for the future accessory structure, but the finish shall also comply with UDO standards for the FD and GTWY-O zoning districts. A covered porch will be located on the south and west sides of the building, providing both aesthetic and functional value. The floor plan provided has been reviewed and approved by the Fire Department, who will also review full fire protection plans prior to issuance of the Building Permit.

5. Principles of Sustainability

Site features of this renovation/expansion that address principles of sustainability laid out in the UDO include:

- Reused, recycled, recyclable and local building products used whenever possible.
- The use of low V.O.C. paints and adhesives shall be used.
- New windows or glass will have low e glass with argon gas and meet current energy requirements.
- Water closets are to use low flow or dual flush technology.
- Heating, ventilating and air conditioning units are to have a minimum of 92% efficiency or 14 seer, and programmable thermostats.
- Led light fixtures are to be used along with occupancy or daylight controls.
- Existing trees on site are to be preserved as much as possible.

Review Recommendation

Staff recommends APPROVAL of the proposed site plan for the proposed construction of a new veterinary clinic building on parcel #201-04896-0000, subject to the following conditions:

- Approval of full utilities plan from Public Works Department, including copies of required DOT permits obtained to complete utility work.
- Submit copies of WDNR wetland permits or exemptions to Planning and Development Department for all impacted wetlands.
- Submit copies of WDNR approved stormwater management plan.
- Obtain Right-of-Way Permit from City Public Works Department for connection to Sanborn Avenue.
- Install a fire hydrant on the northwest corner of the parking area.



STAFF REPORT

Plan Commission – October 20, 2020

Agenda Item #5b:	Discussion & Recommendation on Proposal for Timeless Timber Commercial Redevelopment Site
Existing Zoning:	Regional Commercial (RC)
Property Address:	2200 Lake Shore Drive East
Parcel #:	201-03611-0200
Applicant:	EI TARASCO LLC
Staff Contact:	Megan McBride

Background

El Tarasco, LLC has submitted a proposal for construction of a new restaurant on the commercial redevelopment portion of the Timeless Timber site. Attached in the packet for consideration are a conceptual site plan for the restaurant, a cover letter from the developer, and an overview of the total project budget. El Tarasco, LLC is owned by Jose Alvarez, the current owner of El Dorado's restaurant in Ashland (among other locations in Wisconsin and Michigan).

The total project cost is estimated to be approximately \$1.2 million. The request from the developer for City support is contributing the land for no fee, which has an appraised value of \$331,000. The City will also work with the developer over the winter to apply for an Idle Sites Grant through Wisconsin Economic Development Corporation (WEDC) to assist with costs of utilities buildout prior to transfer of the property to the developer for construction in spring 2021. An additional item the developer would be responsible for as part of the development process, and was identified in the RFP, would be extending center turn lane on U.S. Highway 2. The City will assist with this process, but costs will be the responsibility of the developer.

If the proposed concept plan is approved, the City would move forward with drafting a Development Agreement with the developer, and preparing the WEDC grant application. The Development Agreement will specify the City's donation of the land, the developer performance milestones, and a reversion clause in the event that the development would not move forward for some reason. This proposed use would be a permitted use for the site, and therefore would only require a Development Permit through the Planning & Development Department and Site Plan approval from Plan Commission.

Development Goals for Site

Development goals identified in the RFP which the Plan Commission should consider in relation to this proposal include selecting a proposal which will:

- 1) Be compatible with the existing and future residential development;
- 2) Take advantage of the site's prime location on U.S. Highway 2;
- 3) Create taxable value which will benefit Tax Incremental District (TID) #9;
- 4) Facilitate urban infill development that creates additional commercial and economic development activity along with green space, landscaping and other amenities. The development should draw residents and/or visitors
- 5) Be feasible and demonstrate the developer's ability to complete the project and succeed in Ashland's market; and
- 6) Positively contribute to the local economy and overall community.

EI TARASCO LLC
819 MacArthur Avenue
Ashland, WI 54806

October 12, 2020

Megan McBride
City of Ashland
601 Main Street West
Ashland WI 54806

Dear Megan,

I am writing this letter to request consideration from the City to enter into an agreement to redevelop the former Timeless Timber site, located at 2200 Lakeshore Drive East. I am planning to redevelop the site to build a new restaurant.

I am requesting the land be given by the City as development incentive. I understand that I will be responsible for all other development costs. I have been working with C&S Design in Ashland and they have designed the building. The cost of the total project is estimated to be \$1,252,338. I have been working with Embers Credit Union in Marquette, MI and have tentative financing approval contingent on selection of this proposal by the City for redevelopment of the site.

I am currently a co-owner of the El Dorado restaurant in Ashland where we have been very successful for many years. The market supports the need for a larger restaurant that can seat more customers and provide a fine dining experience where it is relaxed and not rushed due to overcrowding. I would like to make this investment in Ashland and develop another business that will have success for many years to come.

I would intend to begin this project in the spring of 2021. Preliminary site plans and designs are included.

