



City of Ashland, Wisconsin

601 Main Street West Ashland, WI 54806 www.coawi.org

PLAN COMMISSION

March 5, 2019

City Hall Council Chambers

6:30 PM

AGENDA

1. Call to Order and Roll Call
2. Approval of Agenda
3. Consent Agenda
 - a. Approval of minutes from the February 19, 2019 Planning Commission meeting
4. Public Comment (non-agenda items)
5. Action Items:
 - a. Public Hearing and Conditional Use Permit to allow Professional Services at 2023 6th Street West, zoned Mixed Residential/Commercial (MRC). Applicant: Dahl Property Management
 - b. Site Plan review for a building renovation for office use at 2023 6th Street West, zoned Mixed Residential/Commercial (MRC). Applicant: Dahl Property Management
 - c. Site Plan review for a building addition at Deltco Plastics located at 301 Industrial Park Road, zoned Heavy Industrial (HI). Applicant: Deltco Plastics
 - d. Purchase vacant land located at 2705 Lake Shore Drive East for stormwater management, zoned Waterfront Single-Family Residential (W-SFR)
6. Discussion Items
7. Announcements/Reports/Comments/Questions
8. Adjournment

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance at the above stated meeting to gather information or speak about a subject, over which they have decision-making responsibility. Any governmental body at the above stated meeting will take no action other than the governmental body specifically referred to above in this notice. The City of Ashland does not discriminate on the basis of sex, race, creed, color, national origin, sexual orientation, age or disability in employment or provision of services, programs or activities. NOTE: Upon reasonable notice, the City of Ashland will accommodate the needs of disabled individuals through auxiliary aids or services. For additional information or to request this service, contact Megan McBride at (715) 682-7041.

Minutes of the City of Ashland Plan Commission

A meeting of the Plan Commission was called to order on **Tuesday, February 19, 2019** at 6:30 p.m. in the City Hall Council Chambers.

PRESENT: John Beirl, Mike Amman, Laurie Gregor, David Mettillie, Katie Gellatly
EXCUSED: Mayor Lewis
STAFF: Megan McBride

1) Call to Order and Roll Call

David Mettillie called the meeting to order at 6:30 p.m.

2) Approval of Agenda

Motion to approve the Agenda by John Bierl. Seconded by Mike Amman. Passed unanimously.

3) Consent Agenda

Motion to approve minutes from December 4, 2018 Plan Commission meeting by John Beirl. Seconded by Katie Gellatly. Passed unanimously.

4) Public Comment (non-agenda items)

No public comments.

5) Action Items

- a. Public Hearing and vote on a Conditional Use Permit to allow long-term housing/sober living home pursuant to UDO Section 5.6: Social Services at 721 6th Street West, Applicant: Dave Gallup Foundation.**

Motion to go into Public Hearing by John Beirl. Seconded by Katie Gellatly. Passed unanimously.

Megan McBride explained the required Class 2 Public Hearing notice that was issued and discretionary letters were sent to property owners within 200 feet of the proposed development. She then went through the approval criteria and recommended conditions outlined in the staff report.

Public Hearing: Nancy Garrett of 609 MacArthur Avenue expressed that parking is already a concern in the neighborhood due to the church not having a parking lot. John Beirl asked if there had been any other feedback from neighbors within 200 feet of the proposed development, and Megan McBride stated that she had not received anything by the time of the meeting. Nancy Garrett stated that she was glad there would be a residential supervisor at the site, and that she was glad to hear that the Gallup Foundation would be paying property tax. She explained that she did not expect parking to be an issue due to the likelihood of the people staying in the sober living house not owning vehicles.

Motion to go out of Public Hearing by John Beirl. Seconded by Katie Gellatly. Passed unanimously.

Motion to approve the Conditional Use Permit with proposed conditions by John Beirl. Seconded by Katie Gellatly. Passed unanimously.

b. Request to vacate portions of undeveloped right of way located adjacent to 3801 Lake Park Road, Applicants: Eric and Joann Swanson.

Megan McBride explained that the process for right of way vacations set by the state requires that Planning Commission must review and provide a recommendation to Council. She explained that the required Class 3 Public Hearing notice was issued. She explained that the background info is all in the staff report.

John Beirl asked for clarification of vacation versus the sale of excess property, and asked for the history. Megan McBride explained that the properties proposed for vacation are considered undeveloped right-of-way, so the Swansons own the small portion of property out in the lake, and that the right-of-way was put in place when the shorelines were different, so the plating does not line up with the existing shoreline now. She explained that the property owners are hoping to consolidate all of these smaller pieces into one existing parcel of property, and that she did not foresee any downsides to vacating this right of way. Questions were asked regarding if the vacated properties would return to the tax roll, and Megan McBride explained that they would be returned to the tax roll once they are vacated.

Mike Cariveau, the waypoint engineer with this project was present as the representative of the landowners, and explained that the landowners are hoping to do some shoreline restoration in the property that is specified in the maps. There is another small tract of land that is also undeveloped right of way, but he explained that small parcel in question is the primary concern due to wanting to proceed with shoreline restoration to protect their property at this time.

John Beirl asked if the property had any value if the city sold it instead of vacating it and having it added to the tax roll. Mike Cariveau explained that there was not much value because it is land locked and difficult to access. He explained that the plat was done anticipating for it to be filled in as needed, but this did not happen. Megan McBride mentioned that she spoke to Public Works to get their input on the vacation, and they expressed that it would be good to vacate the property so that they are no longer responsible for any maintenance, and that she agreed that vacating the property is the best option.

Motion to approve vacation of undeveloped right of way by Laurie Gregor. Seconded by David Mettillie. Passed unanimously.

6) Discussion Items

a. Updates and discussion on Comprehensive Plan implementation

Megan McBride provided updates on projects that are ongoing and suggested that it be an ongoing agenda item so that it can continue to be discussed. John Beirl asked for updates with how the City is working with AADC and the Chamber, and Megan McBride explained that there are more meetings and cooperation going on between these groups so that Main Street revitalization can continue to be a priority as emphasized in the Comp Plan. She explained that more financial opportunities are being pursued (such as grants) and that these will be presented to the Events and Planning Commission (EPC) and to downtown property owners.

She provided updates regarding downtown parking, and explained that this summer they are planning to work on providing more signage and studying areas that are particular “hot spots” for parking problems. She explained that there is a downtown survey in the works that will hopefully be going out in mid-March that will be an overall resident survey about the downtown and will provide more data to inform downtown planning and project focuses.

7) Announcements/Reports/Comments/Questions

None.

8) Adjournment

Motion to adjourn by John Beirl. Seconded by Katie Gellatly. Passed unanimously.
--

The meeting was adjourned at 7:00 p.m. Minutes by Lucas Phillips.

STAFF REPORT

Plan Commission – March 5th, 2019

Agenda Item # 5A: Conditional Use Permit Request to allow professional services
Zoning District: Mixed Residential Commercial (MRC)
Property Address: 2023 6th Street West
Parcel #: 201-04483-0000
Applicant: Dahl Property Management
Staff Contact: Megan McBride

Background

Dahl Property Management (DPM) is requesting a Conditional Use Permit (CUP) to allow professional services at 2023 6th Street West. The property owner intends to renovate the existing building into office and work space to accommodate C&S Design and Engineering (currently located at 803 Lake Shore Drive West). Relocation to this site would allow additional office space for this existing business while simultaneously improving the surrounding neighborhood through the renovation of the structure and the addition of a quiet, relatively low-impact commercial use in this Mixed Residential/Commercial area.

Exterior renovations to the existing building and site will include:

- New roofing, siding, windows and doors (see Site Plan for additional details)
- Paving and striping of the existing parking area on the south side of the building, and expansion of the parking area to accommodate staff and clients
- Landscaping

Interior renovations to the building will include:

- New wiring and HVAC system
- Addition of office, workspace, a conference room, kitchen/breakroom, and lobby

Standards for Review

The City of Ashland's Unified Development Ordinance Section 3.9 (C) Conditional Use Permit – Approval Criteria (and all subsections thereof), create the legal framework to regulate, administer, and enforce the conditional use standards for the City of Ashland.

Conditional Use Review

The following decision criteria were used to review the submitted conditional use:

1. **Consistency with Comprehensive Plan.** The proposed development conforms to the goals and community values identified in the City of Ashland's Comprehensive Plan. While the Comp Plan directs the City to pursue initiatives that would attract new businesses to the area, it also emphasizes the importance of assisting existing businesses to thrive and expand as a central mechanism for economic development and keeping local dollars in the community. Relocation to this site will allow for additional office space which is needed as C&S Design continues to grow and expand. The Comprehensive Plan specifically emphasizes the need to "maintain and grow an educated, skilled and industrious workforce" (p. 18). Relocation to this site will allow for additional office space

for this expanding business, as well as capacity for future expansion as the sizeable lot located directly adjacent to the parcel in question is also owned by Dahl Property Management. Therefore, this new location will better meet the current and future needs of the business and create opportunities for the type of workforce expansion encouraged in the Comp Plan.

2. **Compatibility.** The proposed use is compatible with that of existing development within 200 feet of the site, within 500 feet along the same street, and with anticipated future development in the vicinity. The property is predominately surrounded by residential uses and is located in the Mixed Residential/Commercial (MRC) district. The intent of commercial uses located in the MRC district as outlined in the UDO is that they serve the local community and that they do not create a disturbance to surrounding residential properties. The proposed use exemplifies the type of commercial use desired in the MRC district as it provides services heavily relied upon by local property and business owners, and is a low-traffic, predominately office use that will not result in noise, traffic or other disturbances to the surrounding residences.
3. **Importance of Services to the Community.** C&S Design and Engineering provides architectural and engineering services to a variety of homeowners, businesses and local institutions. The ability for them to continue this service with the capacity to grow and expand as demand increases is important for fostering the ongoing improvement of the built environment of our community.
4. **Neighborhood Protections.** The proposed use will not create negative impacts for the surrounding neighborhood as it will not generate any noise, odor, traffic or other significant disturbances to the surrounding properties. The renovation of the existing structure will provide a benefit to the neighborhood, and the provision of required screening landscaping on the east side of the property will soften views of the parking area to traffic traveling west along 6th Street West.
5. **Conformance with Other Requirements:** The development must conform to all other provisions of the UDO, including but not limited to:
 - Obtain a Sign Permit for new signage

Review Recommendation

Staff recommends APPROVAL of the Conditional Use Permit contingent on the following conditions:

- a. Approval of Site Plan by the Planning Commission

Additionally, as a Public Hearing is scheduled for the proposed Conditional Use Permit, the Plan Commission should hear all input from the public prior to making a decision. The required Class 2 Public Hearing notice was issued and discretionary letters were sent to property owners within 200 feet of the proposed development.

Approvals are based on background information provided by the applicant and known conditions. Deviations from this information may be considered a change in the application and reconsideration and possible revision to the approvals may be made by the Plan Commission and Common Council.



February 18, 2019

City of Ashland
Department of Planning & Development
601 W Main Street
Ashland, WI. 54806

To whom it may concern:

I would like to remodel the existing building located at 2023 6th St. West in Ashland and convert it into office space. Dahl Property Management (DPM), would use the same foot print and upgrade the roofing, siding, windows, doors and entire interior to allow for the new office space of C&S Design and Engineering. I have included a plan to show the new layout.

As of right now, DPM would reuse the block façade on the south and west side of the buildings but would change the color scheme. New architectural shingles would be installed along with LP smart siding for the remainder of the exterior. The interior would get all new wiring and a HVAC system. The parking lot would get enlarged to accommodate more parking for staff and clients. DPM would like to install a sign at some point if the budget allows. The sign could either be on the building or a separate pole type sign similar to the existing sign for C&S currently located at 803 Lake Shore Drive.

The closest office space to this location would be Brown Heating and Cooling located one block west. The new location would serve as a quiet business with minimal traffic due to the nature of its business. C&S is growing and this location allows for the addition of two or three office spaces as compared to the current location.