Thank you for consideration,

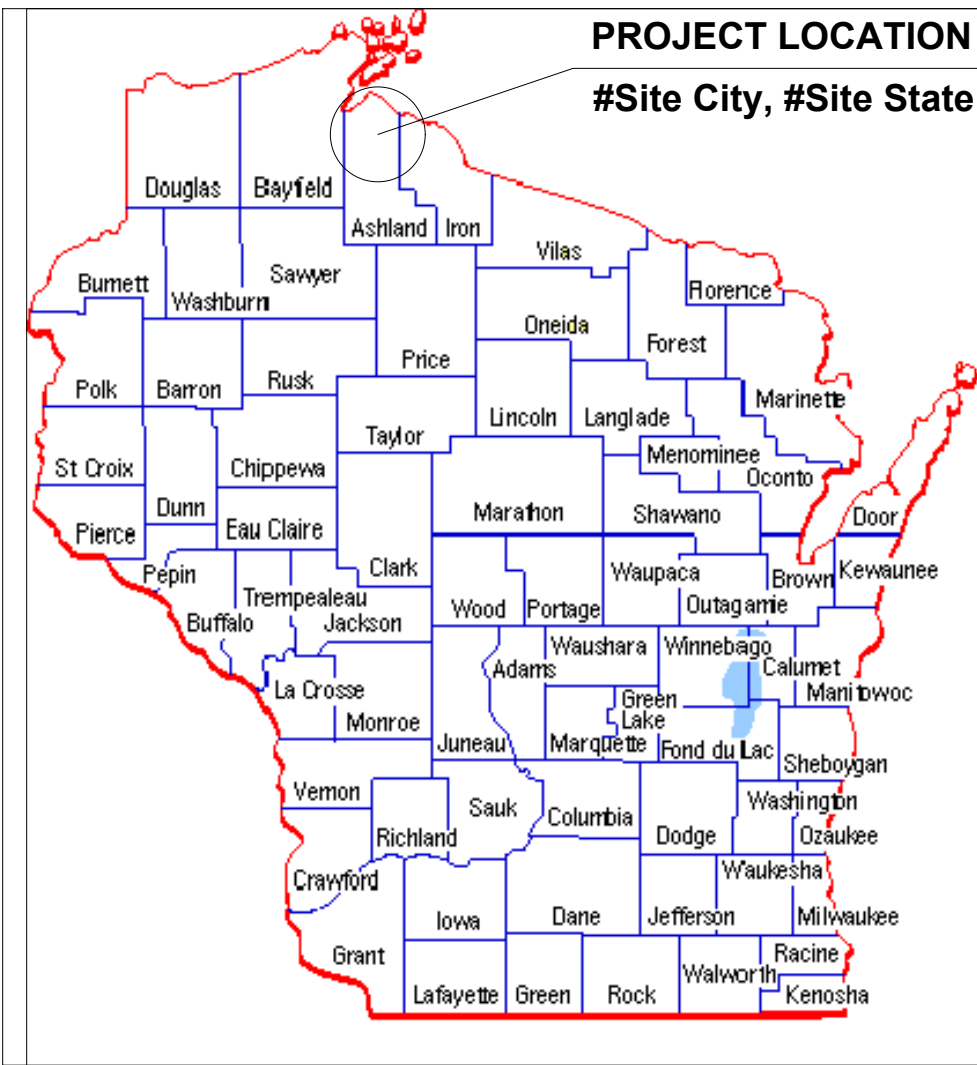
Jose J Alvarez
EI TARASCO LLC

PROPOSED FOR:

Ashland Area Development

2200 Lake Shore Drive East
Ashland, WI

PROJECT NUMBER: #20-3419



PROJECT TEAM

OWNER:	Jose Alvarez 715-292-2354
ARCHITECT:	C&S DESIGN & ENGINEERING, INC. 803 LAKE SHORE DRIVE WEST ASHLAND, WI 54806 P: 715-682-0330
STRUCTURAL ENGINEER:	C&S DESIGN & ENGINEERING, INC. 803 LAKE SHORE DRIVE WEST ASHLAND, WI 54806 P: 715-682-0330
CONSULTANT:	N/A
PLUMBING DESIGNER:	N/A
HVAC ENGINEER:	N/A
ELECTRICAL ENGINEER:	N/A

SYMBOLS

	KEY NOTE
	ROOF SLOPE & DIRECTION
	WINDOW TAG
	DOOR TAG
	SLOPE OF SLAB
	INTERIOR ELEVATION TAG
	STEP/ELEVATION CHANGE
	ELEVATION MARKER
	WALL TYPE (SEE PLAN OR LEGEND FOR ADD. INFO)
	ROOF SLOPE
	GRID LINE
	BUILDING ELEVATION
	BUILDING SECTION
	WALL SECTION
	DETAIL/ENLARGED PLAN CALLOUT
	DETAIL CALLOUT

PROJECT DATA

PROJECT NAME:	ASHLAND AREA DEVELOPMENT
PROJECT ADDRESS:	2200 LAKE SHORE DRIVE EAST ASHLAND, WI 54806
OWNER:	CITY OF ASHLAND
PARCEL NUMBERS:	201-03611-0200
LEGAL DESCRIPTION:	LOTS 3 THROUGH 12, BLOCK 49, ASHLAND PROPER & THE SOUTH 62 FEET OF VACATED 4TH STREET WEST ADJACENT TO LOTS 6 AND 7, CITY OF ASHLAND, ASHLAND COUNTY, WISCONSIN
LAND AREA:	29.27 ACRES
ZONING DISTRICT:	RC - REGIONAL COMMERCIAL GATEWAY OVERLAY
GOVERNING CODES:	2015 INTL. BUILDING CODE 2015 INTL. ENERGY CONSERVATION CODE 2015 INTL. EXISTING BUILDING CODE 2015 INTL. FUEL GAS CODE 2015 INTL. MECHANICAL CODE ANSI A117.1-2009 ACCESSIBILITY CODE CITY OF ASHLAND UNIFIED DEVELOPMENT ORDINANCE
OCCUPANCY GROUP:	
CONST TYPE:	
BLD GROSS AREA:	
PROJECT NET AREA:	
BLD VOLUME:	
# OF STORIES:	
ALLOWABLE AREA:	
ALLOWED STORIES:	
OCC. SEPARATION:	
REQ SEPARATION:	
SPRINKLERED:	
FIRE ALARM SYS:	
OCCUPANT LOAD:	
EXITS REQ'D:	
EXIT TRAVEL MAX:	
PLUMBING FIXTURES:	
PARKING:	N/A
STRUCTURAL LOADS:	
BALANCED SNOW LOAD:	41.6 psf
UNBALANCED SNOW LOAD:	79.7 psf
ROOF LOAD (DESIGN USE):	80 psf
FLOOR LIVE LOAD:	125 psf
WIND LOAD (HORIZONTAL):	21 psf
WIND LOAD (UPLIFT INTERIOR):	20 psf
WIND LOAD (UPLIFT AT EAVES):	28 psf
WIND EXPOSURE:	C FULLY EXPOSED
SNOW EXPOSURE FACTOR Ce:	0.9
SNOW IMPORTANCE FACTOR I:	1.1
THERMAL FACTOR Ct:	
SOIL BEARING CAPACITY:	2,000 PSF (CLAY SAND FILL)
CONCRETE COMP. STRENGTH:	4,000 PSI @ 28 DAYS
REINFORCING STEEL:	60,000 PSI TENSILE (GRADE 60)

GENERAL NOTES

- THE CONTRACTORS ARE TO KEEP A SET OF STATE APPROVED PLANS AT THE JOB SITE AT ALL TIMES.
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE CONTRACTORS BEFORE ANY WORK COMMENCES.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH STATE BUILDING, PLUMBING, ELECTRICAL, AND HVAC CODE CURRENTLY IN EFFECT.
- ALL STATE & LOCAL BUILDING PERMITS WILL BE OBTAINED BY OWNER & BE POSTED AT JOB SITE BY THE CONTRACTOR, U.N.O.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE, OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE DESIGN PROFESSIONAL FROM ANY CLAIM OR SUIT WHATSOEVER ARISING FROM, OR ALLEGED TO HAVE ARISEN FROM, THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
- THE WORK UNDER THE CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC. FOR GENERAL CONSTRUCTION, INCLUDING MECHANICAL, PLUMBING AND ELECTRICAL CONSTRUCTION, AS APPLICABLE, FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.
- ALL PRODUCTS AND MANUFACTURERS OF MATERIALS/FINISHES/ETC PER ARCHITECTURAL DRAWINGS OR SPECIFICATION. SUBSTITUTIONS OF EQUAL QUALITY AND PERFORMANCE PERMITTED AS APPROVED BY DESIGN PROFESSIONAL IN CHARGE.
- ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSTALLED AS PER MANUF. SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS, LOCATED PER PLAN.
- THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE.
- THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER, OR CHARGE OF, AND WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCE OR PROCEDURES IN REGARDS TO THE MANNER IN WHICH THE STRUCTURE IS BUILT.
- ALL PROPERTY LINES ARE ASSUMED UNLESS A CERTIFIED SURVEY MAP HAS BEEN PROVIDED FOR THE PROPERTY.
- ALL BUILDING SETBACKS ARE MEASURED FROM THE EAVE LINE OF THE BUILDING.
- THE CONTRACTOR IS TO HAVE ALL THE UTILITY LINES VERIFIED BY THE APPROPRIATE UTILITY LOCATING SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE A LOCATE DONE PRIOR TO BREAKING OF GROUND.
- THE CONTRACTOR SHALL BE AWARE OF ALL PRIVATE UTILITIES LOCATIONS SUCH AS WATER, SEWER, AND GAS.
- ALL DAMAGE TO EXISTING DRIVEWAYS, ROADWAYS, STREETS, CONCRETE SIDEWALKS, LAWNS, ETC. MUST BE RESTORED TO THE CONDITION THEY WERE BEFORE CONSTRUCTION COMMENCED.
- PROVIDE A MINIMUM OF 2% DRAINAGE SLOPE AWAY FROM ENTIRE PERIMETER OF BUILDING FOR THE FIRST 20 FEET, U.N.O.
- THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, & SAFETY OF ERECTING BRACING, SHORING & TEMPORARY SUPPORTS, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS & FINISH MATERIALS.
- THE GENERAL CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK, JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THAT THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS; INSTALL EXPOSED MATERIALS APPROPRIATELY LEVEL, PLUMB AND AT ACCURATE RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.
- ALL EXISTING BUILDING DIMENSIONS MUST BE FIELD VERIFIED.
- WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR(S) TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES.
- ALL DIMENSIONS TO FACE OF STUD OR CONCRETE WALLS, U.N.O.
- SEE SITE PLAN FOR NOTES AND DIMENSIONS NOT SHOWN.
- SEE ELEVATIONS, INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR MATERIALS NOT CALLED OUT.
- IF APPLICABLE, THE FIRE RATING OF WALLS & CEILINGS MUST BE MAINTAINED BEHIND ALL INSTALLED FIXTURES (BATH UNITS, VANITIES, CEILING FANS, ELECTRICAL BOXES, EXHAUST FANS, ETC).
- THE CONTRACTOR SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT-INS & FINISHES.
- THE CONTRACTOR SHALL PROVIDE ALL OPERATING AND MAINTENANCE DATA AND ALL MANUFACTURERS, INSTALLERS AND APPLICATOR'S GUARANTEES, BONDS, WARRANTIES AND SERVICE INSTRUCTIONS.
- CONFIRM WINDOW OR DOOR NUMBER WITH MFR. AND SITE CONDITIONS. ALL OPERABLE WINDOWS AND DOORS SHALL HAVE REMOVABLE SCREENS.
- CONTRACTOR TO VERIFY R.O. REQUIREMENTS FOR WINDOWS & EXTERIOR DOORS WITH WINDOW MANUFACTURER PRIOR TO ORDERING.
- REFERENCE ELEVATIONS AND/OR BUILDING SECTIONS FOR WINDOW OPERATIONS.
- REFER TO ENGINEERED TRUSS DRAWINGS, IF APPLICABLE, FOR PLACEMENT OF TRUSS COMPONENTS. CONTRACTOR IS TO FIELD VERIFY ALL TRUSS DIMENSIONS BEFORE PRODUCTION OF TRUSSES.
- ALL GAS PIPING INSTALLATIONS SHALL COMPLY WITH NFPA 54-2015, NATIONAL FUEL GAS CODE.