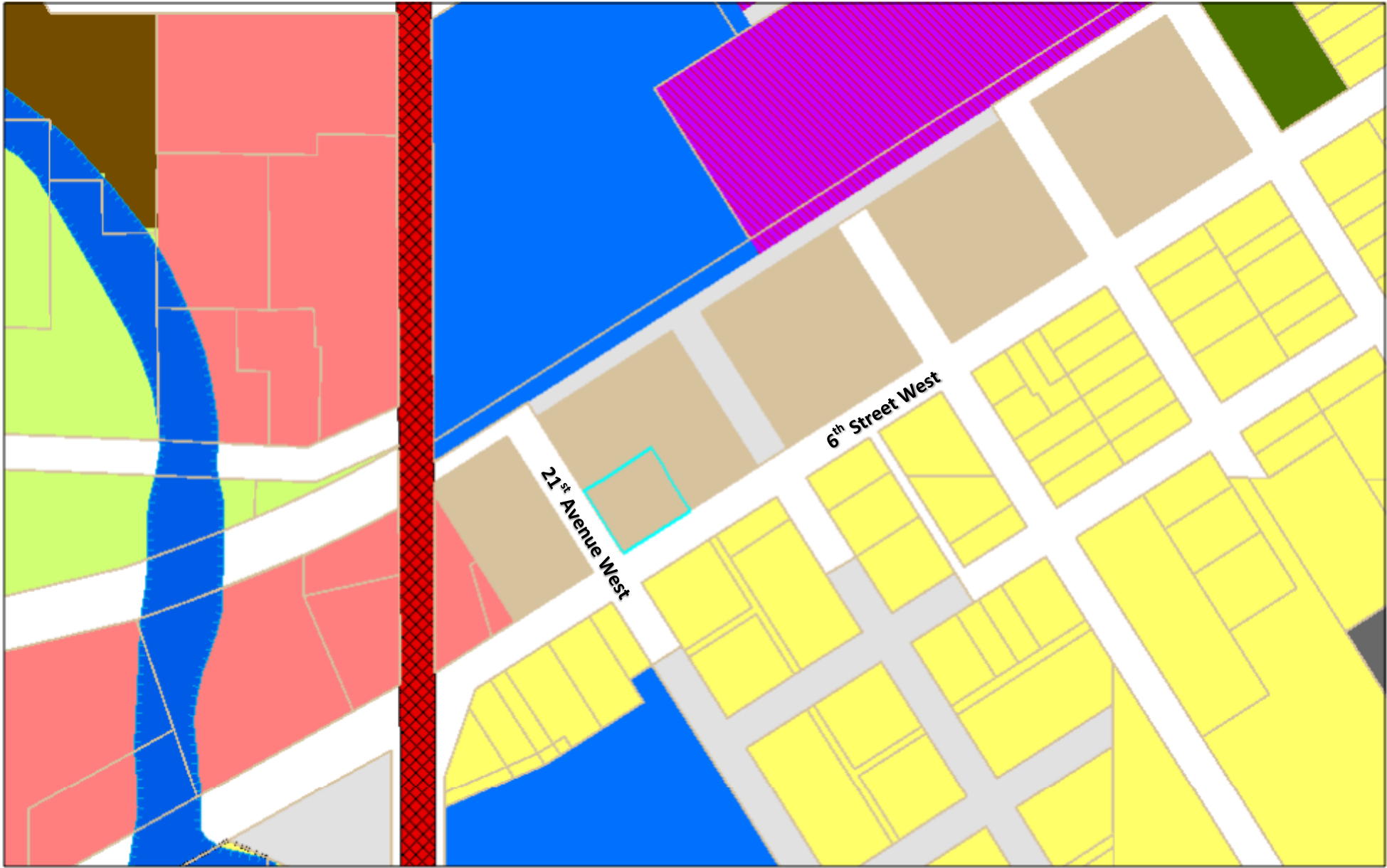
I would be happy to answer questions or concerns. Thank you for considering my project. I look forward to working with you.

Sincerely

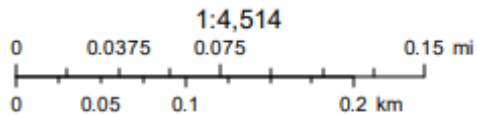
A handwritten signature in black ink, appearing to read "Hans Dahl", with a stylized flourish at the end.

Hans Dahl
Member

Zoning Map: 2023 6th Street West



-  Mixed Residential/Commercial (MRC)
-  Single-Family Residential (R-1)
-  Regional Commercial (RC)
-  Public/Institutional (PI)

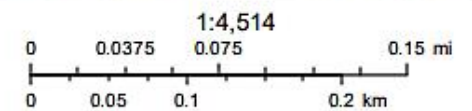


City of Ashland Public Works Department, GIS Division
City of Ashland Public Works and Planning Department

2023 6th Street West



2/25/2019, 9:34:05 AM



City of Ashland Public Works Department, GIS Division
Copyright City of Ashland Public Works Department, GIS Division

Department of Public Works Engineering
Copyright 2018 City of Ashland



STAFF REPORT

Plan Commission – March 5th, 2019

Agenda Item # 5B: Site Plan review to renovate the existing building and expand parking to accommodate 2023 6th Street West

Zoning District: Mixed Residential/Commercial (MRC)

Property Address: 2023 6th Avenue W

Parcel #: 201-04483-0000

Applicant: Dahl Property Management

Staff Contact: Megan McBride

Background

Dahl Construction Management is requesting Site Plan review and approval to completely renovate the interior and exterior of the building located at 2023 6th Street West for the accommodation of C&S Design and Engineering, as well as expansion of the existing parking area for staff and client use. The proposed Site Plan conforms to UDO standards, and will result in significant aesthetic benefits to the surrounding area as well as increased functionality of the site itself.

Interior renovations include:

- 8 offices, work space, a conference room, front desk and lobby, kitchen/breakroom, bathrooms and storage space
- New wiring and HVAC system

Exterior renovations include:

- New roofing, LP smart siding, windows and doors on the build
- Paving and striping of the existing parking area, including one ADA space
- Addition of seven additional parking spaces on the east side of the building
- Installation of an access drive that wraps around the building and allows egress onto 21st Avenue West
- Possible installation of a sign located just east of the new parking area/driveway along the southern parcel line (sign details would need to be approved by the Planning & Development Department prior to issuance of a Sign Permit)
- Installation of landscaping along the eastern parcel line to screen views of parking to cars traveling west along 6th Street West

Standards for Review

The City of Ashland's Unified Development Ordinance Section 781 Section 3.20 Site Plan Approval (all subsections thereof), create the legal framework to regulate, administer, and enforce the site plan review process for the City of Ashland.

Site Plan Review

The following criteria were used to review the submitted site plan:

1. Consistency with Comprehensive Plan.

The proposed development conforms to the goals and community values identified in the City of Ashland's Comprehensive Plan. While the Comp Plan directs the City to pursue initiatives that would attract new businesses to the area, it also emphasizes the importance of assisting existing businesses to thrive and expand as a central mechanism for economic development and keeping local dollars in the community. Relocation to this site will allow for additional office space which is needed as C&S Design continues to grow and expand. The Comprehensive Plan specifically emphasizes the need to "maintain and grow an educated, skilled and industrious workforce" (p. 18). Relocation to this site will allow for additional office space for this expanding business, as well as capacity for future expansion as the sizeable lot located directly adjacent to the parcel in question is also owned by Dahl Property Management. Therefore, this new location will better meet the current and future needs of the business and create opportunities for the type of workforce expansion encouraged in the Comp Plan.

2. Project Compatibility.

The proposed use is compatible with that of existing development within 200 feet of the site, within 500 feet along the same street, and with anticipated future development in the vicinity. The property is predominately surrounded by residential uses and is located in the Mixed Residential/Commercial (MRC) district. The intent of commercial uses located in the MRC district as outlined in the UDO is that they serve the local community and that they do not create a disturbance to surrounding residential uses. The proposed use exemplifies the type of commercial use desired in the MRC district as it provides services heavily relied upon by local property and business owners, and is a low-traffic, predominately office use that will not result in noise, traffic or other disturbances to the surrounding residences.

3. Site Design

a. Site Organization.

The organization of the proposed building, driveways, parking area, landscaping, lighting, and other structures should achieve a functional, safe and harmonious site relationship. Overall, the site has been designed to achieve such a relationship to accommodate the future functions of C&S Design and Engineering while conforming to all applicable UDO regulations.

b. Location of Buildings.

The existing building will be utilized which is located on the southwestern side of the lot.

c. Drives, Parking, and Circulation.

All driving surfaces will be paved with asphalt and parking stalls and drives all meet UDO size requirements.

- **Driveway.** A paved driveway will be installed to connect the new parking area to 21st Avenue West to allow for egress. Proposed driveway width complies with UDO standards. Final approval of the driveway connection to 21st Avenue West by the Public Works Department will be required prior to installation.
- **Parking.** While the existing parking area does not meet current UDO setbacks, it is considered a nonconforming site feature and is not required to be removed/relocated based on the proposed expansion area of the parking lot. The proposed new parking area does meet current UDO setbacks and design regulations, and the proposed number of eleven (11) parking spaces is the

recommended number of spaces for this particular building size and future use. The required ADA parking space has been provided with an ADA accessible asphalt path that will be installed to connect to the entrance.

- Pedestrian Access. There is no existing sidewalk anywhere in the vicinity of the site, and the existing parking area does not allow for easy installation of a sidewalk. If there is future development/expansion onto the adjacent lot also owned by Dahl Property Management, larger consideration of sidewalk installation should be evaluated at this time. On site, an ADA accessible asphalt path is being installed connecting the ADA parking space and parking lot to the entrance.

d. Grading / Drainage / Storm water/ Snow storage.

- Drainage/Storm Water — There is an existing manhole located on the east side of the site, as well as a stormwater outfall located on the northeastern corner of the adjacent site also owned by Dahl Property Management. Stormwater runoff from the proposed parking area and driveway will be directed towards existing stormwater infrastructure.
- Erosion Control – Site disturbance is too small for UDO erosion control regulations to apply.
- Snow storage —There is sufficient grassy area along the parking lot perimeter to accommodate snow storage.

e. Utility Services.

Existing onsite utilities will be utilized and can accommodate the proposed future use.

f. Fire Prevention.

The applicant shall install fire alarm system for fire safety & response purposes. The City also requires a Knox Box on all new construction and rehabs if the business is not open 24-7. Following final design of the plans, the applicant shall provide a CD copy of the final Building Floor Plan Layout and Utility Plan (in a .dxf format), for the Fire Department's pre-fire planning of the structure's layout. Such information shall be provided to the Fire Department prior to the issuance of the Occupancy Permit.

g. Views. N/A

h. Environmental Issues. N/A

i. Landscaping/Screening.

- Landscaping – The minimum landscaping of two trees and six shrubs required based on the scope of renovations and parking area expansion have been included on the Site Plan.
- Screening – The landscaping proposed on the east side of the property meets regulations for screening of the proposed new parking area. All landscaping must meet minimum size at planting as specified in UDO Section 6.4.

j. Signs.

All details of the proposed signage shall be submitted to the Department of Planning & Development for review and approval, and issuance of a sign permit.

k. Lighting.

Applicant has provided details/cut-sheets of the proposed lighting fixtures which comply with UDO requirements as well as a photometric plan which also meets UDO standards. The proposed light pole will not be taller than 20 feet in height, and the fixtures will be full cutoff.

4. Building Design.

The existing block façade on the south and west sides of the building will be preserved and repainted to match the rest of the exterior which will be renovated. The new siding will be dark blue and white LP

smart siding. New roofing, windows and doors will also be added. The interior of the building will be completely remodeled to include eight offices, work space, a conference room, a kitchen/break room, a lobby and front desk, bathrooms and storage area.

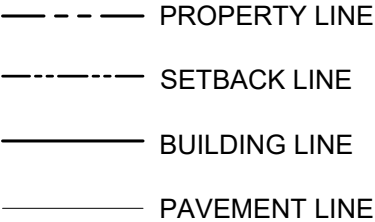
5. Principals of Sustainability.

The proposed upgrades to the siding, roofing, windows, doors, wiring and HVAC system as part of the renovation will enhance the overall energy efficiency of the building in addition to the associated aesthetic benefits.

Review Recommendation

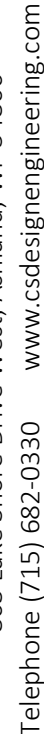
Staff recommends APPROVAL of the proposed site plan to renovate the building located at 2023 6th Street West subject to the following conditions:

- Applicant must obtain a Conditional Use Permit to allow the conditional use of professional services in this location
- Final approval of driveway and associated stormwater plans by Public Works Department
- A Knox box is required, and a CD copy of the final Building Floor Plan Layout and Utility Plan (in a .dxf format) must be submitted for the Fire Department prior to occupancy.
- All landscaping must meet minimum size at planting as specified in UDO Section 6.4.