INDEX TO DRAWINGS

ATS TITLE SHEET

C100 SITE PHOTOS
C101 SITE OVERLAYS
C102 CONCEPT SITE PLAN
A101 CONCEPT FLOOR PLAN
A102 CONCEPT MODEL
A103 CONCEPT ELEVATIONS

PROPOSED FOR:
2200 LAKE SHORE DRIVE EAST

ASHLAND, WI 54806

TITLE SHEET



803 Lake Shore Drive West, Ashland, WI 54806
Telephone (715) 682-0330
www.csdesignengineering.com

DESIGNED:	LED
DRAWN:	LED
SCALE:	AS NOTED
DATE:	February 18, 2020
PROJECT NO.	20-3419

REVISIONS:

APPROVED:
NOT FOR CONSTRUCTION OR FINAL PRICING

SHEET NO.

ATS

STANDARD ABBREVIATIONS

ABOVE FINISH FLOOR ACOUSTICAL CEILING TILE ADDITIONAL ADJUSTABLE ALIGN WITH BELOW ALTERNATE ALUMINUM AMERICAN DISABILITIES ACT APPROXIMATELY	A.F.F. ACT. ADD. ADJ. A.W.B. ALT. ALUM. ADA APPROX.	CONTRACTOR CONTROL JOINT COURSES CUBIC FOOT(AGE) DETAIL DIAMETER DIMENSION DISP DOOR DOWN DOWNSPOUT DRAWING(S) DRINKING FOUNTAIN	CONTR. C.J. CRS CF DET. DIA. DIM. DISP DR DN. DWG.(S) D.F.	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIXTURE FLASHING FLOOR FLR. FLRG FLOOR PLAN LINE FLOORING FOUNDATION FLUORESCENT GALVANIZED GAUGE GENERAL CONTRACTOR GLASS GYPSUM GYPSUM WALLBOARD HANDICAP ACCESSIBLE H.D.W. HEATER HEATING, VENTING, AND AIR CONDITIONING HEIGHT HIGH POINT HOLLOW CORE HOLLOW METAL HORIZONTAL HOUR	F.E. F.E.C. FR. FIX. FLASHG FLR. FLRG F.P. FTG. FDNT. FLUOR GALV. GA. G.C. GL. GYP. GWB. H.C. HDW. HTR. HVAC HGT. H.P. H.C. H.M. HORZ. HR.	JANITOR JOINT JOIST LAMINATED LAVATORY LAV. LIGHTING LINE LINOLEUM LONG LEG HORIZONTAL LONG LEG VERTICAL LOW POINT MANUFACTURER MAS. MASONRY OPENING MATERIAL MAX. MECHANICAL MEMBRANE METAL MIN. MISC. MOUNTED NON-COMBUSTIBLE NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE NUMBER	JAN. JT. JST LAM. LAV. LTG. LN. LINO. LLH LLV L.P. MFR. MAS. M.O. MAT. MAX. MECH. MEMB. METL. MIN. MISC. MTD. N.C. N.A. N.I.C. N.T.S. NO.	OVERFLOW DRAIN PAINT PAINTED PANEL PARTITION PERFORATED PLASTIC LAMINATE PLATE POLYVINYL CHLORIDE POUNDS PER SQUARE INCH PRESERVATIVE TREATED PROPERTY QUANTITY QUARRY TILE R. REINFORCING REQUIRED RESILIENT FLOORING RETURN AIR REVISION RISER ROOM ROUGH OPENING RUBBER SECTION SHEET SIM. S.C. OPNG. OPP. O.P. O.D.	O.F.D. PT. PTD. PNL. PTH. PERF. PLAM. PL. PVC PSI P.T. PROP. QTY. Q.T. R. REINFORCING REQ'D. RM. RUBR. SEC. SHT. SIM. S.C. SPEC. SQ. SF. SSTL. STD.	STEEL STORAGE STREET STRUCTURAL SUSPEND (ED) TELEPHONE THERMOPLASTIC POLYOLEFIN THK T.O. TOP OF TOP OF CONCRETE TOP OF FOOTING TOP OF RAIL TOP OF STEEL TOP OF WALL TREAD TREATED TRENCH DRAIN TYPICAL UNDERWRITERS LABORATORIES UNLESS NOTED OTHERWISE VENEER PLASTER VERIFY IN FIELD VERTICAL VINYL COMPOSITION TILE VINYL FLOOR COVERING WATER CLOSET WATERPROOFING WELDED WIRE FABRIC WIDE FLANGE WIDOW WITH WITHOUT WOOD	STL. STOR. ST STRUCT. SUSP. (D) TEL. TPO THK T.O. T.O.C. T.O.F. T.O.R. T.O.S. T.O.W. T.Q.T. TRT T.D. TYP. U.L. V.P. V.I.F. VERT. VCT. VCT. WD.
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2 View from the East
NTS