Project Ashland, WI 54806

SITE PLAN



REVISIONS:

DESIGNED: **L.D.**

DRAWN:

SCALE: **AS NOTED**

DATE: 02/23/19

PROJECT NO.
19-3316

SHEET NO.

C100

COPYRIGHT © 2019

PRINTED: 1/31/2019

1

first floor plan

1/4" = 1'-0"



PROPOSED FOR:
2023 6th Street West

Project Ashland, WI 54806

FLOORPLAN



APPROVED:

REVISIONS:

DESIGNED: L.D.

DRAWN: -

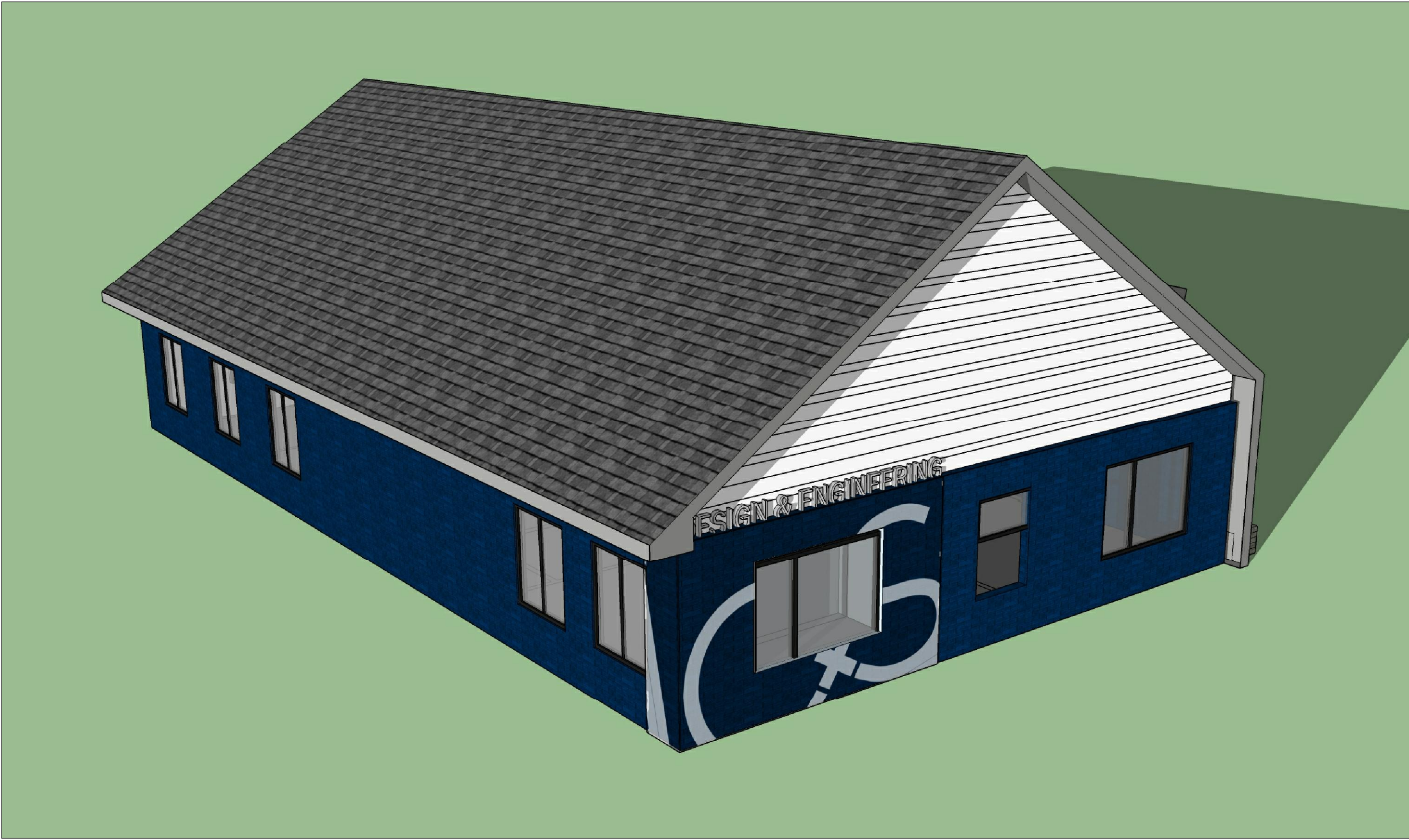
SCALE: AS NOTED

DATE: 02/23/19

PROJECT NO.
19-3316

SHEET NO.
A100

COPYRIGHT © 2019
PRINTED: 1731/2019



1 Rendering
NTS



2 Rendering
NTS



3 Rendering
NTS

PROPOSED FOR:
2023 6th Street West

Project Ashland, WI 54806

FLOORPLAN

DESIGN & ENGINEERING
with framework design inc
CS
803 Lake Shore Drive West, Ashland, WI 54806
Telephone (715) 662-0388www.csdesignengineering.com

APPROVED:

REVISIONS:

DESIGNED: L.D.

DRAWN: -

SCALE: AS NOTED

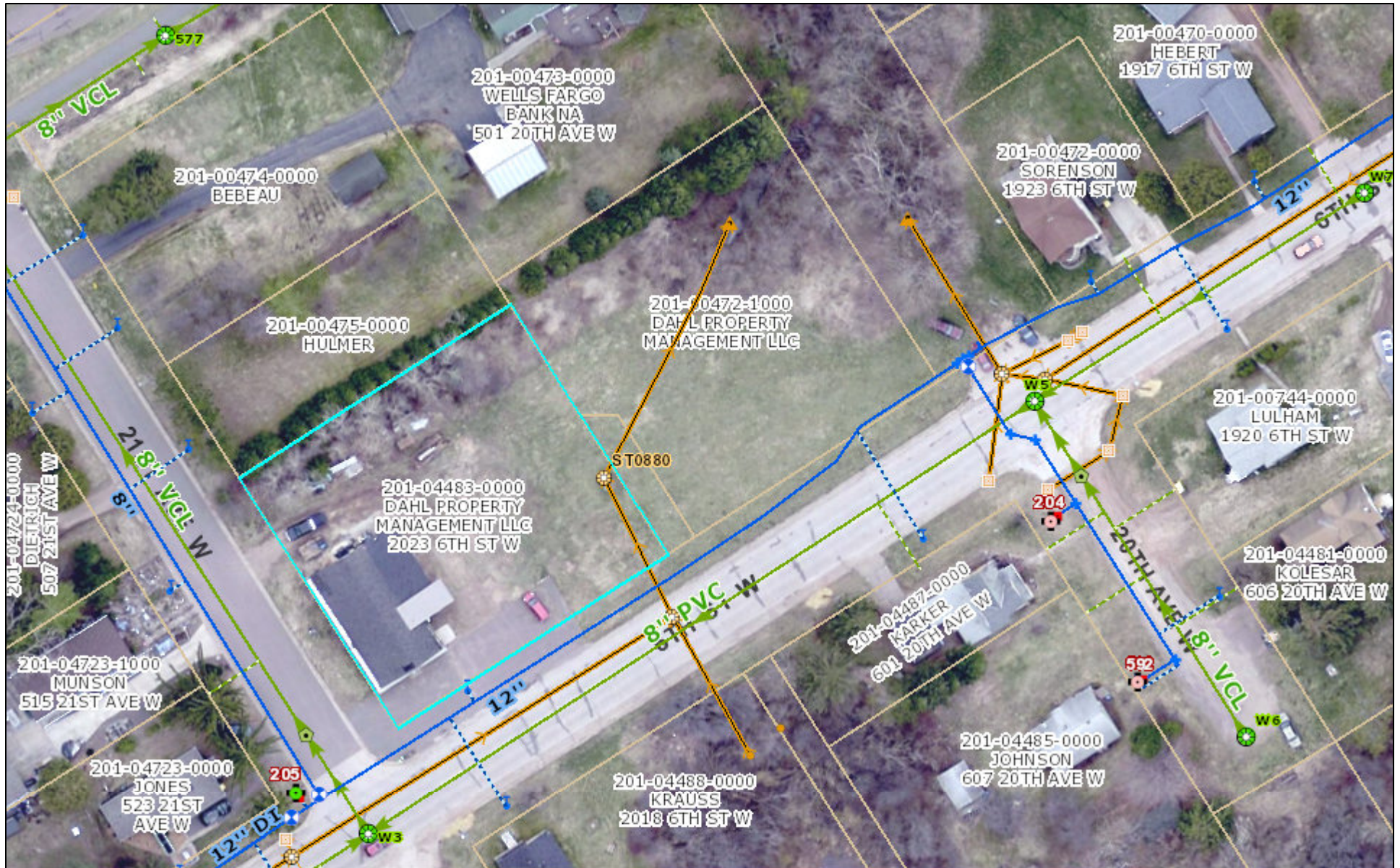
DATE: 02/23/19

PROJECT NO.
19-3316

SHEET NO.
A200

COPYRIGHT © 2019
PRINTED: 1731/2019

Utilities Map: 2023 6th St W



2/27/2019, 1:22:21 PM

Hydrants

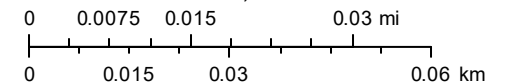
- Red 100-499
- Orange 500 - 999

- Green 1000 - 1350
- Unknown Flow
- HydrantValves

Water Vaults

- Main Valves
- Pressure Reducing Vault
- Other
- Junctions
- Meter Pit

1:1,128



City of Ashland Public Works Department, GIS Division
Copyright City of Ashland Public Works Department, GIS Division



STAFF REPORT

Plan Commission – March 5th, 2019

Agenda Item # 5C: Site Plan review for a 12,460 square foot building addition to the Deltco Plastics manufacturing facility

Applicant: Deltco Plastics, Inc.

Property Owner: Little Sand Bay Land Company, LLC

Site Address: 601 Industrial Park Road

Parcel No: 201-05056-1000

Zoning District: Heavy Industrial (HI)

Staff Contact: Megan McBride

Background

Deltco Plastics, Inc. is requesting Site Plan review and approval to construct a 12,460 square foot, two-story addition to their existing building located in the Industrial Park (601 Industrial Park Road). Site Plan review is required because the proposed expansion makes up greater than fifteen percent (15%) of the existing building area.

The building addition requested for approval would include:

First Floor

- Three (3) offices
- Locker room
- Storage space
- Break room and bathrooms
- Maintenance shop
- Conference room
- Loading dock on the northwest corner of the addition

Second Floor

- Seven (7) offices
- Maintenance storage
- File storage

Standards for Review

The City of Ashland's Unified Development Ordinance, Section 781 Section 3.20 Site Plan Approval (all subsections thereof), creates the legal framework to regulate, administer, and enforce the site plan review process for the City of Ashland.

Site Plan Review

The following criteria were used to review the submitted site plan:

1. Consistency with Comprehensive Plan.

The proposed expansion conforms to the goals and principles of the City's Comprehensive Plan which encourages support for expansion of existing successful businesses as well as appropriate manufacturing development in the City's existing Industrial Park. This building addition will improve the functionality of their Industrial Park site, provide new employee facilities and establish a new main entryway and reception area for visitors/clients.

2. Project Compatibility.

The proposed expansion is compatible and complementary to the exiting uses on this site as well as surrounding uses within the Industrial Park. The addition will match the design of the existing building so as to blend with what is already operating in this location.

3. Site Design

a. Site Organization.

The organization of the proposed building, main entrance and interior access drives, parking, etc. should achieve a functional, safe and harmonious site relationship. Overall, the expansion has been designed to do just that, and will enhance the functionality and accessibility of the building by placing an entrance on the north side of the building facing the existing parking area.

b. Location of Buildings.

The proposed building addition is in compliance with the dimensional and setback requirements for the HI District. The building addition will be added to the southeast corner of the existing structure.

c. Drives, Parking, and Circulation.

Existing parking and driveways will be utilized, and per UDO parking standards must be paved as a result of any building expansion, alteration or increase in intensity of use.

- **Driveway.**

The existing driveways will be utilized on site which provides adequate space for ingress/egress of the parking area. Width of driveways shall comply with UDO standards once paved.

- **Parking.**

UDO parking requirements apply to all development activities including the expansion of existing structures. Therefore, plans for a paved parking area will need to be submitted to the Planning & Development Department for review and approval prior to installation.

- **Pedestrian Access.**

Existing walkways will be utilized and are ADA complaint to provide adequate pedestrian access for all patrons. Connections to the parking area once paved will be evaluated as part of the overall parking plan.

a. Grading / Drainage / Stormwater.

The existing drainage and stormwater infrastructure on site will also be sufficient to accommodate the increased building coverage created by the addition. This will need to be reviewed again prior to installation of the required paved parking area.

- Erosion Control – Not required per UDO Section 8.2 as the project involves less than 10,000 square feet of land disturbance per 1 acre of total parcel area (parcel is approximately 9 acres in size).

b. Utility Services.

Applicant plans to use existing utilities on site to accommodate the building addition. The addition will need to be sprinkled, but it is not known at this time if a new water service will be needed for

this. If so, applicant shall work with the Public Works Department and submit a final Utility Plan to the Planning & Development Department and Fire Departments.

c. Fire Prevention.

The City requires a Knox Box on all new construction and rehabs if the business is not open 24-7. Following final design of the plans, the applicant shall provide a CD copy of the final Building Floor Plan Layout and Utility Plan (in a .dxf format), for the Fire Department's pre-fire planning of the structure's layout. Such information shall be provided to the Fire Department prior to the issuance of the Occupancy Permit.

d. Views. N/A

e. Environmental Issues. N/A

f. Landscaping/Screening. N/A

g. Signs.

Any new signage will require a Sign Permit to be obtained through the Planning & Development Department to ensure it conforms to UDO standards.

h. Lighting.

Lighting plans have been provided and confirm that proposed exterior lighting fixtures are all zero upright and meet UDO standards.

4. Building Design.

The design of the proposed building addition shall be compatible with the materials of the existing structure. The interior layout has been designed to increase functionality of operations, provide additional employee space and offices, and establish a new main entryway and reception area. The second floor will provide more private office space as well as rooms to accommodate storage needs.

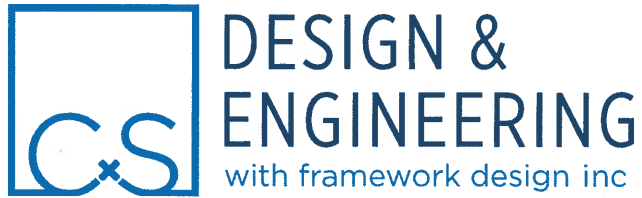
5. Principles of Sustainability

No building design elements that specifically conform to the UDO principles of sustainability are planned for this building expansion.

Review Recommendation

Staff recommends APPROVAL of the proposed site plan for the proposed expansion of at 601 Industrial Park Road subject to the following conditions:

- Parking and driveway areas must be paved and striped according to UDO standards. Applicant shall submit a parking plan to the Planning & Development Department for review and approval prior to installation.
- If additional service is required, full Utility Plans shall but submitted to the Planning & Development Department for approval by the Public Works Department and Fire Department



803 Lake Shore Drive West, Ashland, WI 54806

Phone: (715) 682-0330

www.csdesignengineering.com

February 21, 2019

Megan McBride, Interim Director of Planning & Development
City of Ashland
601 Main Street West
Ashland, WI 54806

RE: Deltco Plastics of Wisconsin - Site Plan Review & Conditional Use Permit Request

Dear Megan,

Attached please find the Site Plan Review Application & Checklist, and Plan Set for the proposed new addition to Deltco Plastics of Wisconsin located at 601 Industrial Park Road. This 12,460 sq. ft. addition will be located on the north end of the existing building. The addition will house new offices, locker room, storage, break room, bathrooms and a maintenance shop. There will be a loading dock on the northwest corner of the addition.

The building will be constructed of steel and have steel siding and roofing with colors to match the existing buildings on the site.

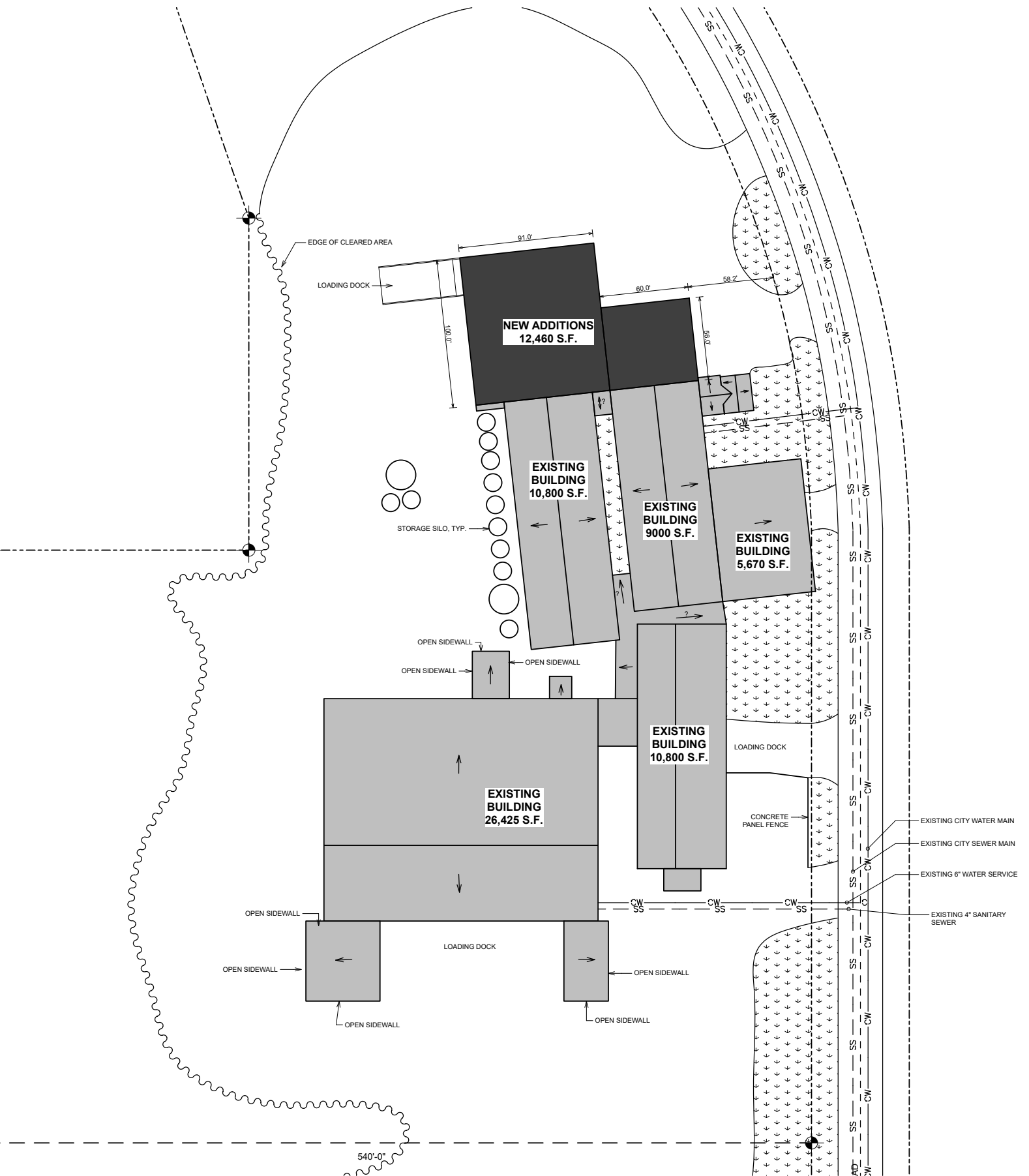
Existing municipal utility lines are located along the east side of the building along Industrial Park Road. As of right now the electrical, natural gas and sewer will connect to existing services. The addition will need to be sprinkled but it is not known at this time if a new water service will be needed or if it will connect to an existing water service.

Please review the attached documents at your earliest convenience and place as an agenda item on the March 5, 2019 Planning Commission meeting. If there are any questions or additional information required, please let us know.

Sincerely,

Trevor Provost, Building Designer
C&S Design & Engineering, Inc.

Enc.



DELTCO PLASTICS, INC.

PROJECT NUMBER: 19-3322

OWNER:	DELTCO PLASTICS, INC. STREET CITY, WI 54806
ARCHITECT:	C&S DESIGN & ENGINEERING, INC. 803 LAKE SHORE DRIVE WEST ASHLAND, WI 54806 P: 715-682-0330
STRUCTURAL ENGINEER:	C&S DESIGN & ENGINEERING, INC. 803 LAKE SHORE DRIVE WEST ASHLAND, WI 54806 P: 715-682-0330
CONSULTANT:	N/A
PLUMBING DESIGNER:	N/A
HVAC ENGINEER:	N/A
ELECTRICAL ENGINEER:	N/A

	KEY NOTE
	ROOF SLOPE & DIRECTION
	WINDOW TAG
	DOOR TAG
	SLOPE OF SLAB
	INTERIOR ELEVATION TAG
	STEP/ELEVATION CHANGE
	ELEVATION MARKER
	WALL TYPE (SEE PLAN OR LEGEND FOR ADD. INFO)
	ROOF SLOPE
	GRID LINE
	BUILDING ELEVATION
	BUILDING SECTION
	WALL SECTION
	DETAIL/ENLARGED PLAN CALLOUT
	DETAIL CALLOUT

PROJECT NAME:	DELCO PLASTICS OF WISCONSIN		
PROJECT ADDRESS:	601 INDUSTRIAL PARK ROAD LITTLE SAND, WI 54906		
OWNER:	ARTLAND WAY COMPANY, LLC		
PARCEL NUMBERS:	201-05056-1000		
LEGAL DESCRIPTION:	P 20 OF SW 1/4 SW 1/4 & NW 1/4 SW 1/4 DESC V 529 PG 806 SECTION 26 T48N R4W, CITY OF ASHLAND, ASHLAND COUNTY, WISCONSIN		
LAND AREA:	9.1 ACRES		
ZONING DISTRICT:	HEAVY INDUSTRIAL (I2)		
GOVERNING CODES:	2015 INTL BUILDING CODE 2015 INTL ENERGY CONSERVATION CODE 2015 INTL EXISTING BUILDING CODE 2015 INTL FUEL GAS CODE 2015 INTL MECHANICAL CODE ANSI A117-1-2009 ACCESSIBILITY CODE		
OCCUPANCY GROUP:	B, S-1, & F-1		
CONST TYPE:	VB		
BLD GROSS AREA:	NEW ADDITION B (1st floor) = 2,834 SF B (2nd floor) = 2,843 SF S-1 = 9,622 SF TOTAL = 15,299 SF		
	EXISTING BUILDING F-1 = 19,466 SF B = 873 SF S-1 (interior) = 45,099 SF S-1 (ext. covered) = 5,120 SF TOTAL = 70,560 SF TOTAL BUILDING = 85,859 SF		
PROJECT NET AREA:	NEW ADDITION = 15,299 SF		
BLD VOLUME:	OVER 50,000 CF	☒ YES	☐ NO
# OF STORIES:	2 STORIES		
ALLOWABLE AREA:	B = 27,000 SF / STORY (SPRINKLERED) S-1 = 27,000 SF / STORY (SPRINKLERED) F-1 = 25,500 SF / STORY (SPRINKLERED)		
ALLOWED STORIES:	B = 3 STORIES (SPRINKLERED) S-1 = 2 STORIES (SPRINKLERED) F-1 = 2 STORIES (SPRINKLERED)		
OCC. SEPARATION:	SEPARATED USES		
REQ SEPARATION:	NO SEPARATION REQUIRED PER IBC 508.4		
SPRINKLERED:	YES	☐ NO	☒
MANUAL FIRE ALARM SYS:	☒ YES	☐ NO	☒
OCCUPANT LOAD:	BUSINESS AREA = 100 GROSS SF / OCC 2,082 / 100 = 21 OCCUPANTS ACCESSORY STORAGE = 300 GROSS SF / OCC 736 / 300 = 3 OCCUPANTS INDUSTRIAL AREA = 100 GROSS SF / OCC 19,466 / 100 = 195 OCCUPANTS WAREHOUSES = 500 GROSS SF / OCC 54,721 / 500 = 109 OCCUPANTS 328 TOTAL OCCUPANTS		

1. THE CONTRACTORS ARE TO KEEP A SET OF STATE APPROVED PLANS AT THE JOB SITE AT ALL TIMES.

2. A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE CITY ENGINEER BEFORE COMMENCEMENT.

3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE WISCONSIN BUILDING, PLUMBING, ELECTRICAL, AND HVAC CODE CURRENTLY IN EFFECT.

4. ALL STATE AND LOCAL BUILDING PERMITS WILL BE OBTAINED BY THE OWNER AND MUST BE POSTED AT THE JOB SITE BY THE CONTRACTOR, U.N.O.