1 View from the North
NTS



4 View from the South
NTS



3 View from the West
NTS

PROPOSED FOR:
2200 LAKE SHORE DRIVE EAST
ASHLAND, WI 54806

SITE PHOTOS



803 Lake Shore Drive West, Ashland, WI 54806
Telephone (715) 682-0330
www.csdesignengineering.com

DESIGNED: **LED**

DRAWN: **LED**

SCALE: **AS NOTED**

DATE: **February 18, 2020**

PROJECT NO.:
20-3419

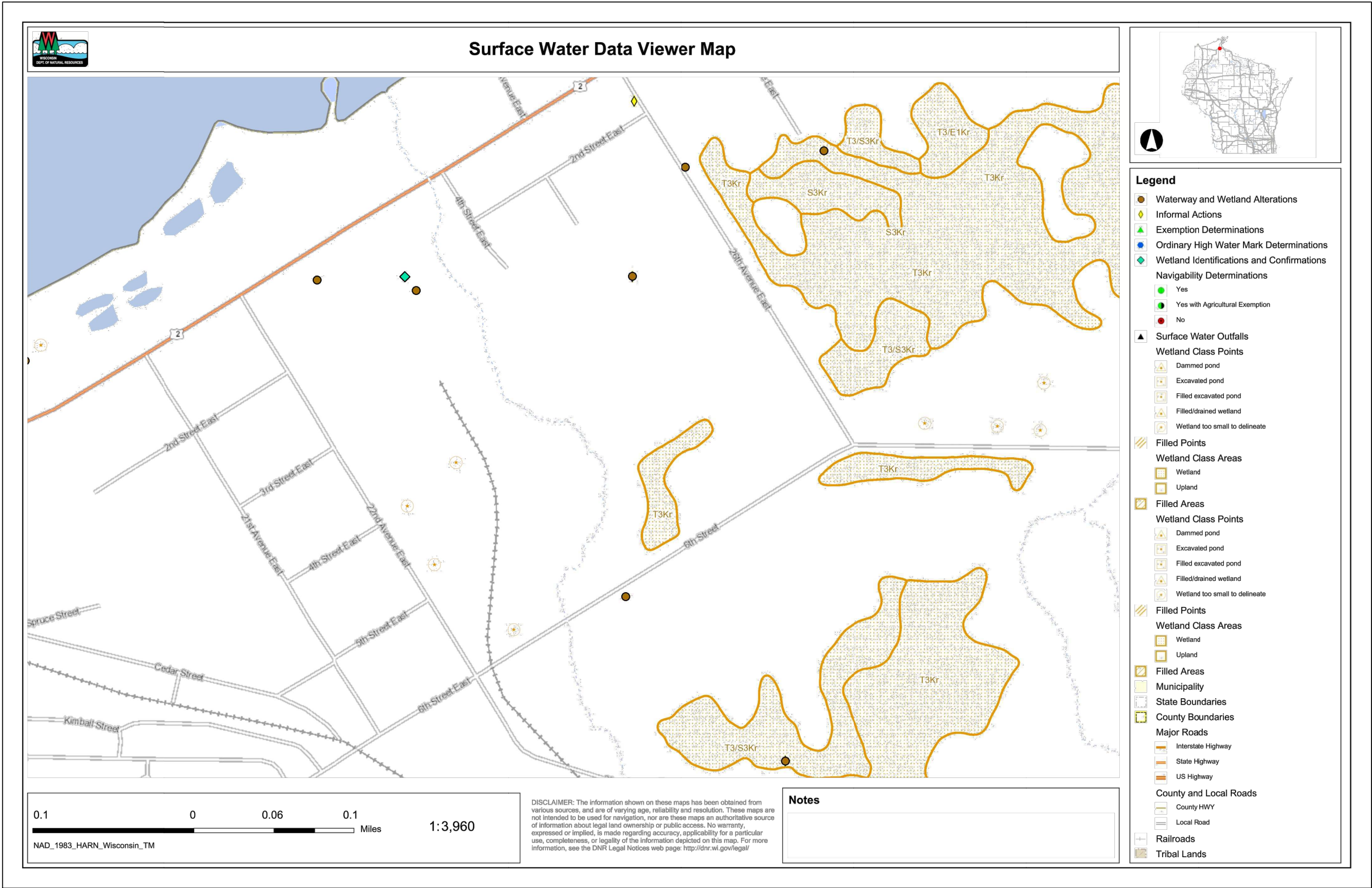
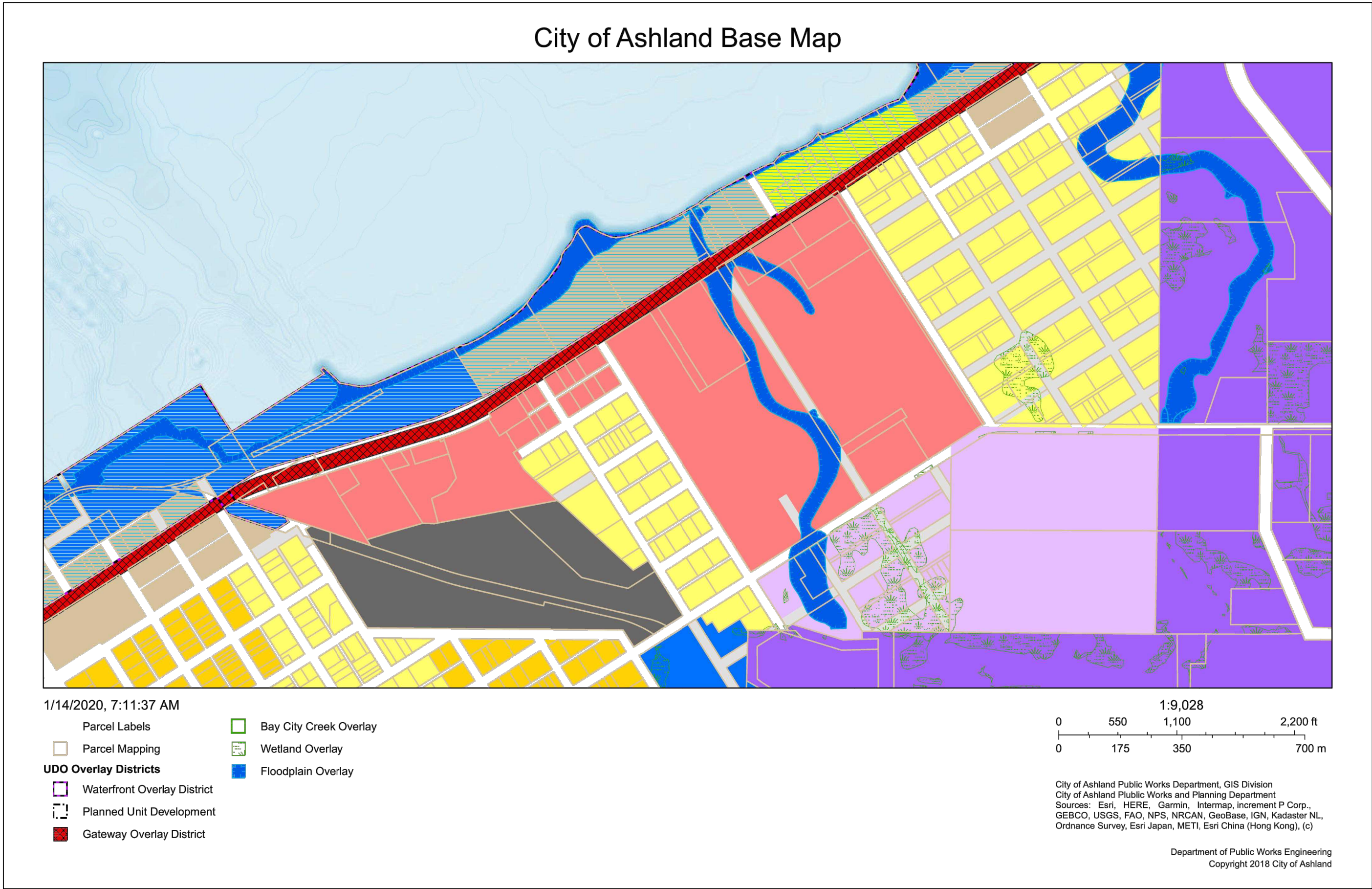
REVISIONS:

APPROVED:

**NOT FOR
CONSTRUCTION
OR FINAL PRICING**

SHEET NO.

C100



PROPOSED FOR:
2200 LAKE SHORE DRIVE EAST
ASHLAND, WI 54806

SITE OVERLAYS

DESIGN & ENGINEERING
with framework design inc

803 Lake Shore Drive West, Ashland, WI 54806
Telephone (715) 682-0330
www.csdesignengineering.com

DESIGNED: **LED**

DRAWN: **LED**

SCALE: **AS NOTED**

DATE: **February 18, 2020**

PROJECT NO.: **20-3419**

REVISIONS:

NO.	DESCRIPTION	DATE

APPROVED:

NOT FOR CONSTRUCTION OR FINAL PRICING

SHEET NO.: **C101**

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1 Siteplan
1"=50'-0"