5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS FOR THEIR ACCURACY AND CONFIRMING THAT WORK IS TO BE DONE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE, OR OTHER COORDINATION QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.

6. THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE DESIGN PROFESSIONAL FROM ANY CLAIM OR SUIT WHATSOEVER ARISING FROM, OR CAUSED BY OR HAVE ARISEN FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.

7. THE WORK UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TOOLS, FEES, INSURANCE, TAXES, ETC. FOR COMPLETION OF THE PROJECT. THIS INCLUDES, BUT IS NOT LIMITED TO, PLUMBING AND ELECTRICAL CONSTRUCTION, AS APPLICABLE, FOR THE COMPLETE CONSTRUCTION OF THIS PROJECT.

8. ALL PRODUCTS AND MANUFACTURERS OF MATERIALS, EQUIPMENT, AND SUPPLIES, SHALL BE SPECIFIED ON THE CONTRACT DOCUMENTS, DRAWINGS OR SPECIFICATIONS. SUBSTITUTIONS OF EQUAL QUALITY AND PERFORMANCE PERMITTED AS APPROVED BY DESIGN PROFESSIONAL IN CHARGE.

9. ALL MATERIALS, SUPPLIES, AND EQUIPMENT SHALL BE INSPECTED PERMITS, APPROVED AND APPROVED BY THE LOCAL CODES AND REQUIREMENTS, LOCATED PER PLAN.

10. THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE.

11. THE DESIGN PROFESSIONAL WILL NOT HAVE CONTROL OVER, OR FORCE, AND WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCE OR PROCEDURES IN REGARD TO THE MANNER IN WHICH THE STRUCTURE IS BUILT.

12. ALL PROPOSED LINES ARE ASSUMED UNLESS A CERTIFIED SURVEYOR HAS BEEN PROVIDED FOR THE PROPERTY.

13. ALL BUILDING SETBACKS ARE MEASURED FROM THE EAVE LINE OF THE BUILDING.

14. THE CONTRACTOR IS TO HAVE ALL THE UTILITY LINES VERIFIED BY RESPECTIVE UTILITY COMPANIES APPLICABLE. THE CONTRACTOR SHALL LOCATE DUNE BY DIGGER'S HOTLINE PRIOR TO BREAKING OF GROUND. PHONE 1-800-242-8511

15. THE CONTRACTOR SHALL BE AWARE OF ALL PRIVATE UTILITY LINES SUCH AS WATER, SEWER, AND GAS.

16. ALL DAMAGE TO EXISTING DRIVEWAYS, ROADWAYS, STREET CONCRETE SIDEWALKS, LAWNS, ETC. MUST BE RESTORED TO THE CONDITION THEY WERE BEFORE CONSTRUCTION COMMENCED.

17. THE MINIMUM OF 2% DRAINAGE SLOPE AWAY FROM THE ENTIRE PERIMETER OF THE BUILDING FOR THE FIRST 20 FEET, U.N.O.

18. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SAFETY OF THE STRUCTURE, INCLUDING TEMPORARY SUPPLIES, ETC. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF SHEATHING, STRUCTURAL ELEMENTS AND INTERIORS.

19. THE GENERAL CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK. JOIN MATERIALS TO UNIFORM, ACCURATE FITS SO THAT THEY MEET WITH NEAT, STRAIGHT LINES, FREE OF SMEARS OR OVERLAPS, INSTALL EXPOSED JOINTS, CHORDING AND TEMPORARY SUPPLIES, ETC. TO CORRECT RIGHT ANGLES OR FLUSH WITH ADJOINING MATERIALS. WORK OF EACH TRADE SHALL MEET ALL NATIONAL STANDARDS PUBLISHED BY THAT TRADE, EXCEPT IN THE CASE WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT.

20. ALL BUILDING MATERIALS SHALL BE FIELD VERIFIED.

21. WRITTEN DIMENSIONS TO PREVAIL OVER SCALING OF DRAWINGS. CONTRACTOR(S) TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES.

22. ALL DIMENSIONS TO FACE OF STUD OR CONCRETE WALLS, U.N.O.

23. SEE SITE PLAN FOR NOTES AND DIMENSIONS NOT SHOWN.

24. SEE ELEVATIONS, INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR FINISHES AND MATERIALS.

25. IF APPLICABLE, THE FIRE RATING OF WALLS AND CEILINGS MUST BE MAINTAINED BEHIND ALL INSTALLED FIXTURES (BATH VANITIES, VANITIES, CEILING FANS, ELECTRICAL BOXES, EXHAUST FANS, ETC).

26. THE CONTRACTOR SHALL TAKE ABSOLUTE CARE TO PROTECT NEWLY INSTALLED MATERIALS, MILLWORK, BUILT-INS AND FINISHES.

27. THE CONTRACTOR SHALL PROVIDE ALL OPERATING AND MAINTENANCE DATA AND ALL MANUFACTURERS, INSTALLERS AND SUPPLIERS WARRANTIES, BONDS, WARRANTIES AND SERVICE INSTRUCTIONS.

28. CONFORM WINDOW OR DOOR NUMBER WITH MFR. AND SITE CONDITIONS. ALL OPERABLE WINDOWS AND DOORS SHALL BE FIELD VERIFIED.

29. CONTRACTOR TO VERIFY ALL REQUIREMENTS FOR WINDOWS & EXTERIOR DOORS WITH WINDOW MANUFACTURER PRIOR TO ORDERING.

30. REFERENCE ELEVATIONS AND/OR DRAWING SECTIONS FOR MATERIALS AND FINISHES.

31. REFER TO ENGINEERED TRUSS DRAWINGS, IF APPLICABLE, FOR PLACEMENT OF TRUSS COMPONENTS. CONTRACTOR IS TO FIELD VERIFY ALL TRUSS DIMENSIONS BEFORE PRODUCTION OF TRUSSES.

32. ALL RIMPING INSULATIONS SHALL COMPLY WITH NFPA 54-2015, NATIONAL FUEL GAS CODE.

ATS GN	TITLE SHEET GENERAL NOTES
C100	SITE PLAN
A100	OVERALL FLOOR PLAN
A101	FOUNDATION PLAN
A102	FLOOR PLAN
A103	SECOND FLOOR PLAN
A104	REFLECTED CEILING PLAN
A105	ROOF PLAN
A200	ELEVATIONS
A201	3D MODELS
A300	SECTIONS
A400	ENLARGED FLOOR PLANS
A401	WALL SECTIONS
A500	DETAILS
A600	SCHEDULES
A700	MISC AS NEEDED
LS100	LIFE SAFETY PLAN
FFE100	FURNITURE PLAN
S100	STRUCTURAL
F100	FIRE PROTECTION
P100	PLUMBING
M100	MECHANICAL
E100	ELECTRICAL

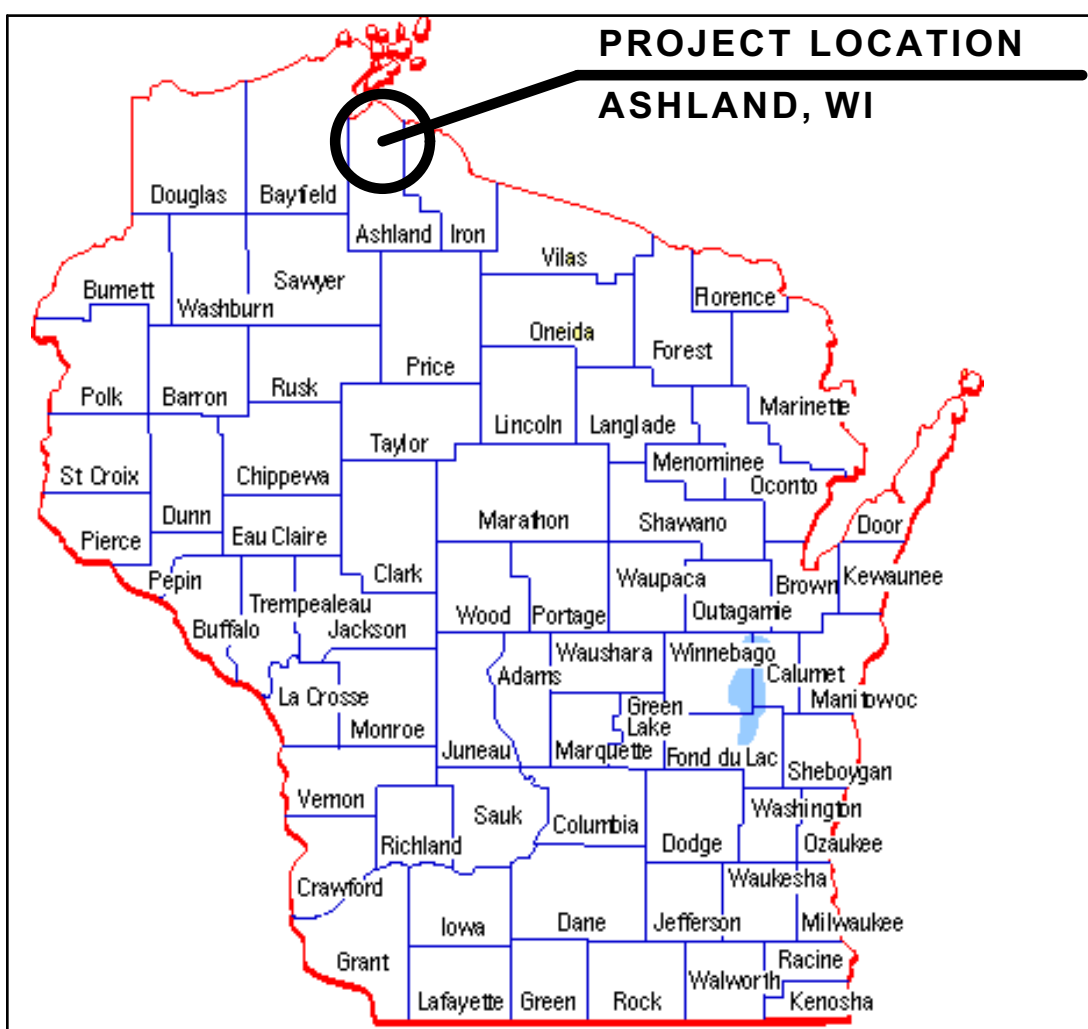
TITLE PAGE

803 Lake Shore Drive West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesigneng.com

PROJECT NO.
19-3322

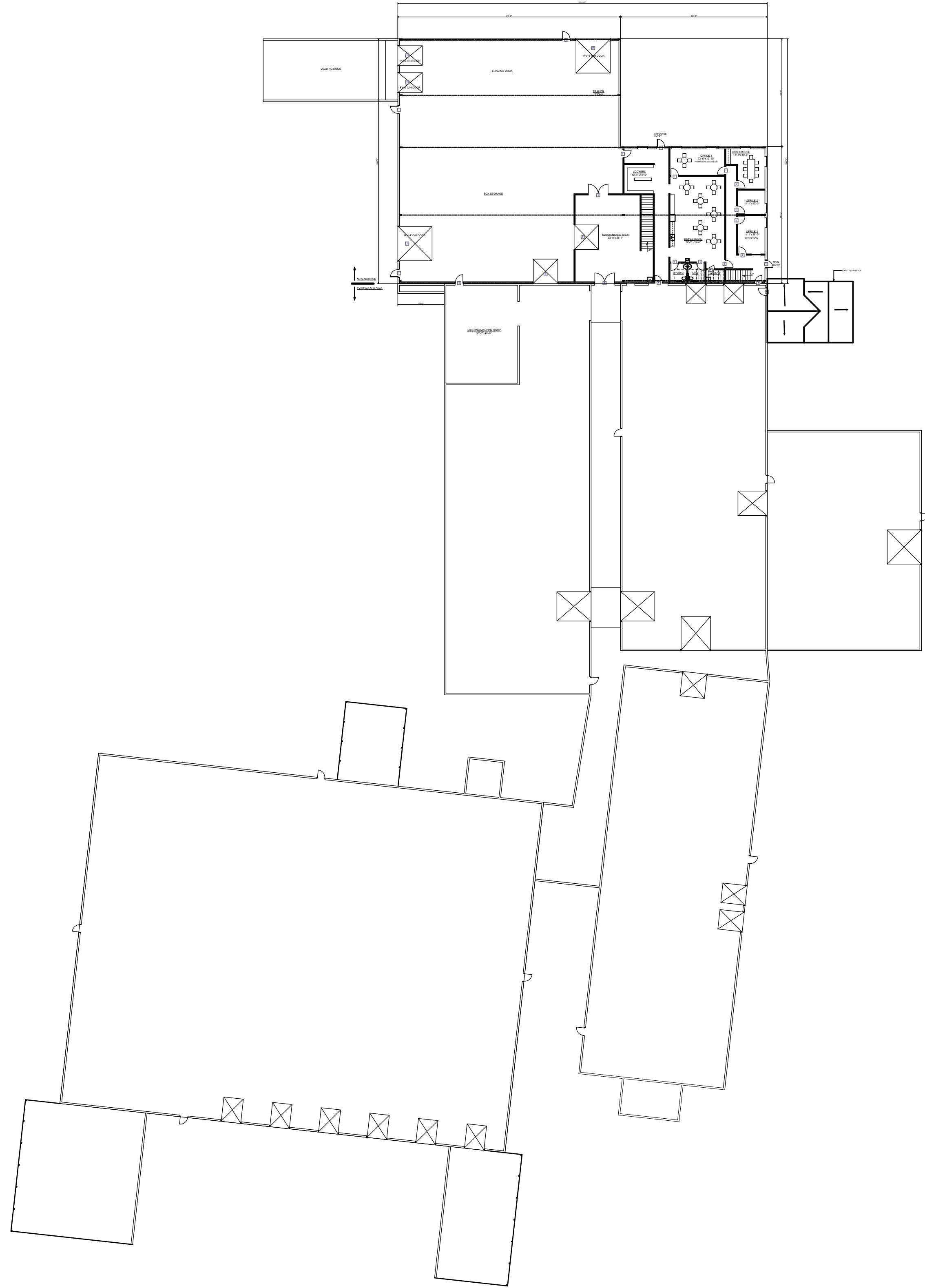
SHEET NO.

ATS



ABOVE FINISH FLOOR	A.F.F.	CONTRACTOR	CONTR.	FIRE EXTINGUISHER	F
ACoustical CEILING TILE	ACT.	CONTROL JOINT	C.J.	FIRE EXTINGUISHING CABINET	F
ADDITIONAL	ADD.	COURSES	C.	FIRE RATED	F
ADJUSTABLE	ADJ.	CUBIC FOOTAGE)	CF	FIXTURE	F
ALIGN WITH BELOW	A.W.B.			FLASHING	FLASH
ALTERNATE	ALT.	DETAIL	DET.	FLOOR	FL
ALUMINUM	ALUM.	DIAMETER	DIA.	FLOORING	FL
AMERICAN DISABILITIES ACT	ADA	DIMENSION	DIM.	FLOOR PLAN	FLP
APPROXIMATELY	APPROX.	DISPENSER	DISP	FOOTING	FT
		DOOR	DR	FOUNDATION	FD
BASEMENT	BSMT.	DOWN	DN	FLUORESCENT	FLUC
BEAM	BM.	DOWNSPOUT	DS		
BELOW	BELOW	DRAWING(S)	DWG.(S)	GALVANIZED	GA
BITUMINOUS	BIT.	DRINKING FOUNTAIN	D.F.	GAUGE	GA
BLOCK	BLK.			GENERAL CONTRACTOR	GC
BLOCKING	BLKG.	EACH	E	GLASS	G
BOARD	BD.	ELECTRICAL	ELEC.	GYP	G
BOTTOM	BOT.	ELEVATION	ELEV.	GYPSP WALLBOARD	GW
BOTTOM OF	B.O.	ELEVATOR	EL		
BRICK COURSE	B.C.	ENCLOSURE	ENCL	HANDICAP ACCESSIBLE	HA
BUILDING	BLDG.	EQUAL	EQU	HARDWARE	HD
BUILT-UP ROOFING	B.U.R.	EQUIPMENT	EQP.	HEATER	HT
		EXHAUST	EXH.	HEATING, VENTING, AND	HV
CARPET	C.	EXISTING	EXIST.	AIR CONDITIONING	HC
CAST-IN-PLACE	C.I.P.	EXPANSION	EXP.	HEIGHT	H
CAST IRON	C.I.	EXPANSION JOINT	E.J.	HIGH POINT	HP
CATCH BASIN	C.B.	EXPOSED	EXP.	HOLLOW CORE	H
CEILING	CLG.	EXTERIOR	EXT.	HOLLOW METAL	H
CEMENT	CEM.			HORIZONTAL	HORH
CENTER LINE	CL.	FACE OF	F.O.	INCH	IN
CEILING	C.T.	FACE OF CONCRETE	F.O.C		
CLEARANCE	CLR.	FACE OF FINISH	F.O.F.	INCANDESCENT	INCA
CLOSET	CLO.	FACE OF MASONRY	F.O.M.	INCH	IN
COLUMN	COL.	FEET	F.	INCLUDING	I
CONCRETE	CONC.	FINISH	FIN.	INSIDE DIAMETER	ID
CONCRETE MASONRY UNIT	CMU	FINISH FLOOR ELEVATION	F.F.E.	INSULATION	I
CONSTRUCTION	CONSTR.	FINISH GRADE	F.F.G.	INTERIOR	I
CONTINUOUS	CONT.	FINISH SURFACE	F.S.		

JANITOR	JAN.	OVERFLOW DRAIN	O.F.D.	STEEL	STL.
JOINT	JOINT	PAINT	PT.	STORAGE	STOR.
JOIST	JST	PAINTED	PTD.	STREET	ST
LAMINATED	LAM.	PANEL	PNL.	STRUCTURAL	STRUCT.
LAVATORY	LAV.	PARTITION	PTH.	SUSPEND (ED)	SUSP. (D)
LEVEL	LVL	PERFORATED	PERF.	TELEPHONE	TEL.
LIGHTING	LGT.	PLASTIC LAMINATE	PLAM.	THERMOPLASTIC POLYOLEFIN	TPO.
LIN.	LN.	PLATE	PLT.	THICKNESS	THK.
LINOLEUM	LINO.	POLYVINYL CHLORIDE	PVC	TOP OF	T.O.
LONG LEGS HORIZONTAL	LLH	POUNDS PER SQUARE INCH	PSI	TOP OF CONCRETE	T.O.C.
LONG VERTICAL	LVV	PRESERVATIVE TREATED	P.T.	TOP OF FOOTING	T.O.F.
LOW POINT	L.P.	PROPERTY	PROP.	TOP OF RAIL	T.O.R.
MANUFACTURER	MFR.	QUANTITY	QTY.	TOP OF STEEL	T.O.S.
MASONRY	MAS.	QUARRY TILE	Q.T.	TOP OF WALL	T.O.W.
MASONRY OPENING	M.O.	RADIUS	R.	TREAD	T.
MATERIAL	MAT.	REINFORCING	REINF.	TREATED	TRT
MAXIMUM	MAX.	REQUIRED	REQ'D.	TRENCH DRAIN	T.D.
MECHANICAL	MECH.	RESILIENT FLOORING	RES.	TYPICAL	TYP.
MEMBRANE	MEMB.	RETURN AIR	RET.	UNDERWRITERS	U.L.
METG.	MTL.	REVISION	RVL.	LABORER	L.
MINIMUM	MIN.	RISER	RM.	UNLESS NOTED OTHERWISE	U.N.O.
MISCELLANEOUS	MISC.	ROOF DRAIN	R.D.	VENEER PLASTER	V.P.
MOUNTED	MTD.	ROOM	R.	VERIFY IN FIELD	V.I.F.
NON-COMBUSTIBLE	NC.	ROUGH OPENING	R.O.	VERTICAL	VERT.
NOT APPLICABLE	N.A.	RUBBER	RUBR.	VINYL COMPOSITION TILE	VCT
NOT IN CONTRACT	N.I.C.	SECTION	SEC.	VINYL WALL COVERING	VWC.
NOT TO SCALE	N.T.S.	SHEET	SHT.	WATER CLOSET	W.C.
NUMBER	NO.	SIMILAR	SIM.	WATERPROOFING	W.P.
OCCUPANT / OCCUPANCY	OCC.	SOLID CORE	S.C.	WELDED WIRE FABRIC	W.W.F.
ON CENTER	O.C.	SPECIFICATIONS	SPEC.	WIDE FLANGE	W.F.
OPENING	OPN.	SQUARE	SQ.	WINDOW	WDW.
OPPOSITE	OPP.	SQUARE FOOT(AGE)	SF	WITH	W/
OPPOSITE HAND	O.P.H.	STAINLESS STEEL	SSTL	WITHOUT	W/O
OUTSIDE DIAMETER	O.D.	STANDARD	STD.	WOOD	W.

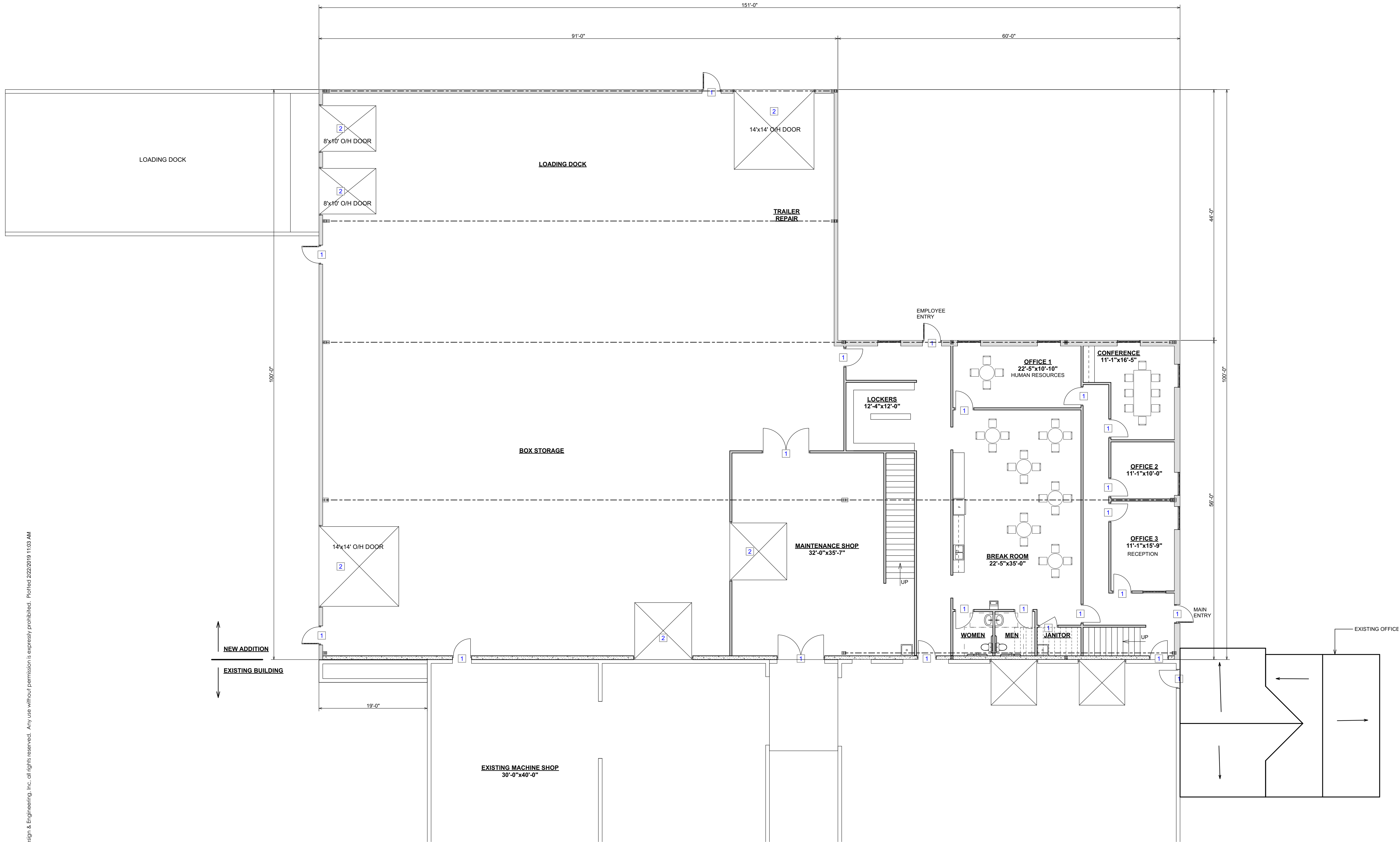


OVERALL PLAN

SCALE: 1/32" = 1'-0"

DESIGNED: L.D.	DRAWN: T.L.P.	SCALE: AS NOTED	DATE: FEBRUARY 2019	PROJECT NO. 19-3322	REVISIONS:	APPROVED: NOT FOR CONSTRUCTION OR FINAL PRICING	PROPOSED ADDITIONS FOR: DELTCO PLASTICS, INC. 601 INDUSTRIAL PARK ROAD, ASHLAND, WI 54806
							OVERALL PLAN
803 Lake Shore Drive West, Ashland, WI 54806 Telephone (715) 682-0330 www.csdesignengineering.com							
							A100

© Copyright 2019 C&S Design & Engineering, Inc. All rights reserved. Any use without permission is expressly prohibited. Plotted 2/22/2019 11:03 AM



FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROPOSED ADDITIONS FOR:
DELTCO PLASTICS, INC.