PROPOSED FOR:
2200 LAKE SHORE DRIVE EAST
ASHLAND, WI 54806

CONCEPT SITE PLAN

**DESIGN & ENGINEERING**
with framework design inc

803 Lake Shore Drive West, Ashland, WI 54806
Telephone (715) 682-0330
www.csdesignengineering.com

DESIGNED:	LED
DRAWN:	LED
SCALE:	AS NOTED
DATE:	February 18, 2020
PROJECT NO.	20-3419

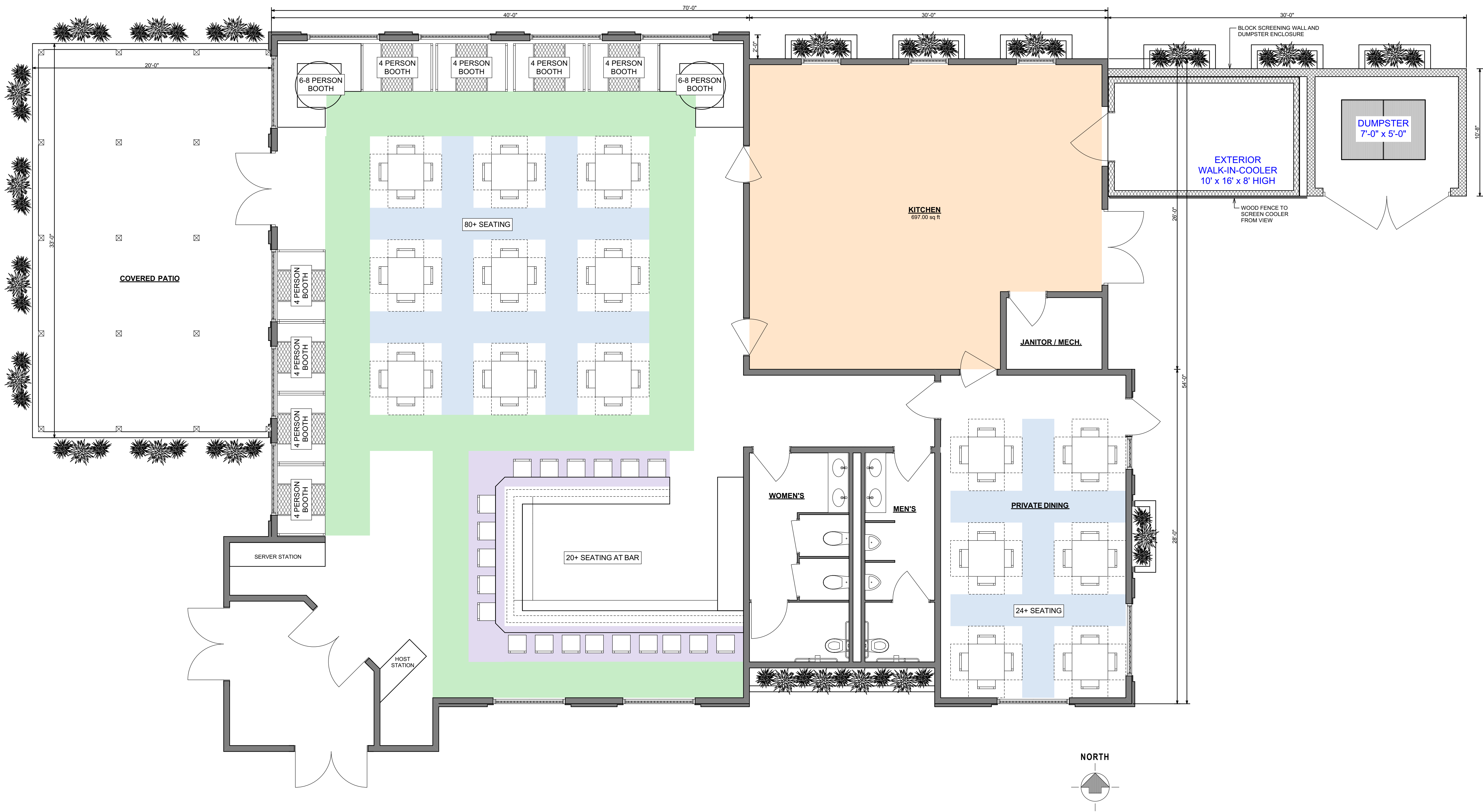
REVISIONS:

APPROVED:

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CONSTRUCTION
OR FINAL PRICING

SHEET NO.

C102



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROPOSED CONSTRUCTION FOR:

ASHLAND AREA DEVELOPMENT

2200 LAKE SHORE DRIVE EAST, ASHLAND, WI 54806

CONCEPT FLOOR PLAN



2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

DESIGNED: **LED**

DRAWN: **A.D.E.**

SCALE: **AS NOTED**

DATE: **February 18, 2020**

PROJECT NO.

20-3419

REVISIONS:

APPROVED:

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SHEET NO.

A101



VIEW OF SITE



BUILDING ENTRANCE



WALL DETAILS AND WINDOW / DOOR TRIM



FRONT ENTRANCE

SCALE: 1:142.86



PATIO COVERING



CORNER & WINDOW / DOOR TRIM

KEY NOTES:

- SOUTHWEST STYLE
- CLEAN LINES
- COVERED PATIO
- 4,000 SF BUILDING
- 660 SF PATIO



STREET VIEW (PATIO AREA)

PROPOSED CONSTRUCTION FOR:

ASHLAND AREA DEVELOPMENT

2200 LAKE SHORE DRIVE EAST, ASHLAND, WI 54806

MODEL VIEWS

DESIGN & ENGINEERING

with framework design inc

CS

2023 6th Street West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

DESIGNED:	LED
DRAWN:	A.D.E.
SCALE:	AS NOTED
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REVISIONS:

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SHEET NO.