601 INDUSTRIAL PARK ROAD, ASHLAND, WI 54806

FLOOR PLAN



803 Lake Shore Drive West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdengineering.com

DESIGNED: **L.D.**

DRAWN: **T.L.P.**

SCALE: **AS NOTED**

DATE: **FEBRUARY 2019**

PROJECT NO.
19-3322

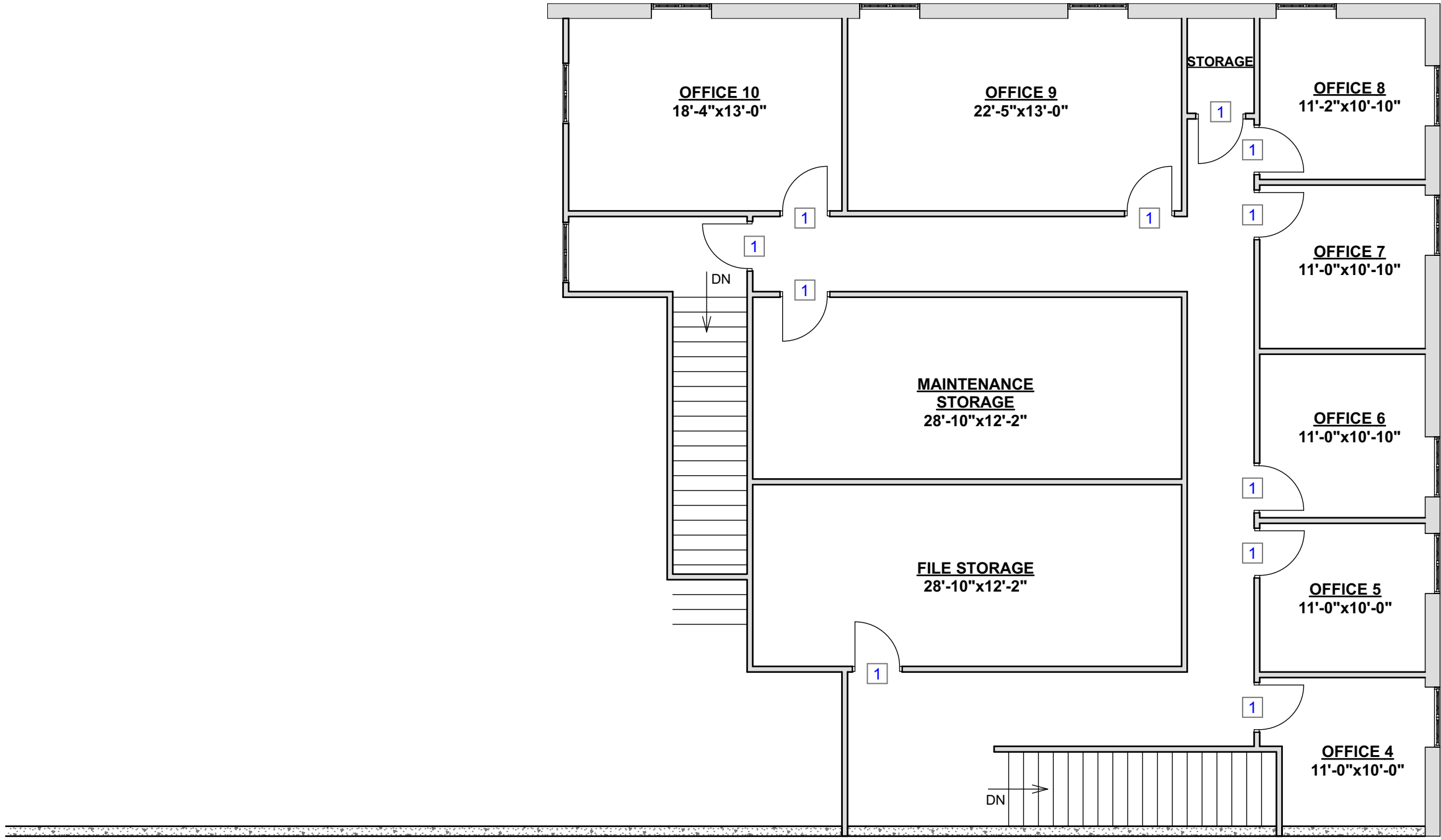
REVISIONS:

APPROVED:

**NOT FOR
CONSTRUCTION
OR FINAL PRICING**

SHEET NO.

A102



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

PROPOSED ADDITIONS FOR:	
DELTCO PLASTICS, INC.	
601 INDUSTRIAL PARK ROAD, ASHLAND, WI 54806	
SECOND FLOOR PLAN	

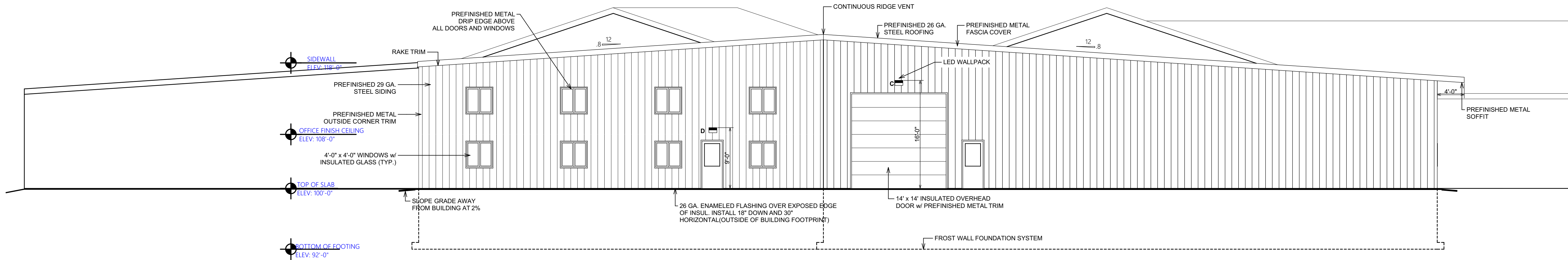


DESIGN &
ENGINEERING
with framework design inc

803 Lake Shore Drive West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

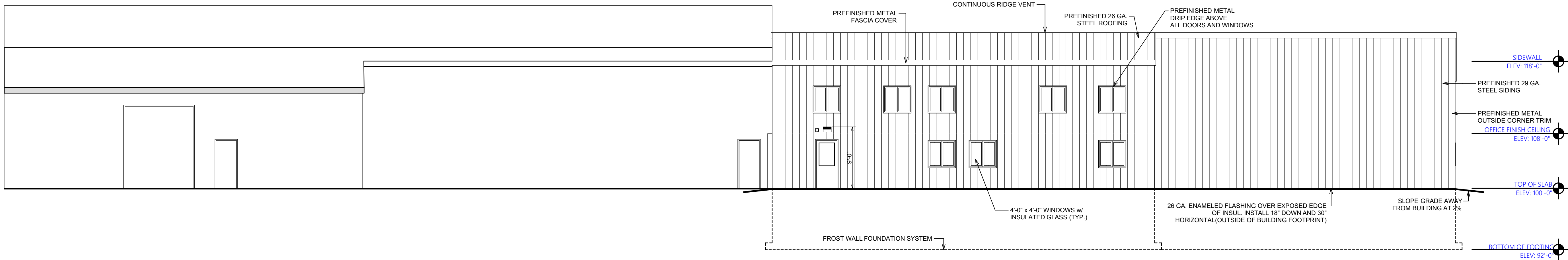
DESIGNED:	L.D.
DRAWN:	T.L.P.
SCALE:	AS NOTED
DATE:	FEBRUARY 2019
PROJECT NO.	19-3322
REVISIONS:	
APPROVED:	
NOT FOR CONSTRUCTION OR FINAL PRICING	
SHEET NO.	A103

© Copyright 2019 C&S Design & Engineering, Inc. All rights reserved. Any use without permission is expressly prohibited. Plotted 2/22/2019 11:03 AM



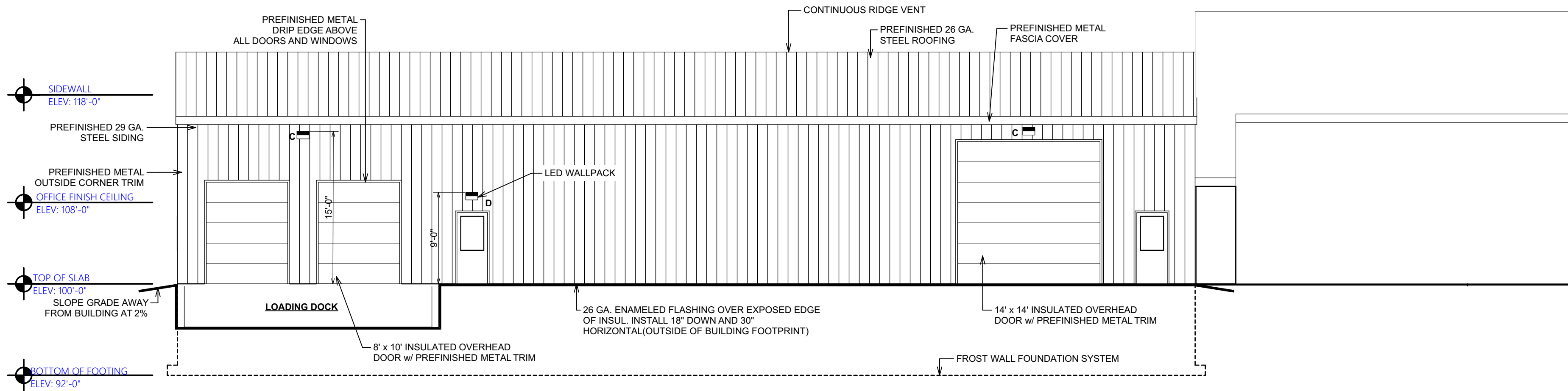
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

PROPOSED ADDITIONS FOR:

DELTCO PLASTICS, INC.

601 INDUSTRIAL PARK ROAD, ASHLAND, WI 54806

ELEVATIONS

DESIGN & ENGINEERING
with framework design inc

803 Lake Shore Drive West, Ashland, WI 54806
Telephone (715) 682-0330 www.csdesignengineering.com

DESIGNED: **L.D.**

DRAWN: **T.L.P.**

SCALE: **AS NOTED**

DATE: **FEBRUARY 2019**

PROJECT NO. **19-3322**

REVISIONS:

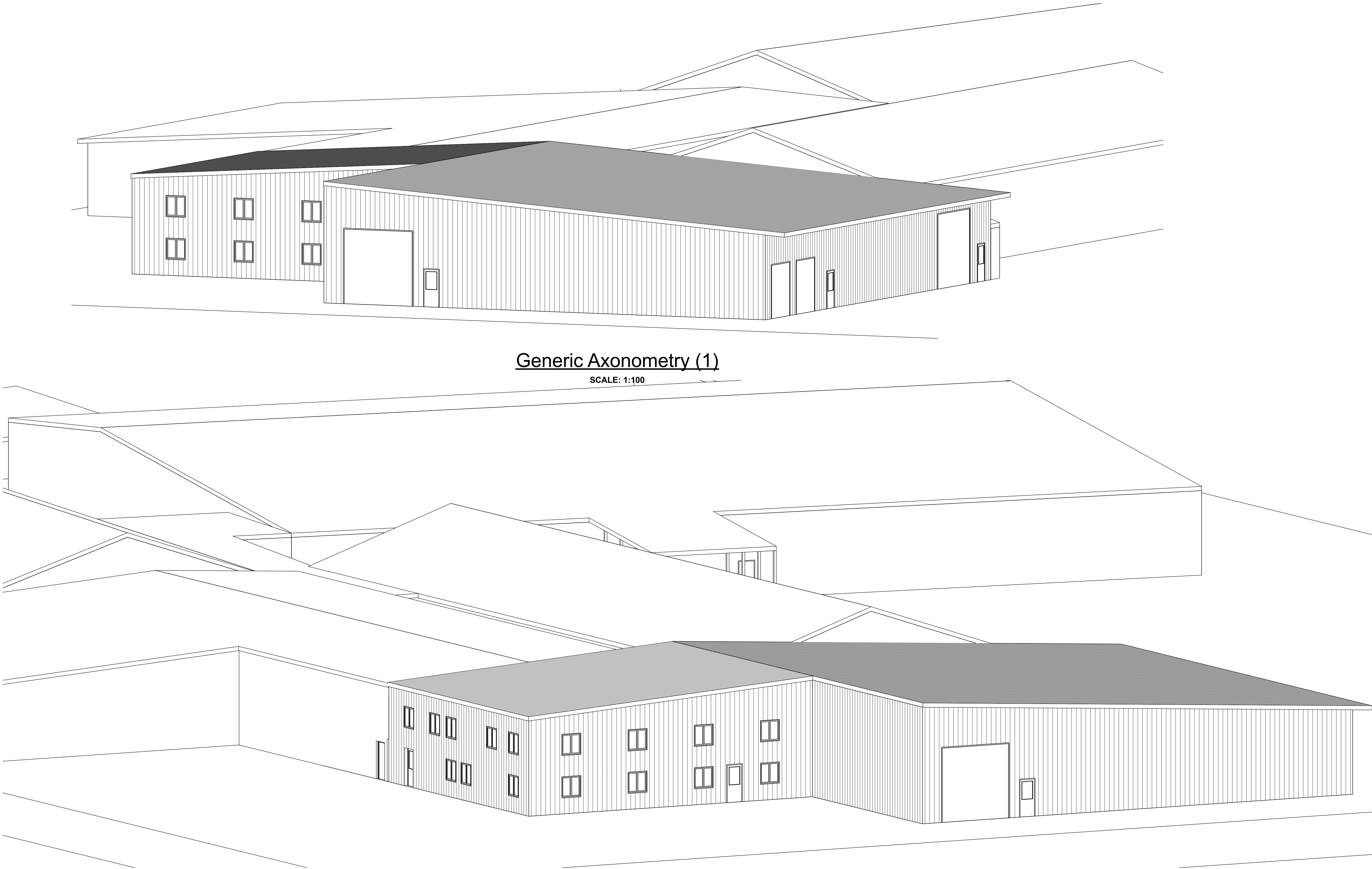
APPROVED:

**NOT FOR
CONSTRUCTION
OR FINAL PRICING**

SHEET NO.

A200

© Copyright 2019 C&S Design & Engineering, Inc. All rights reserved. Any use without permission is expressly prohibited. Plotted 2/22/2019 11:03 AM



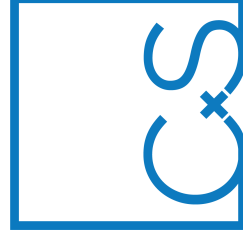
Generic Axonometry (1)

SCALE: 1:100

Generic Axonometry

SCALE: 1:100

PROPOSED ADDITIONS FOR:	
DELTCO PLASTICS, INC.	
601 INDUSTRIAL PARK ROAD, ASHLAND, WI 54806	
3D MODEL	

	DESIGN & ENGINEERING
	with framework design inc
803 Lake Shore Drive West, Ashland, WI 54806	
Telephone (715) 682-0330 www.csdesignengineering.com	

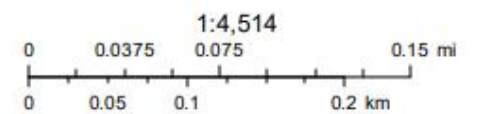
DESIGNED:	L.D.
DRAWN:	T.L.P.
SCALE:	AS NOTED
DATE:	FEBRUARY 2019
PROJECT NO.	19-3322

REVISIONS:

APPROVED:
NOT FOR CONSTRUCTION OR FINAL PRICING

SHEET NO.
A201

601 Industrial Park Rd: Aerial Map



City of Ashland Public Works Department, GIS Division
Copyright City of Ashland Public Works Department, GIS Division

Department of Public Works Engineering
Copyright 2018 City of Ashland

Find yourself next to the water.



City of Ashland, Wisconsin

601 Main Street West Ashland, WI 54806 www.coawi.org

DEPARTMENT OF
PLANNING &
DEVELOPMENT

601 Main Street West
Ashland, WI 54806

STAFF REPORT

Plan Commission – March 5th, 2019

Agenda Item #5D:	Recommendation to Purchase Parcel #201-03330-0000 for stormwater outfall purposes.
Property Owner:	Ashland Holdings, LLC
Applicant:	City of Ashland (Public Works)
Parcel #:	201-03330-0000
Parcel Address:	2705 Lake Shore Drive East
Parcel Size:	0.35 ac (approx. 15,350 sq ft)
Staff Contacts:	Megan McBride

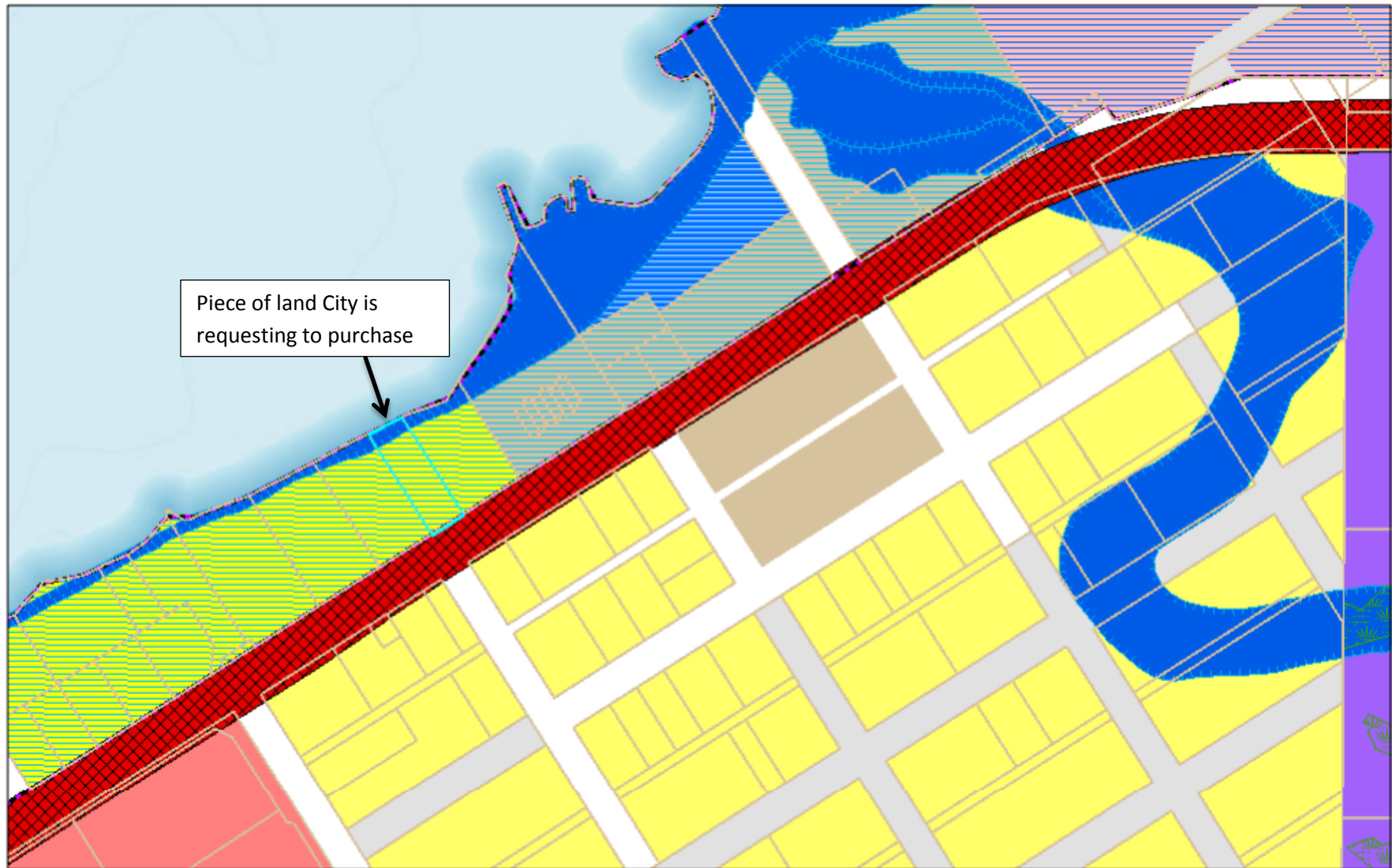
Background

The Public Works Department would like to purchase the property located at 2705 Lake Shore Drive East for stormwater outfall purposes. The property owner and realtor have been working with the City's Planning and Public Works Departments for approximately a year to determine the best possible outcome for this piece of land, and many options have been evaluated. Currently, a City-owned stormwater outfall is located on the southeast corner of the lot without any record of an easement. One option for rectifying this that was evaluated included working with the property owner to extend the pipe underground to the lake and obtain an easement to do so, but this would ultimately prohibit buildability of the site due to the narrow width of the parcel. Based on an assessment prepared by former Public Works Director Jim Struck, the cost of relocating the pipe in order to make the lot buildable would be approximately \$83,000. Therefore, acquiring this piece of property is in the best interest of the City while compensating the property owner. Owned by the City, the stormwater outfall can continue to drain in this location as it has, which includes a natural ravine/basin that has formed and provides additional filtration for stormwater before flowing into Lake Superior.

Review Recommendation

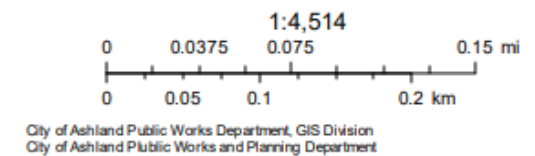
Staff recommends APPROVAL of the acquisition of the property located at 2705 Lake Shore Drive East, parcel #201-03330-0000, from Ashland Holdings, LLC.

Zoning Map: 2705 Lake Shore Drive East



2/21/2019, 12:20:25 PM

-  Waterfront Single-Family Residential (W-SFR)
-  Gateway Overlay District
-  Waterfront Overlay District
-  Single-Family Residential (R-1)



Department of Public Works Engineering
Copyright 2018 City of Ashland

Aerial Map: 2705 Lake Shore Drive East



2/21/2019, 12:31:59 PM

COUNTOURS

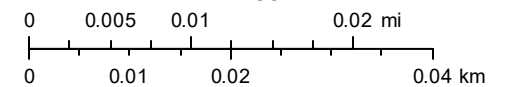
- 10 Ft
- 2 Ft

Parcel Labels



Parcel Mapping

1:750



City of Ashland Public Works Department, GIS Division
Copyright City of Ashland Public Works Department, GIS Division

2705 LAKE SHORE DR. EAST

STORM SEWER COST ESTIMATE

1. 24-30" RCP Class III or IV - 175LF. @ \$200.00/LF	\$ 35,000.00
2. Storm Sewer Connection Lump Sum	\$ 1,000.00
3. 5 Ft. Diameter Manhole W/Casting	\$ 4,500.00
4. RCP Apron Endwall W/ Pipe Gate and Cutoff Wall	\$ 4,500.00
5. Mobilization	\$ 5,000.00
6. Traffic Control	\$ 3,000.00
7. Clearing and Grubbing	\$ 8,000.00
8. Erosion Control- 250 lf. @ \$ 4.00/lf.	\$ 1,000.00
9. Geo Fabric- in place- 100 SY. @ \$3.00/SY.	\$ 300.00
10. Unclassified Backfill-in place- 3,400 CY. @ \$2.50/CY.	\$ 8,500.00
11. Rip Rap- in place -12" - 24" - 35 CY. @ \$45.00/CY.	\$ 575.00
12. Topsoil - Screened - in place - 75 CY. @ \$30.00/CY.	\$ 2,250.00
13. Seed-Fertilizer- Mulched- in place-700 SY. @ \$ 2.50/SY.	<u>\$ 1,750.00</u>
SUB-TOTAL -----	\$ 75,375.00
10% CONTINGENCY -----	<u>\$ 7,540.00</u>
PROJECT TOTAL -----	\$ 82,915.00