A102



WEST ELEVATION (PATIO SIDE)
SCALE: 3/16" = 1'-0"



EAST ELEVATION (DELIVERY SIDE)
SCALE: 3/16" = 1'-0"



NORTH ELEVATION (HIGHWAY SIDE)
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION (PARKING LOT SIDE)
SCALE: 3/16" = 1'-0"

PROPOSED CONSTRUCTION FOR:

ASHLAND AREA DEVELOPMENT

2200 LAKE SHORE DRIVE EAST, ASHLAND, WI 54806

CONCEPT ELEVATIONS



DESIGNED:	LED
DRAWN:	A.D.E.
SCALE:	AS NOTED
DATE:	February 18, 2020
PROJECT NO.	20-3419

REVISIONS:



SHEET NO.
A103

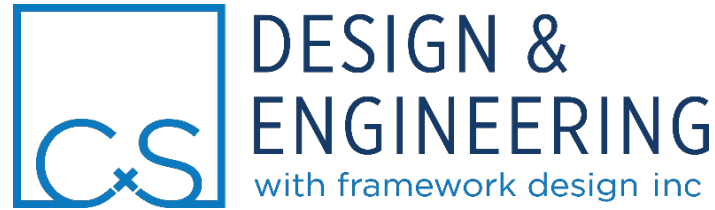
2200 Lake Shore Drive East

Ashland, WI

Date:

February 18, 2020

Prepared By:



Note: These estimates have been provided to the best of our knowledge based on historical data, similar projects, current general practice, RSMeans Cost Estimating Software. These numbers are not intended to be used beyond providing cost estimates as a guideline. Other funding and/or wage requirements may alter the below estimates. In addition, these estimates do not account for carrying costs, legal fees, environmental reviews, etc. A complete, construction bid based on buildable drawings and cost estimate would provide the most accurate and detailed information.

Project Budget Estimate	Percentage	TOTAL	Avg Cost/SF	Notes/Comments
SOV BREAKDOWN				
New, single story, 4,000sf restaurant building with patio and parking on an unimproved site. Based on concept plans dated 02/18/20			4,000 SF	
Division 01 - General Requirement	6.00%	\$ 62,731.91	\$ 15.68	Temp power, rentals, final cleaning, other items not included elsewhere
Division 03 - Concrete	5.84%	\$ 69,000.00	\$ 15.00	Foundation/Footings, Footing Excavation, Slab
Division 04 - Masonry	1.17%	\$ 13,800.00	\$ 3.00	Keystones, corner stones, decorative work
Division 05 - Metals	1.27%	\$ 15,000.00	\$ -	Decorative metal work allowance
Division 06 - Wood, Plastics, and Composites	12.85%	\$ 151,800.00	\$ 33.00	Framing, cabinets, countertops
Division 07 - Thermal and Moisture Protection	10.51%	\$ 124,200.00	\$ 27.00	Cladding, roofing, insulation, waterproofing
Division 08 - Door and Windows	2.03%	\$ 24,000.00	\$ 6.00	Assumed non-operable windows, no grilles
Division 09 - Finishes	9.73%	\$ 115,000.00	\$ 25.00	
Division 10 - Specialties	0.68%	\$ 8,000.00	\$ 2.00	Hardware, restroom accessories, signage
Division 11 - Equipment	0.00%	\$ -	\$ -	Per Owner
Division 12 - Furnishings	0.00%	\$ -	\$ -	Per Owner
Division 13 - Special Construction	0.41%	\$ 4,800.00	\$ 1.20	Fire Sprinkler
Division 21 - Alarm	0.68%	\$ 8,000.00	\$ 2.00	Security alarm (no fire)
Division 22 - Mechanical and Plumbing	10.16%	\$ 120,000.00	\$ 30.00	HVAC, ductwork, plumbing, fixture allowance
Division 26 - Electrical	8.57%	\$ 101,200.00	\$ 22.00	rough and finish electrical, fixture allowance
Division 33 - Utilities and site work	19.30%	\$ 228,000.00	\$ 57.00	New laterals, grading, asphalt paving and striping, landscape allowance
Subtotal:	88.50%	\$ 1,045,531.91	\$ 238.88	
Bonding	0.00%	\$ -	\$ -	Not included unless required by funding
Overhead/Profit	8.00%	\$ 83,642.55	\$ 20.91	
Contingency	5.00%	\$ 52,276.60	\$ 13.07	
Subtotal:	11.50%	\$ 135,919.15	\$ 33.98	
TOTAL BUILDING COST ESTIMATE	100.00%	\$ 1,181,451.06	\$ 272.86	
Soft Costs			4,000 SF	
A&E Fees	6.00%	\$ 70,887.06	\$ 17.72	Architecture, engineering, civil, MEP, construction administration
Permit Fees		\$ 2,460.00	\$ 0.62	State review, DNR (if applicable), City of Ashland
TOTAL PROJECT COST ESTIMATE		\$ 1,252,338.13		